

CITY OF MERCER ISLAND

Community Planning & Development

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercerisland.gov



INSPECTION REQUESTS:

online:



voicemail: (206) 275-7730

NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56

CONTACT INFORMATION:

Applicant is to complete the following information.

Applicant Contact information prior to permit issuance: Name, Address, Phone, Email
Applicant Contact information post permit issuance: Name, Address, Phone, Email

REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATIONS:

It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural Observation (check items below). The owner is responsible for hiring an approved private Special Inspector for the checked inspections noted below.

STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR): Engineer of Record, Company, Phone, General Conformance to Construction Documents, Other

SOILS / GEOTECHNICAL: Special Inspector, Company, Phone, Erosion control measures, Subsurface drainage placement, Shoring installation and monitoring, Verify fill material and compaction, etc.

REINFORCED CONCRETE: Special Inspector, Company, Phone, Concrete strength, Retaining wall construction, Reinforcing steel and concrete placement, etc.

STRUCTURAL STEEL: Special Inspector, Company, Phone, Fabrication and shop welds, Moment Frame construction, Structural steel erection, field welds and bolting, etc.

STRUCTURAL MASONRY: Special Inspector, Company, Phone, Mortar strength, Glass unit masonry installation, Masonry unit strength, Wall panel and veneer installation, etc.

WOOD: Special Inspector / Engineer of Record, Company, Phone, Lateral resisting system construction, High strength diaphragm construction, etc.

OTHER SPECIAL INSPECTIONS: Special Inspector, Company, Phone, Epoxy grout installations, Stucco installation, Expansion anchor installations, Infiltration System, etc.

DEFERRED SUBMITTALS:

The Applicant is required to select all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.

Connector plate wood trusses, Post tension layout, Metal joist / metal trusses, Exterior cladding, etc.

ENERGY CODE COMPLIANCE INFORMATION:

Indicate where the following information is located in the drawing set. Alternatively, incorporate or include the Residential Energy Code Prescriptive Compliance (RECPC) Form into the drawing set.

Building envelope, Air Leakage Testing, Whole house ventilation, Duct Leakage Testing, Energy Credit Information, etc.

TO BE COMPLETED BY CPD

PROJECT ALERTS: Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island.

TREE PROTECTION REQUIREMENTS: Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.

FIRE PROTECTION REQUIREMENTS: Separate Permits are required for ALL fire protection systems. Fire Sprinkler, Monitored Household Fire Alarm, etc.

WATER SUPPLY REQUIREMENTS: Fire sprinkler design calculations must be provided prior to determining water supply system requirements. Water Supply system upgrade required, etc.

DRAINAGE REQUIREMENTS: On site detention system required, Direct discharge into the lake, No Storm Water permit required, etc.

SIDE SEWER REQUIREMENTS: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim.

APPROVED CODE ALTERNATIVES: Code alternatives must be inspected. Refer to the Inspection Checklist. CA1, CA2, etc.

SURVEY REQUIREMENTS: Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation inspection.

MAXIMUM 40 PERCENT ALTERATION INSPECTION: A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered.

GEOTECHNICAL INFORMATION: Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 without an approved Seasonal Development Limitation Waiver.

SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1. Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development Limitation Waiver Permit.

TO BE COMPLETED BY CPD

TO BE COMPLETED BY CPD

REQUIRED CONSTRUCTION INSPECTIONS: Inspector shall initial and date appropriate inspection only if approved. Tree protection, Erosion control, Sewer disconnect and cap, etc.

TO BE COMPLETED BY CPD

Final Inspection: Tree Restoration, Fire protection, Fuel Tank Installation, Fire Extinguishing System, Fire Alarm System, etc.

90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO): Applicant option. Additional fees will be required and must be approved prior to occupancy.

ADDITIONAL REQUIRED CITY INSPECTIONS: Call the appropriate contact to arrange the inspection. Required Inspection(s), Contact, Phone, Scheduling.

IMPACT FEES: Impact fees apply and are due prior to Final Inspection or on Date. PLAN REVIEW APPROVALS: Not all review disciplines may be required to review the documents.

TO BE COMPLETED BY CPD

TO BE COMPLETED BY APPLICANT



CERTIFICATE OF OCCUPANCY Issued after all required inspections have been performed and approved.

PROJECT NAME: PROJECT ADDRESS:

APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES REVIEWED FOR CODE COMPLIANCE

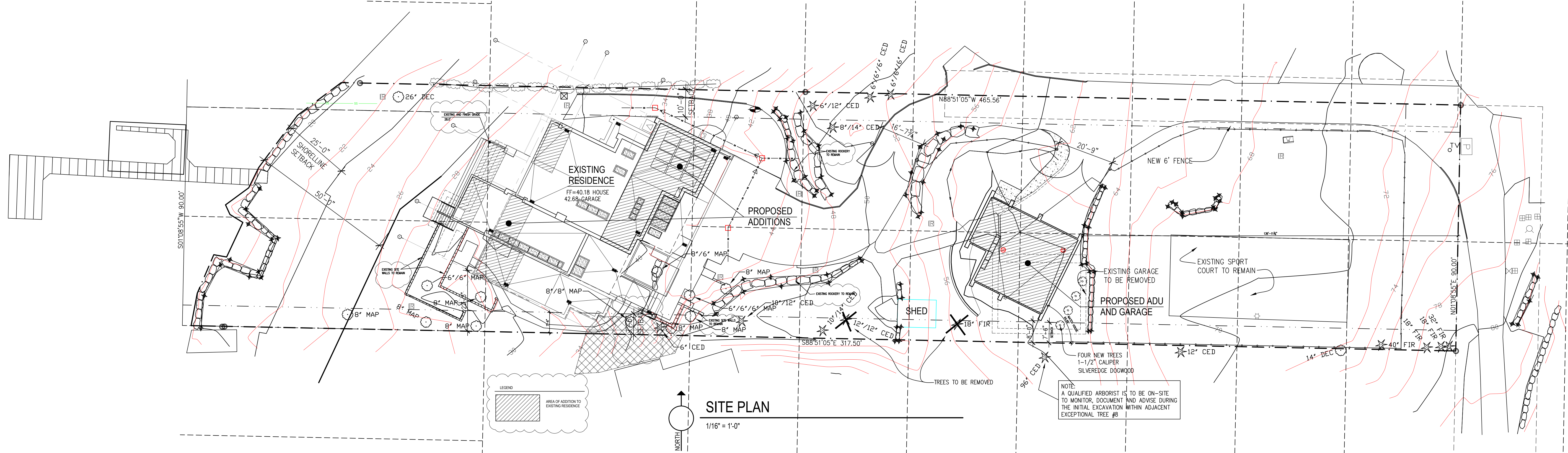
PERMIT NUMBER

Date

Approved

Date

Approved



GENERAL NOTES

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY BE REPRODUCED ONLY WITH THE WRITTEN PERMISSION OF THE ARCHITECT. AUTHORIZED REPRODUCTIONS MUST BEAR THE NAME OF THE ARCHITECT. COPYRIGHT 2023 BY CHESMORE|BUCK ARCHITECTURE. THESE DRAWINGS ARE FULLY PROTECTED BY FEDERAL AND STATE COPYRIGHT LAWS. ANY INFRINGEMENT WILL BE VIGOROUSLY PROSECUTED.

ALL CONSTRUCTION SHALL CONFORM TO THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AND BE IN ACCORDANCE WITH THE WASHINGTON STATE LAWS AND REGULATIONS AND VARIOUS CODES IMPOSED BY LOCAL AUTHORITIES, INCLUDING WASHINGTON AMENDMENTS TO IRC, AND MERCER ISLAND CITY CODE.

CONTRACTOR'S RESPONSIBILITY:
CONTRACTOR TO VERIFY ALL DIMENSIONS AND STRUCTURAL MEMBER SIZES PRIOR TO CONSTRUCTION. CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES IN THE DRAWINGS OR FROM THE CODES.

CONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON THE DRAWING ONLY WILL NOT SATISFY THIS REQUIREMENT.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM HIS WORK.

ALL STRUCTURAL SYSTEMS SUCH AS WOOD TRUSSES WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT IF UNUSUAL, UNFORESEEABLE, OR UNEXPECTED SUBSURFACE CONDITIONS ARE ENCOUNTERED.

BECAUSE THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, THE CONTRACTOR SHALL, BEFORE STARTING EACH PORTION OF THE WORK, CAREFULLY STUDY AND COMPARE THE VARIOUS CONTRACT DOCUMENT RELATIVE TO THAT PORTION OF THE WORK, AS WELL AS THE INFORMATION PROVIDED BY THE OWNER. SHALL TAKE FIELD MEASUREMENTS OF ANY EXISTING CONDITIONS RELATED TO THAT PORTION OF THE WORK AND SHALL OBSERVE ANY CONDITIONS AT THE SITE AFFECTING IT. THESE OBLIGATIONS ARE FOR THE PURPOSE OF FACILITATING COORDINATION AND CONSTRUCTION BY THE CONTRACTOR. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED BY OR MADE KNOWN TO THE CONTRACTOR AS A REQUEST FOR INFORMATION IN SUCH FORM AS THE ARCHITECT MAY REQUIRE. THE CONTRACTOR'S REVIEW IS MADE IN THE CONTRACTOR'S CAPACITY AS A CONTRACTOR AND NOT AS A LICENSED DESIGN PROFESSIONAL.

PROJECT NOTES

PROPOSED ADDITION TO EXISTING RESIDENCE AND NEW ADU/GARAGE

OWNERS

STEVE KAO & HUI HONG
21722 CHINOOK ROAD
WOODWAY, WA 98020

ZONING

R-15

PROPERTY TAX ACCT#

PROPERTY TAX ACCOUNT NUMBER: 294890-0015

LEGAL DESCRIPTION

GROVELAND PARK ADD VAC 3-4 & S 10 FT OF 2 & SH LIDS ADJ & VAC ST ADJ IN BLK 22 & VAC N 40 FT OF 16 THRU 22 & VAC S 50 FT OF 9 THRU 15 & VAC ST ADJ IN BLK 2

LOT COVERAGE

TOTAL LOT AREA: 42,797 S.F. NET LOT AREA 39,844 S.F.

HOUSE W/ ADDITIONS	5,266 S.F.
DADU	1,108 S.F.
SHED	143 S.F.
STRUCTURAL TOTAL	6,517 S.F.
SPORT COURT	1,950 S.F.
DRIVING SURFACES	6,766 S.F.
TOTAL	15,233 S.F.

HARDSCAPE MAX. ALLOWED 9% OF 42,797 S.F. = 3,852 S.F.
STEPPING STONES & ROCKERIES 976 S.F.

40% ALLOWABLE LOT COVERAGE OR 17,119 S.F.

GROSS FLOOR AREA

BASEMENT	640 S.F.
MAIN FLOOR	3,916 S.F.
UPPER FLOOR	1,908 S.F.
DADU	1,952 S.F.
TOTAL	8,416 S.F.

ALLOWABLE GROSS FLOOR AREA 12,000 S.F.

LOT SLOPE CALCULATION

HIGH POINT 80'-LOW POINT 18'=62' DIFFERENCE
62'/438.3' HORIZONTAL DISTANCE=100=12.8% LOT SLOPE

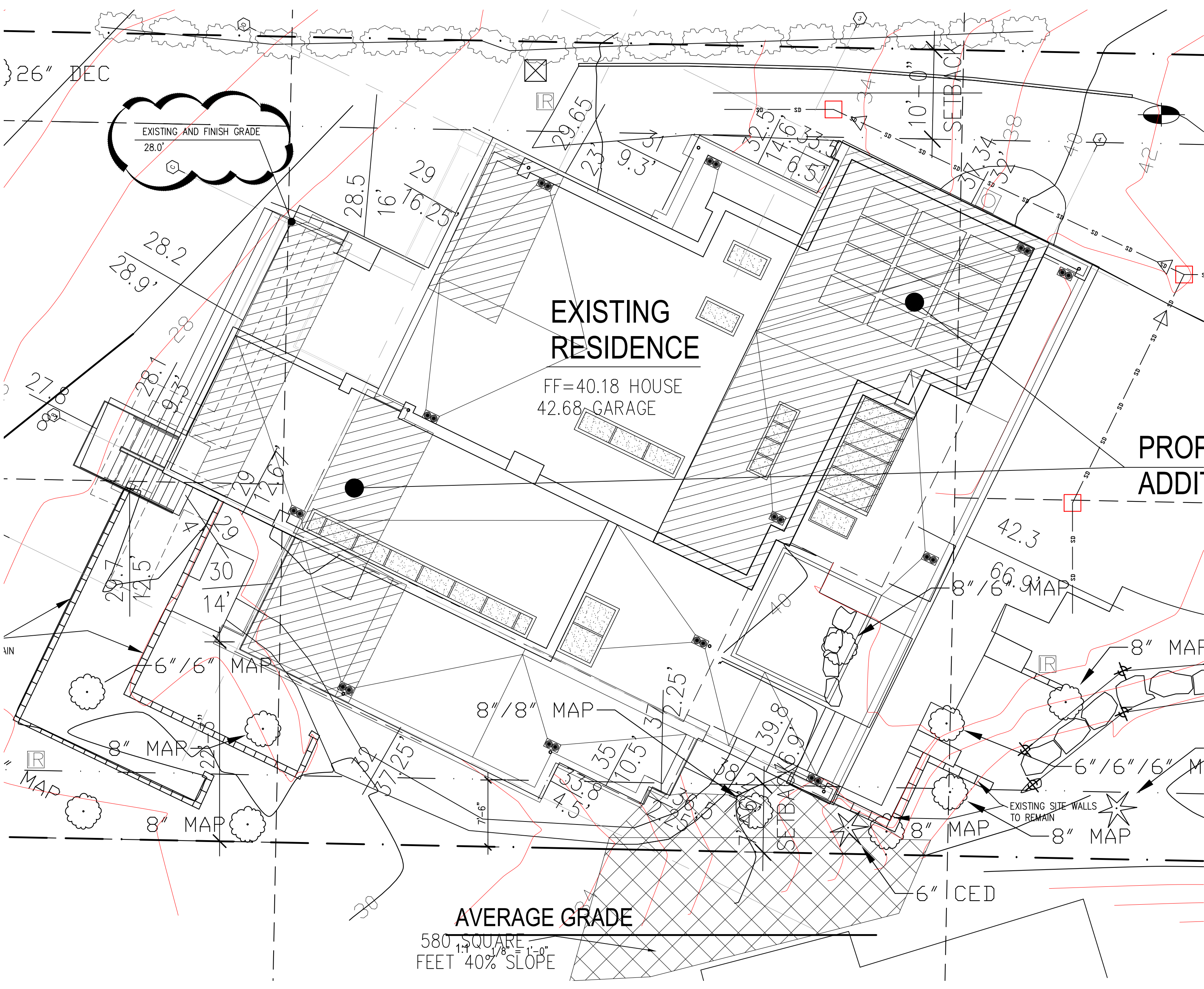
FIRE SPRINKLERS

PROVIDE A NFPA 13D FIRE SPRINKLER SYSTEM THROUGHOUT THE MAIN HOUSE. THIS SYSTEM WILL REQUIRE A SEPARATE FIRE PERMIT.

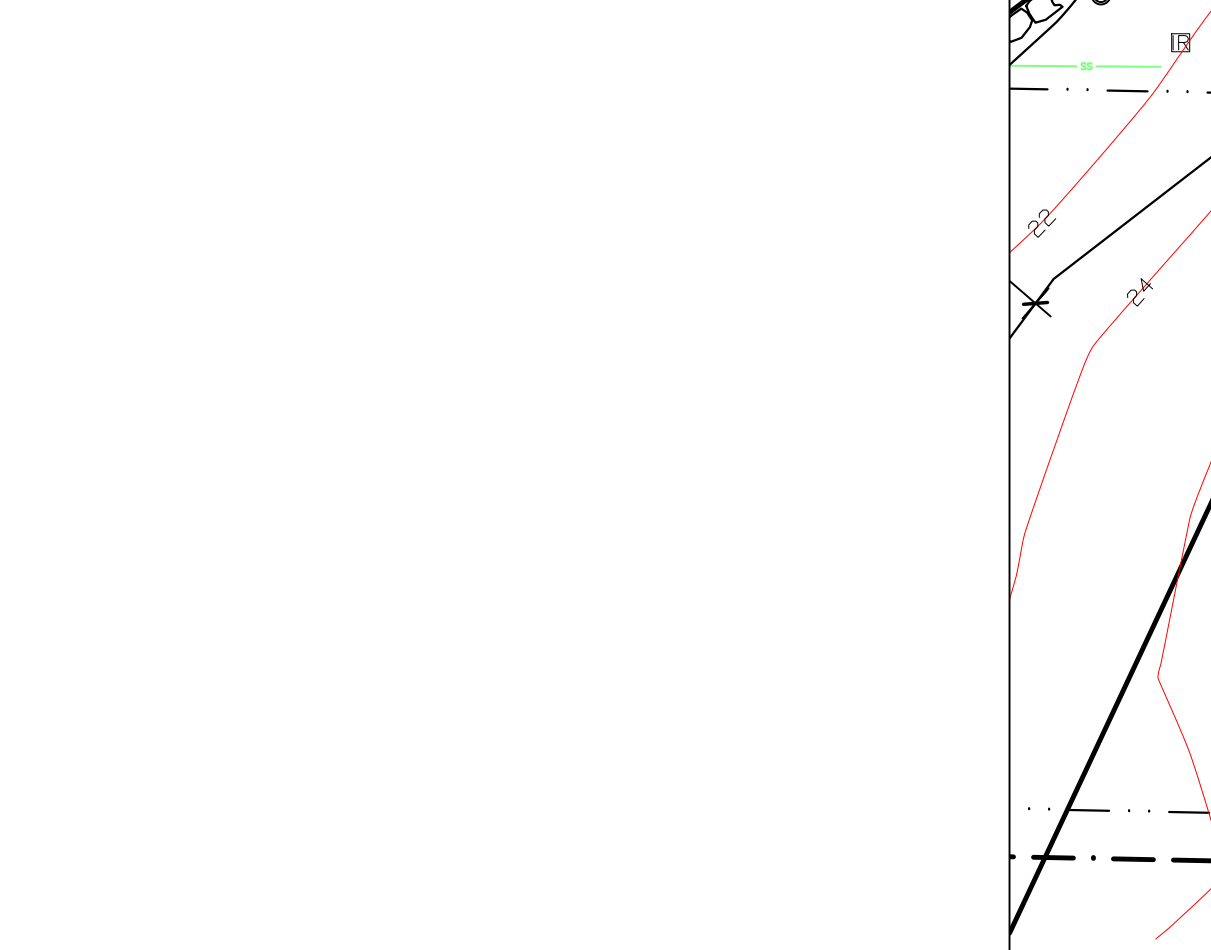
PROVIDE THE DADU WITH A NFPA 13D MONITORED FIRE ALARM SYSTEM.

SHEET INDEX

5F	MERCER ISLAND COVER SHEET	S.1	FOUNDATION PLAN
1.0	SITE PLAN	S.2	MAIN FLOOR FRAMING PLAN
1.1	FLOOR AREA ILLUSTRATION	S.3	UPPER FLOOR/ LOWER ROOF FRAMING PLAN
0.0	SITE SURVEY	S.4	ROOF FRAMING PLAN
C-1	CSWPP PLAN	S.10	GENERAL STRUCTURAL NOTES
C-2	DRAINAGE PLAN	S.11	GENERAL STRUCTURAL NOTES
C-3	DETAILS	S.12	GENERAL STRUCTURAL NOTES
6-001	COVER SHEET	S.3.0	DETAILS
L001	EXISTING VEGETATION WEST	S.4.0	TYPICAL WOOD DETAILS
L002	EXISTING VEGETATION EAST	S.4.1	TYPICAL WOOD DETAILS
L003	SITE IMPACTS WEST	S.4.2	FLOOR DETAILS
L004	SITE IMPACTS EAST	S.4.3	DECK DETAILS
L005	SITE PREP WEST	S.4.4	WOOD DETAILS
L006	SITE PREP EAST	S.4.5	PARAPET AND FLAT ROOF DETAILS
L007	PLANTING PLAN - WEST	S.5.0	STEEL DETAILS
L008	PLANTING PLAN - EAST	S.6.0	WOOD AND STEEL DETAILS
L009	DETAILS		
2.0	LOWER FLOOR DEMOLITION PLAN		
2.1	MAIN FLOOR DEMOLITION PLAN		
2.2	UPPER FLOOR DEMOLITION PLAN		
2.3	ROOF DEMOLITION PLAN		
3.0	LOWER FLOOR PLAN		
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3.2	UPPER FLOOR PLAN		
4.0	SCHEDULES		
4.1	SCHEDULES		
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4.3	DETAILS		
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4.7	MAIN FLOOR REFLECTED CEILING PLAN		
4.8	UPPER FLOOR REFLECTED CEILING PLAN		
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5.1	EXTERIOR ELEVATIONS		
6.0	BUILDING SECTIONS		
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6.2	BUILDING SECTIONS		
6.3	WALL SECTIONS		
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7.3	INTERIOR ELEVATIONS		
7.4	INTERIOR ELEVATIONS		
7.5	INTERIOR ELEVATIONS		
7.6	INTERIOR ELEVATIONS		
7.7	INTERIOR ELEVATIONS		
7.8	INTERIOR ELEVATIONS		
7.9	INTERIOR ELEVATIONS		
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9.0	SPECIFICATIONS		
E.1	LOWER FLOOR ELECTRICAL PLAN		
E.2	MAIN FLOOR ELECTRICAL PLAN		
E.3	UPPER FLOOR ELECTRICAL PLAN		
M.1	LOWER FLOOR DUCT CONCEPT		
M.2	MAIN FLOOR DUCT CONCEPT		
E.3	UPPER FLOOR DUCT CONCEPT		

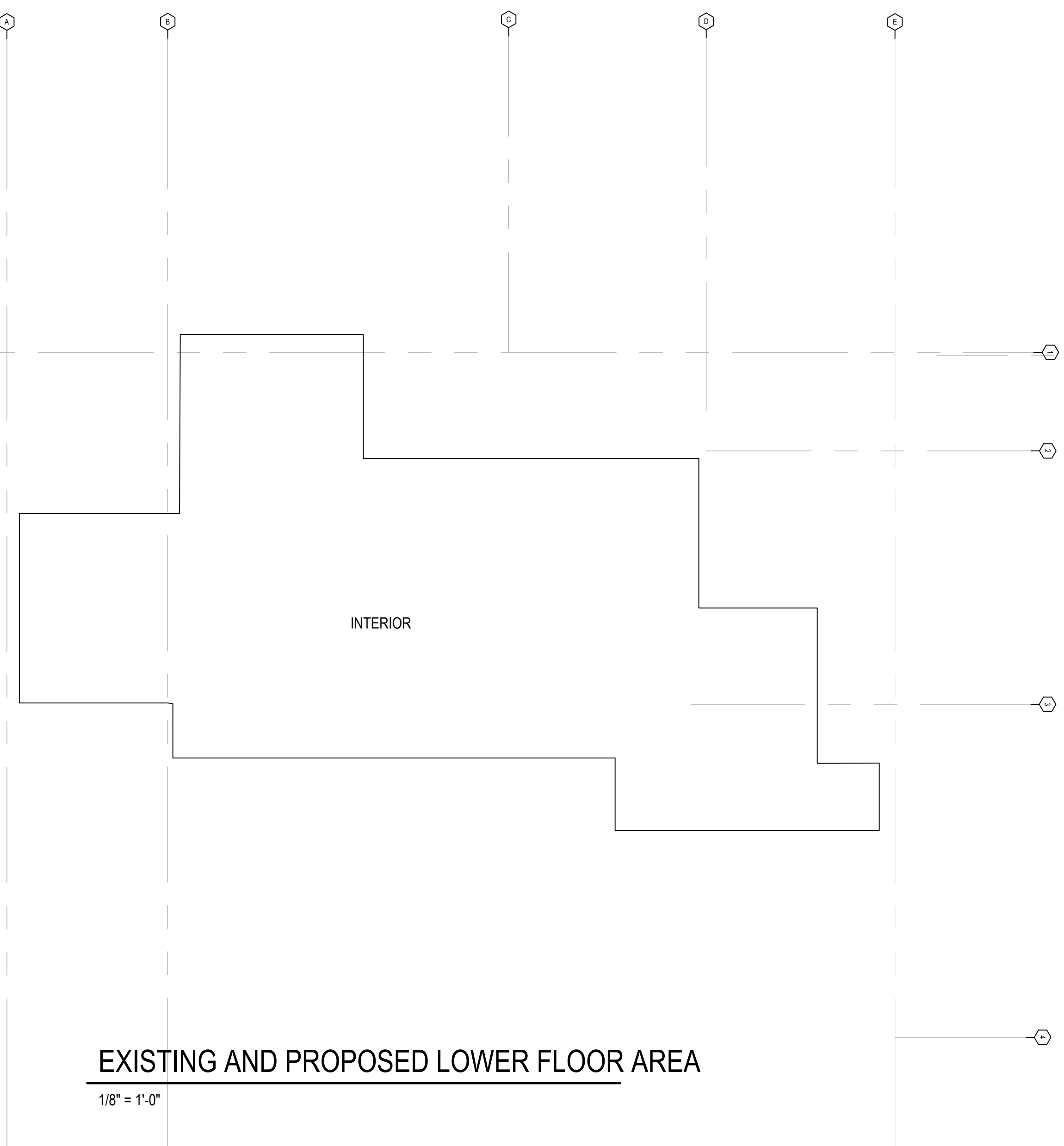


BASEMENT FLOOR AREA CALCULATION

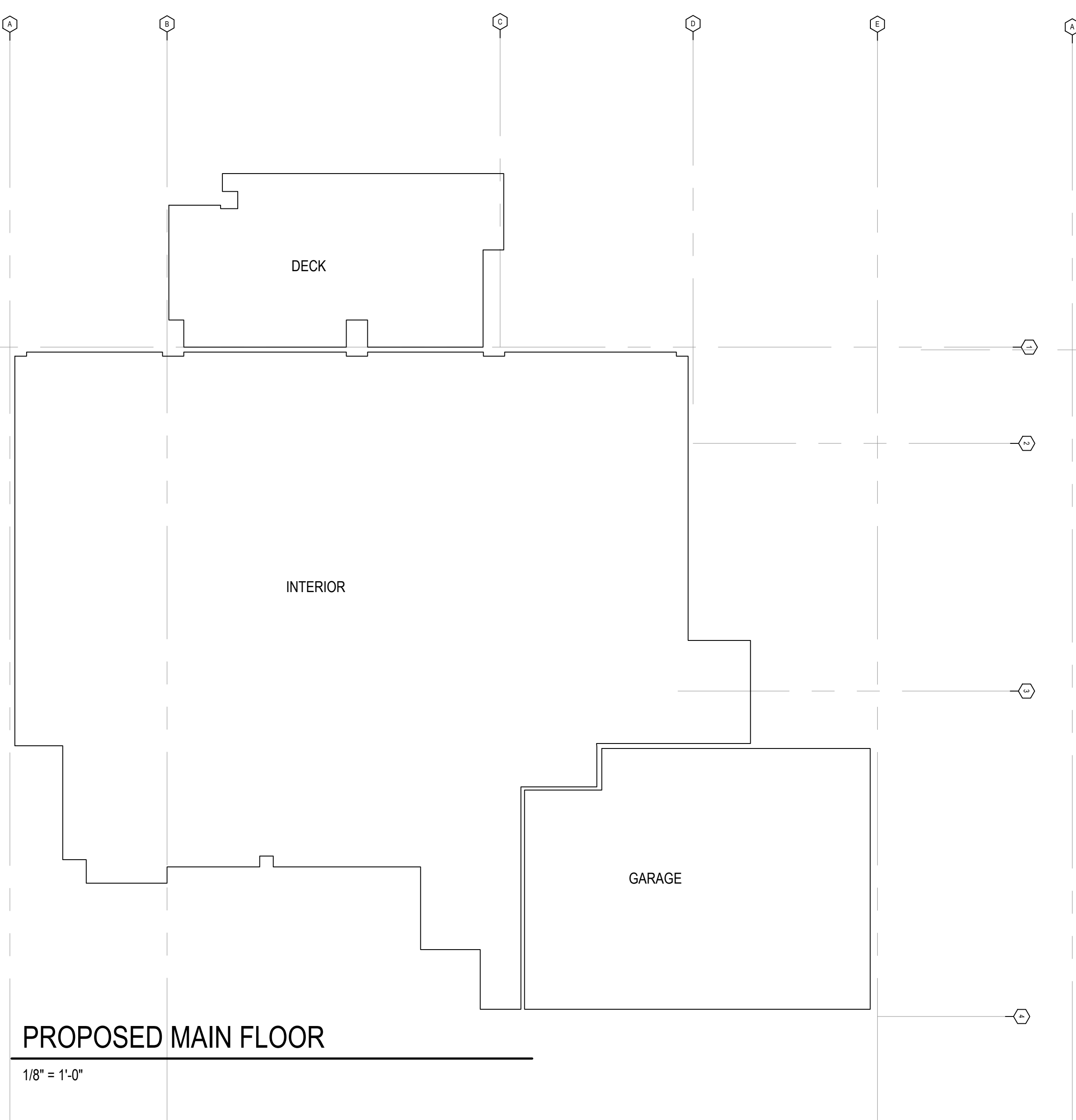


BASEMENT FLOOR AREA

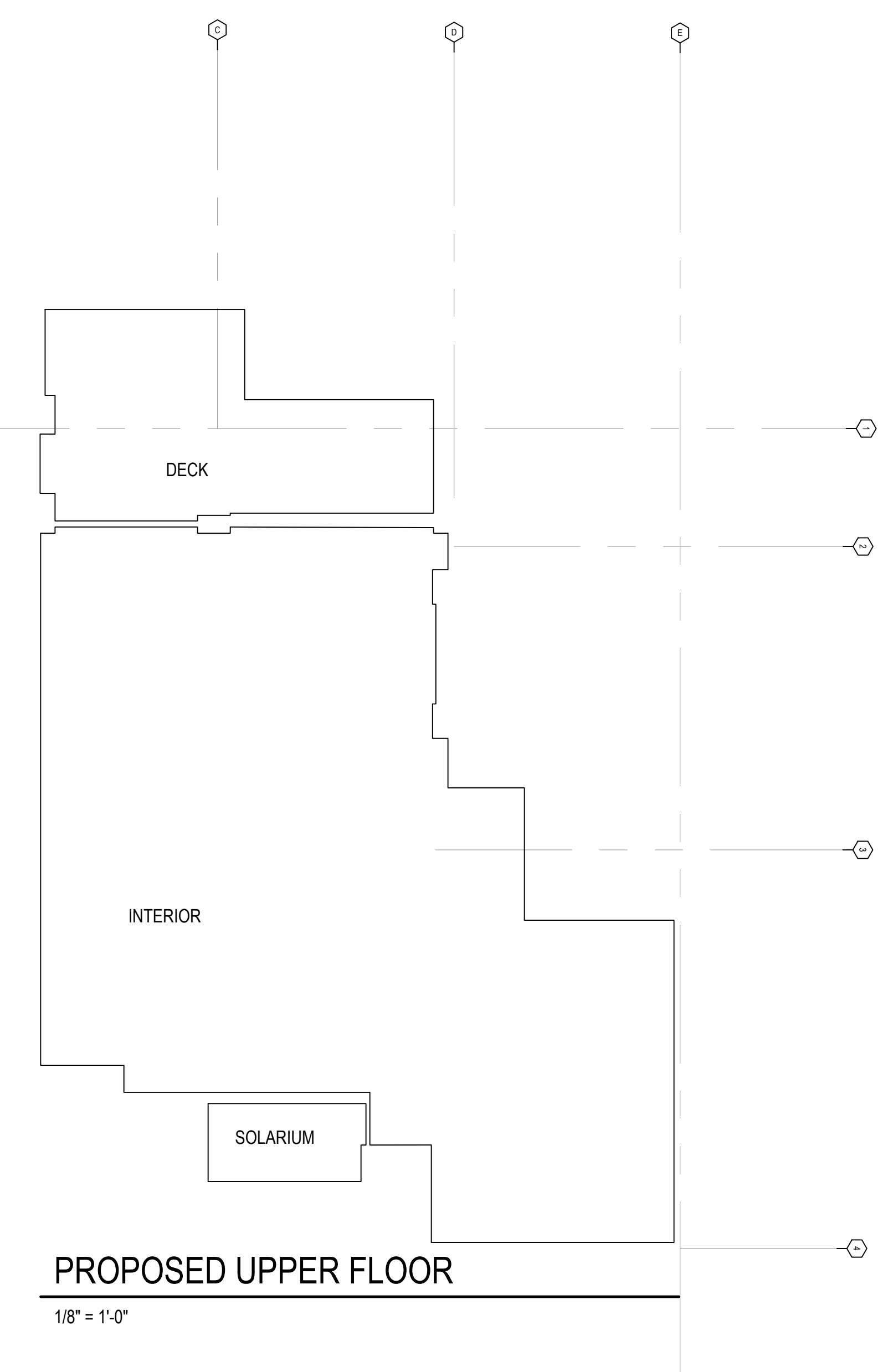
1" = 20"



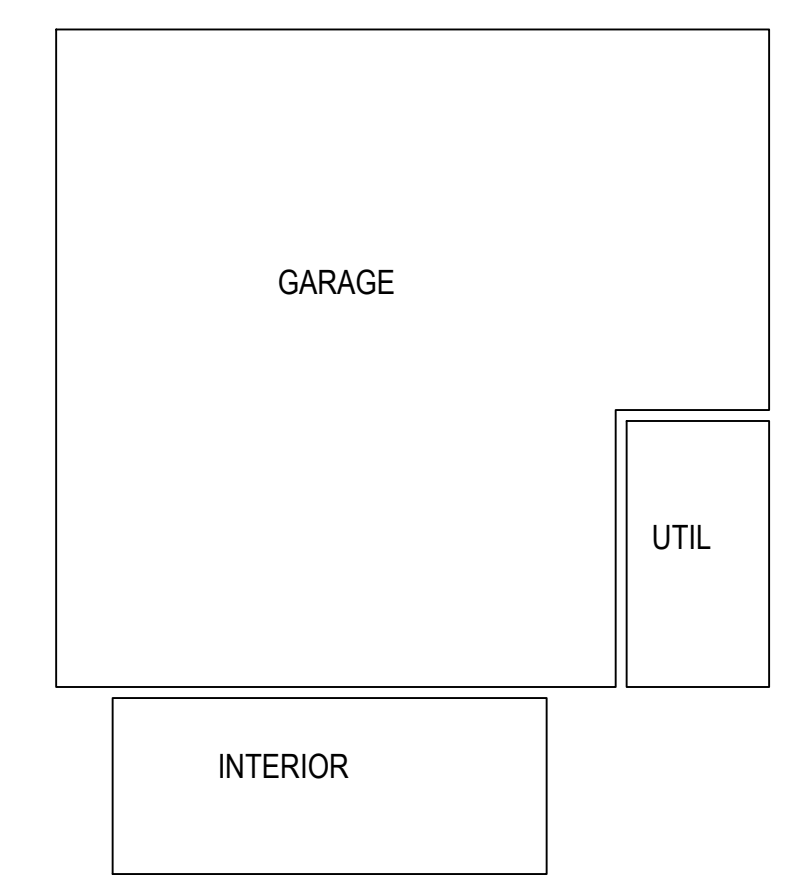
EXISTING AND PROPOSED LOWER FLOOR AREA
 1/8" = 1'-0"



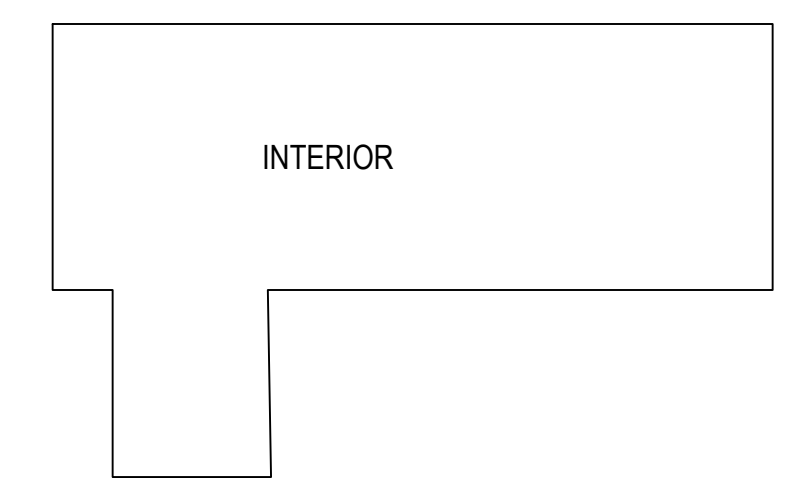
PROPOSED MAIN FLOOR
 1/8" = 1'-0"



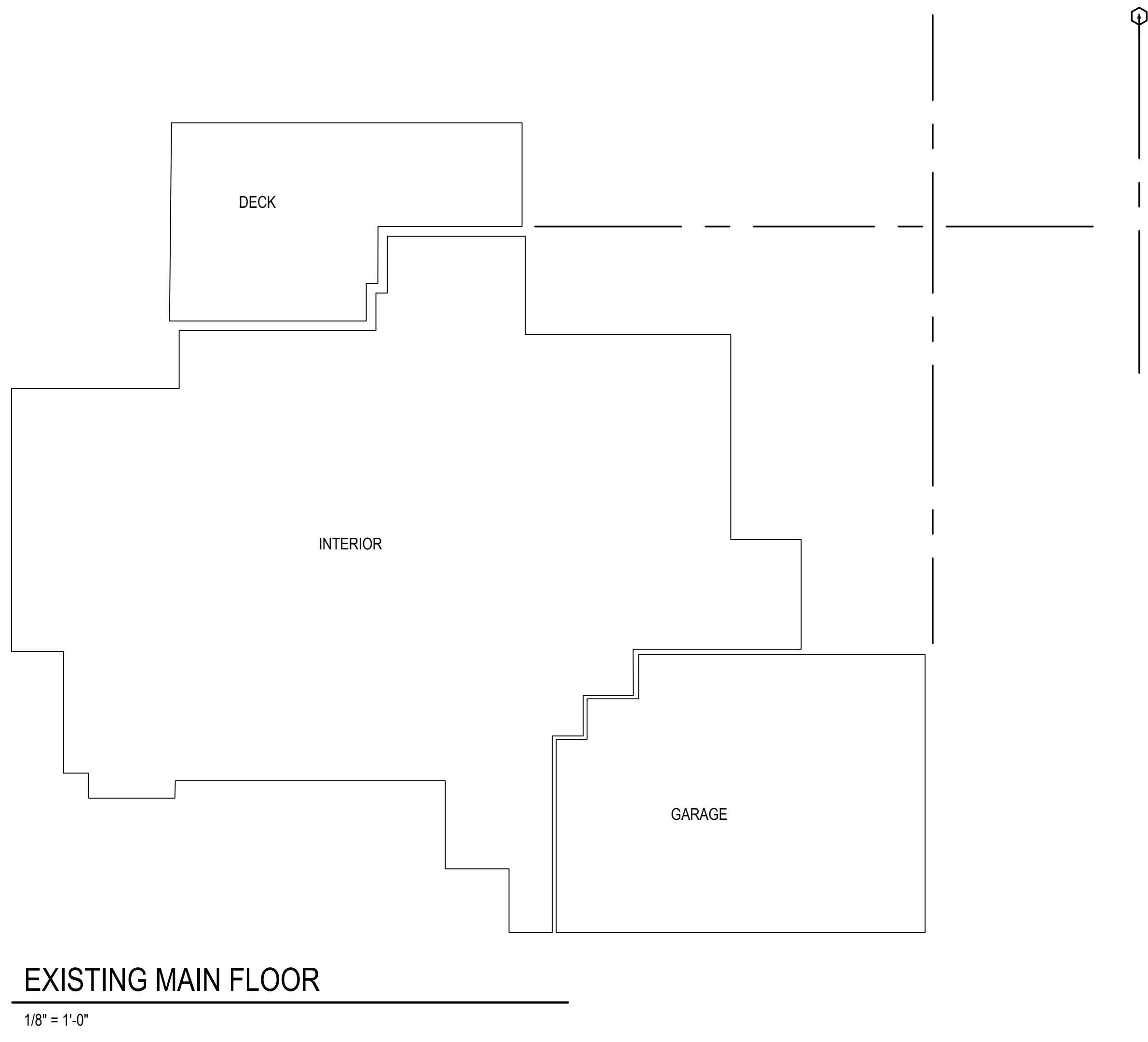
PROPOSED UPPER FLOOR
 1/8" = 1'-0"



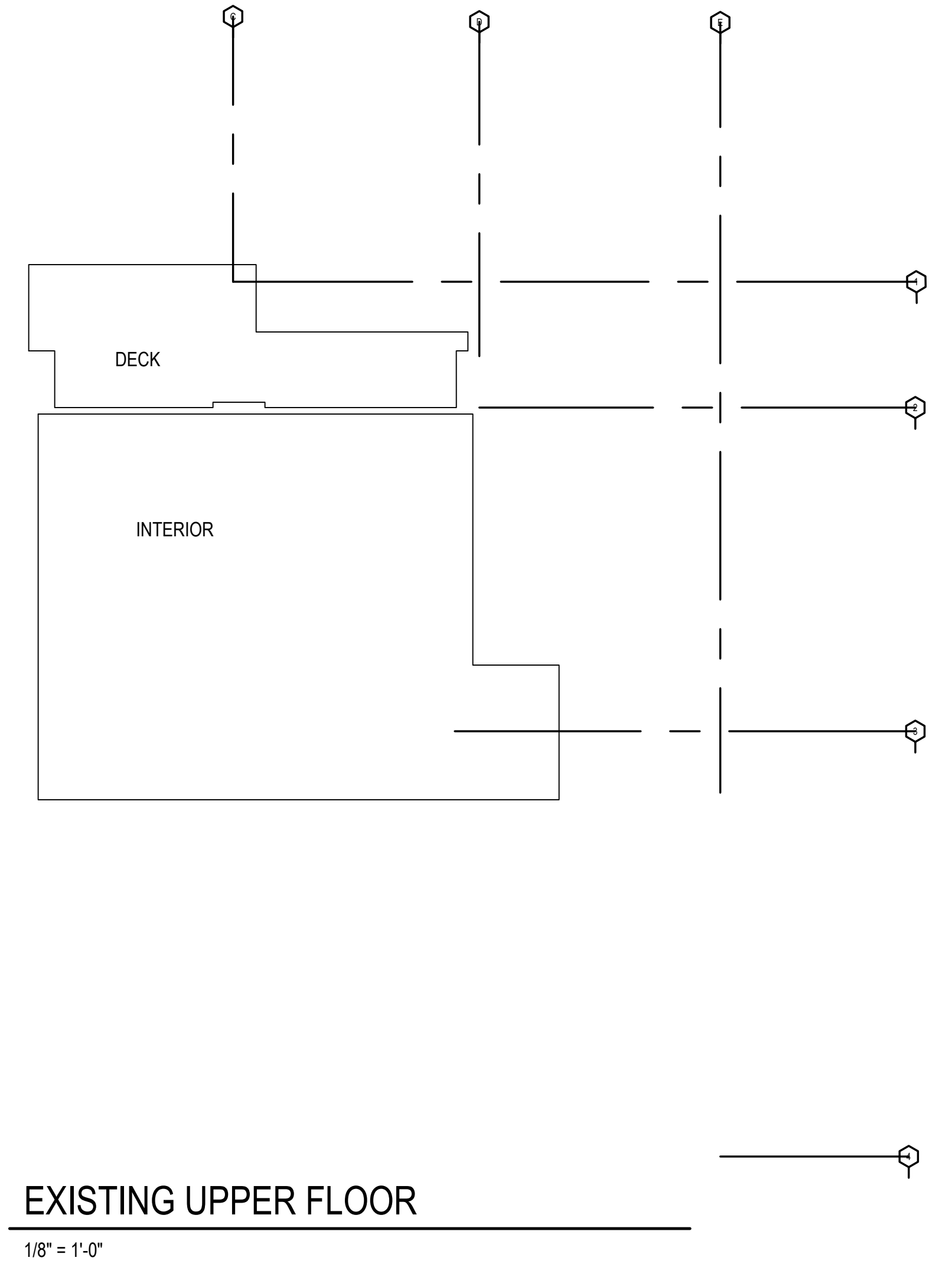
DADU MAIN FLOOR
 1/8" = 1'-0"



DADU UPPER FLOOR
 1/8" = 1'-0"



EXISTING MAIN FLOOR
 1/8" = 1'-0"



EXISTING UPPER FLOOR
 1/8" = 1'-0"

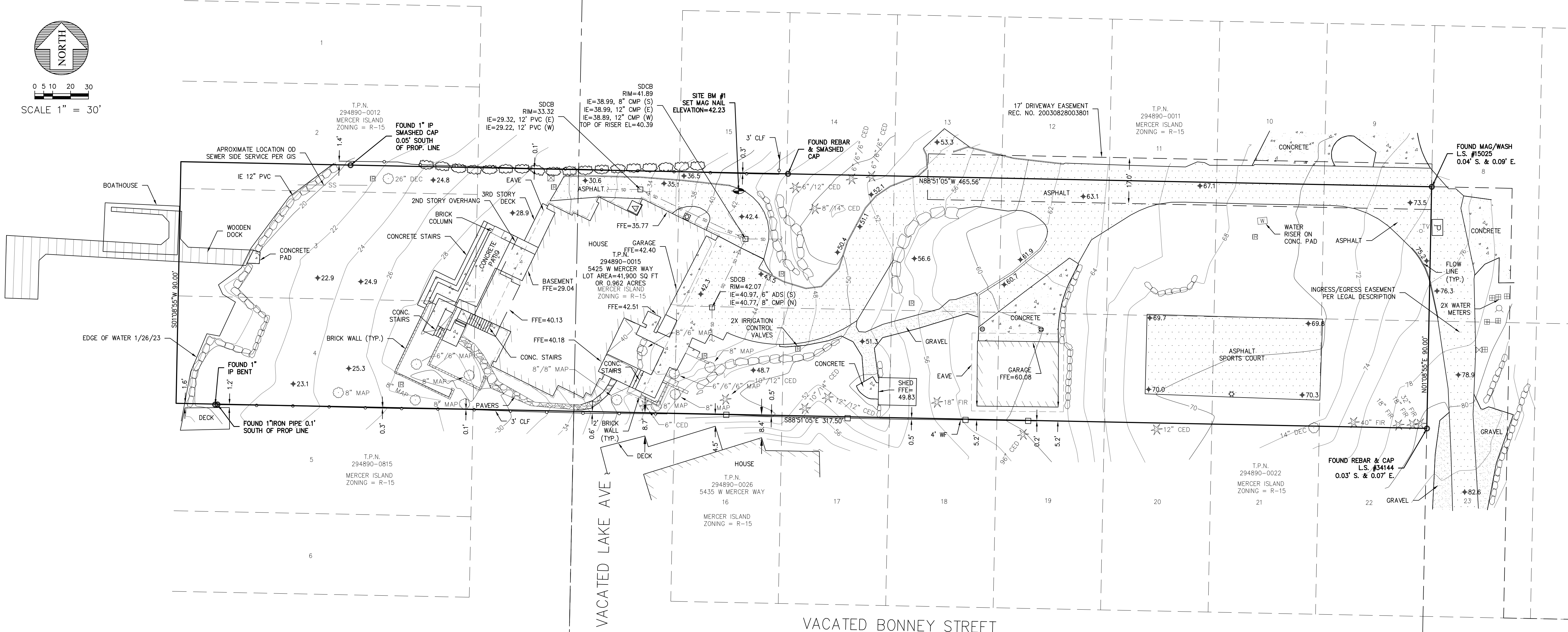
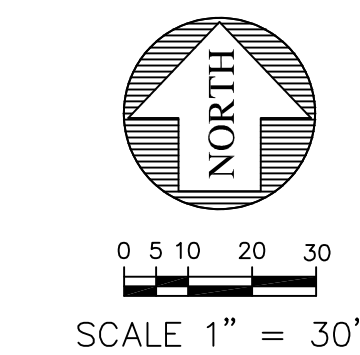
STEVE KAO & HUI HONG TOPOGRAPHIC SURVEY

A PORTION OF THE SE 1/4 OF THE NE 1/4 OF SEC. 24, TWP 24 N., RGE 4 E., W.M.
KING COUNTY, STATE OF WASHINGTON

VACATED BORDER STREET

VACATED BONNEY STREET

VACATED LAKE AVE



SURVEY NOTES:

- HORIZONTAL DATUM: NAD83-2011 EPOCH 2010.00 ESTABLISHED BY OBSERVATIONS TO THE WASHINGTON STATE REFERENCE NETWORK.
- BASIS OF POSITION: HELD THE FOUND MONUMENTED INTERSECTION OF VACATED BONNEY STREET AND VACATED LAKE AVE. (SEE MAP FOR LOCATION AND DESCRIPTION).
- BASIS OF BEARING: HELD THE BEARING OF S 88°51'05" E, PER DIRECT INVERSE, BETWEEN THE ABOVE NOTED BASIS OF POSITION AND FOUND MONUMENTED INTERSECTION OF VACATED BONNEY STREET AND WEST MERCER WAY (SEE MAP FOR LOCATION AND DESCRIPTION).
- THE FOLLOWING INFORMATION WAS REFERENCED IN PREPARING THE BOUNDARY SHOWN HERE ON:
 - GROVELAND PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 36, RECORDS OF KING COUNTY, WA.
 - RECORD OF SURVEY AS RECORDED IN VOLUME 23 OF SURVEYS, PAGE 100, RECORDS OF KING COUNTY, WA.
 - RECORD OF SURVEY AS RECORDED IN VOLUME 440 OF SURVEYS, PAGE 145, RECORDS OF KING COUNTY, WA.
 - KING COUNTY ASSESSOR'S MAP FOR THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 24N, RANGE 04E, W.M.
- VERTICAL DATUM: NAVD88 (ESTABLISHED PER WSRN NETWORK OBSERVATION ON SITE BM#1)

SITE BM #1: SET MAG NAIL 0.8 FEET SOUTH OF THE NORTH EDGE OF DRIVE, 3.8 FEET EAST OF THE END OF CURB. ELEVATION=42.23 FEET. (SEE MAP FOR LOCATION)
- TRaversing AND DATA COLLECTION WERE PERFORMED USING A SPECTRA AND/OR TRIMBLE 5 SECOND TOTAL STATION. ALL FIELD WORK WAS PERFORMED, AND EQUIPMENT MAINTAINED, IN COMPLIANCE WITH WAC 332-130.
- ADDITIONAL FIELD WORK WAS PERFORMED USING SPECTRA SP-80 GNSS POSITIONING SYSTEMS, THE WASHINGTON STATE REFERENCE NETWORK, AND/OR THE NATIONAL GEODETIC SURVEY'S ONLINE POSITIONING USER SERVICE (OPUS).
- MONUMENTS SHOWN AS FOUND AND PLANIMETRIC INFORMATION SHOWN HEREON ARE THE RESULT OF A SURVEY BY ENCOMPASS, COMPLETED IN JANUARY 2023.
- UNDERGROUND UTILITIES SHOWN HEREON ARE PER A COMBINATION OF FIELD LOCATED SURFACE OBSERVABLE FEATURES AND RECORDS OF THE APPLICABLE UTILITIES AND SHOULD BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.
- THE PURPOSE OF THIS EXHIBIT IS TO SHOW THE BOUNDARY AND EXISTING CONDITIONS ON THE SUBJECT PROPERTY.

LEGAL DESCRIPTION

THAT PORTION OF VACATED BLOCKS 2 AND 22 OF GROVELAND PARK, AS PER PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 36, RECORDS OF KING COUNTY AUDITOR, AND OF VACATED STREETS ADJOINING, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE CENTER LINES OF VACATED LAKE AVENUE AND VACATED BONNEY STREET AS SHOWN ON SAID PLAT, SAID POINT BEING MARKED BY A CONCRETE POST;

THENCE NORTH ALONG THE CENTER LINE OF SAID VACATED LAKE AVENUE 100 FEET TO THE TRUE POINT OF BEGINNING;

THENCE EAST PARALLEL WITH THE CENTER LINE OF VACATED BONNEY STREET TO THE EAST LINE OF LOT 22 OF SAID BLOCK 2;

THENCE NORTH ALONG SAID EAST LINE AND THE EAST LINE OF LOT 9 OF SAID 2, A DISTANCE OF 90 FEET;

THENCE WEST PARALLEL WITH THE CENTER LINE OF SAID VACATED BONNEY STREET TO THE SHORELINE OF LAKE WASHINGTON;

THENCE SOUTHERLY ALONG SAID SHORELINE 90 FEET, MORE OR LESS, TO AN INTERSECTION WITH THE WESTERLY PRODUCTION OF THE SOUTH LINE OF LOT 4 IN BLOCK 22 OF SAID PLAT;

THENCE EAST ALONG SAID SOUTH LINE AND ITS EASTERLY PRODUCTION THEREOF TO THE TRUE POINT OF BEGINNING;

TOGETHER WITH SECOND CLASS SHORE LANDS, AS CONVEYED BY THE STATE OF WASHINGTON, SITUATE IN FRONT OF, ADJACENT TO OR ABUTTING THEREON;

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS:

THE WEST 30 FEET OF LOTS 8 AND 23 OF SAID BLOCK 2 AND THE NORTH 30 FEET OF THAT PORTION OF VACATED BONNEY STREET LYING BETWEEN THE WEST LINE OF SAID LOT 23, BLOCK 2, PRODUCED SOUTH AND THE WESTERLY LINE OF W. MERCER WAY;

AND THAT PORTION OF VACATED ANDERSON AVE. AND SAID BLOCK 2, WITHIN THE FOLLOWING DESCRIBED TRACT:

BEGINNING AT A POINT ON THE SOUTHERLY MARGIN OF THE NORTH 30 FEET OF VACATED BONNEY STREET 70 FEET WEST OF THE WESTERLY MARGIN OF WEST MERCER WAY;

THENCE EAST ALONG SAID SOUTHERLY MARGIN TO THE WESTERLY MARGIN OF WEST MERCER WAY;

THENCE NORTHERLY ALONG THE WEST MARGIN OF WEST MERCER WAY, A DISTANCE OF 110 FEET;

THENCE IN A STRAIGHT LINE TO THE POINT OF BEGINNING;

EXCEPT THAT PORTION OF SAID EASEMENT LYING NORTH OF THE EASTERLY PRODUCTION OF THE NORTH LINE OF THE ABOVE DESCRIBED MAIN TRACT.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

LEGAL DESCRIPTION AND EASEMENTS SHOWN ARE PER CW TITLE COMMITMENT FOR TITLE INSURANCE NO 50025013-101, DATED 10/07/2022

SPECIAL EXCEPTIONS

- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE: MERCER ISLAND SEWER DISTRICT

PURPOSE: SEWER PIPELINE(S)

AREA AFFECTED: A PORTION OF SAID PREMISES

RECORDED ON AUGUST 5, 1964 AS INSTRUMENT #5770410 IN THE OFFICIAL RECORDS (NOT PLOTTABLE)

(SPECIAL EXCEPTIONS CONTINUED)

- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE: WASHINGTON NATURAL GAS COMPANY

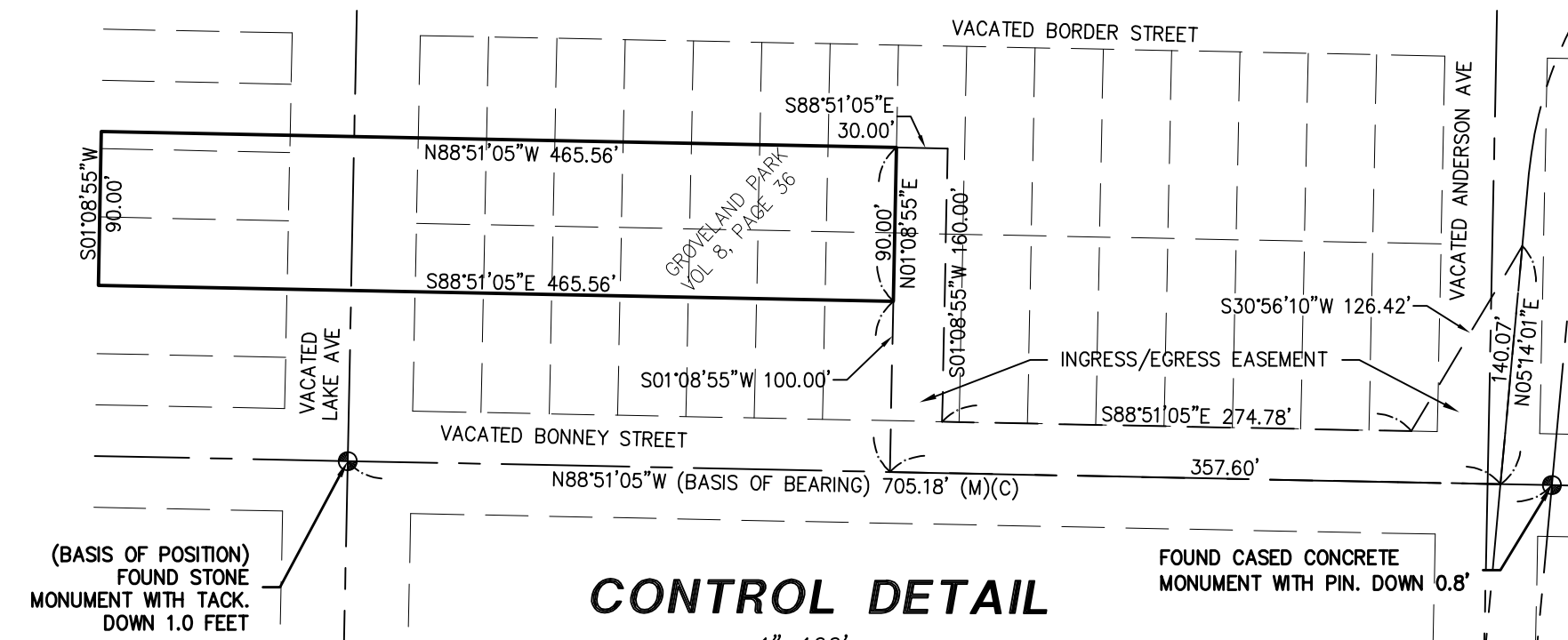
PURPOSE: GAS PIPELINE(S)

AREA AFFECTED: A PORTION OF SAID PREMISES

RECORDED ON JUNE 8, 1987 AS INSTRUMENT #8706081010 IN THE OFFICIAL RECORDS (NOT PLOTTABLE)
- DRIVEWAY EASEMENT AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:

RECORDED ON AUGUST 28, 2003 AS INSTRUMENT #20030828003801 IN THE OFFICIAL RECORDS

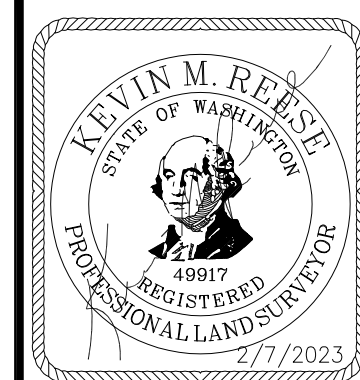
SAID EASEMENT CONTAINS A COVENANT TO BEAR EQUAL SHARE OF COST OF CONSTRUCTION, MAINTENANCE OR REPAIR OF SAME. (PLOTTED HEREON)



LEGEND

- | | | | |
|--|--------------------------|--|------------------------|
| | FOUND MONUMENT IN CASE | | LIGHT POST |
| | BENCHMARK | | CABLE TV RISER |
| | SECTION CORNER | | ROCKERY |
| | QUARTER CORNER | | GAS METER |
| | MEASURED | | STORM LINE |
| | CALCULATED | | WOOD FENCE (WF) |
| | WATER VALVE | | CHAIN LINK FENCE (CLF) |
| | FIRE HYDRANT | | HEDGE LINE |
| | WATER METER | | EVERGREEN TREE |
| | IRRIGATION CONTROL VALVE | | DECIDUOUS TREE |
| | WATER RISER | | CONCRETE |
| | CATCH BASIN | | ASPHALT |
| | AREA DRAIN | | GRAVEL |
| | POWER VAULT | | PAVERS |
| | GENERATOR | | |
| | JUNCTION BOX | | |

REVISIONS	DESCRIPTION	BY	DATE

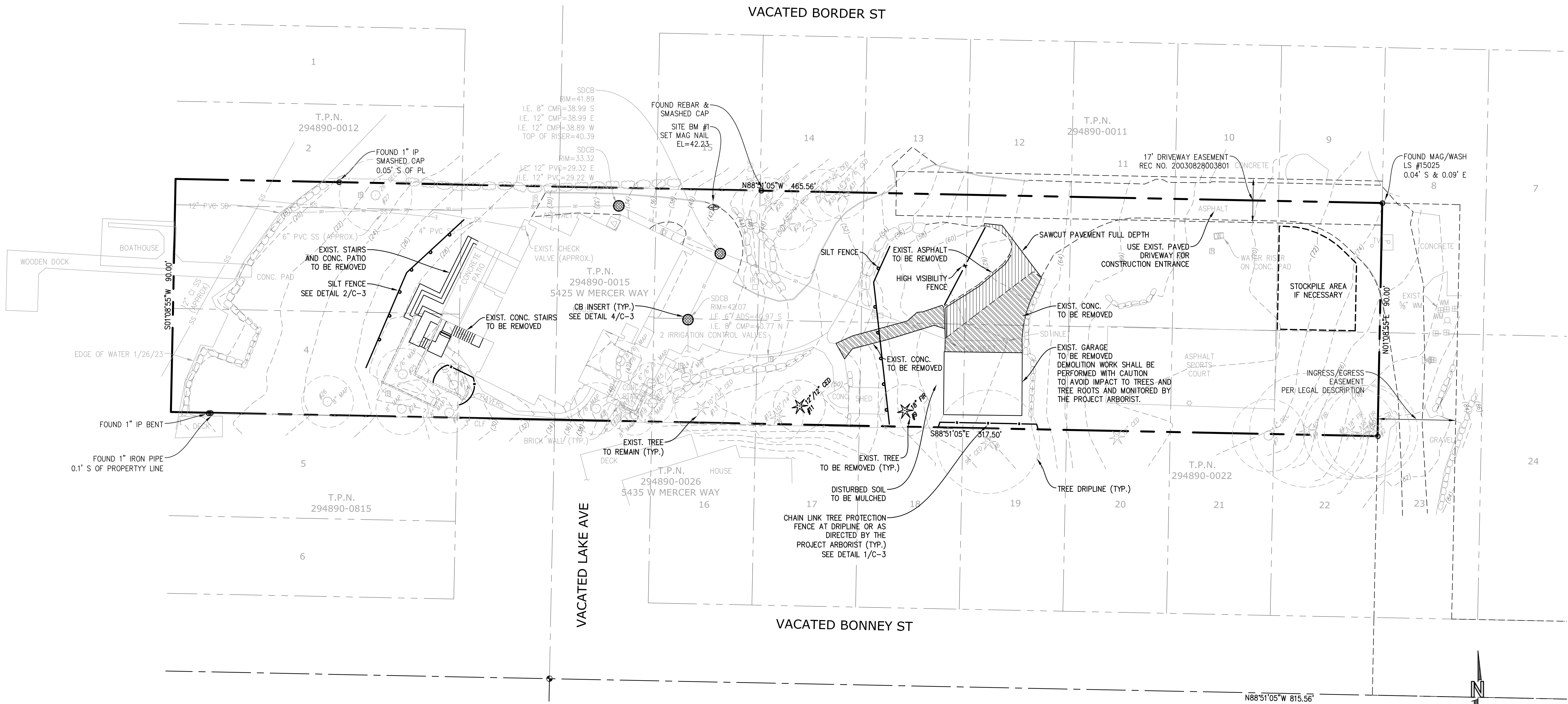


TOPOGRAPHIC SURVEY
FOR
STEVE KAO & HUI HONG



JOB NO.	22758
DATE	2/7/2023
SCALE	1"=20'
DESIGNED	N/A
DRAWN	LGK
CHECKED	N/A
APPROVED	KMR

A PORTION OF THE SE 1/4 OF THE NE 1/4 OF SEC. 24, TWP 24 N., RGE 4 E., W.M



EROSION AND SEDIMENT CONTROL NOTES

- APPROVAL OF THIS EROSION AND SEDIMENT CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY A CONTINUOUS LENGTH OF SURVEY TAPE (OR FENCING, IF REQUIRED) PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G., ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.).
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES DURING THE WET SEASON (OCT. 1 TO APRIL 30) AND OF MONTHLY REVIEWS DURING THE DRY SEASON (MAY 1 TO SEPT. 30).
- ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
- ANY AREA NEEDING ESC MEASURES NOT REQUIRING IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN FIFTEEN (15) DAYS. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN FORTY-EIGHT (48) HOURS FOLLOWING A STORM EVENT.
- AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ANY PERMANENT FLOW CONTROL FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
- WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2 TO 3 INCHES.
- PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEED AND THOSE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE DDES INSPECTOR. THE DDES INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.

POLLUTION PREVENTION AND SPILL CONTROL

- STORAGE AND HANDLING OF LIQUIDS**
- MINIMIZE AMOUNT OF LIQUIDS STORED ON SITE.
 - STORE AND CONTAIN LIQUID MATERIALS IN SUCH A MANNER THAT IF A VESSEL IS RUPTURED OR LEAKS, THE CONTENTS WILL NOT DISCHARGE, FLOW, OR BE WASHED INTO THE STORM DRAINAGE SYSTEM, SURFACE WATERS, OR GROUNDWATER. TYPICALLY THIS MEANS INSTALLING SECONDARY CONTAINMENT, SUCH AS A LINED EXCAVATION, LARGER CONTAINER, OR USING A DOUBLE-WALLED TANK OR SIMILAR COMMERCIALY AVAILABLE CONTAINMENT FACILITY.
 - PLACE TIGHT-FITTING LIDS ON ALL CONTAINERS.
 - ENCLOSE OR COVER THE CONTAINERS WHERE THEY ARE STORED TO PROTECT FROM RAIN. THE LOCAL FIRE DISTRICT MUST BE CONSULTED FOR LIMITATIONS ON CLEARANCE OF ROOF COVERS OVER CONTAINERS USED TO STORE FLAMMABLE MATERIALS.
 - RAISE THE CONTAINERS OFF THE GROUND BY USING A SPILL CONTAINMENT PALLET OR SIMILAR METHOD THAT HAS PROVISIONS FOR SPILL CONTROL.
 - PLACE DRIP PANS OR ABSORBENT MATERIALS BENEATH ALL MOUNTED CONTAINER TAPS, AND AT ALL POTENTIAL DRIP AND SPILL LOCATIONS DURING FILLING AND UNLOADING OF CONTAINERS. ANY COLLECTED LIQUIDS OR SOILED ABSORBENT MATERIALS MUST BE REUSED, RECYCLED, OR PROPERLY DISPOSED OF.
 - STORE AND MAINTAIN ABSORBENT PADS OR APPROPRIATE SPILL CLEANUP MATERIALS NEAR THE CONTAINER STORAGE AREA, IN A LOCATION KNOWN TO ALL. ENSURE THAT EMPLOYEES ARE FAMILIAR WITH THE SITE'S SPILL PLAN AND/OR PROPER SPILL CLEANUP PROCEDURES.
 - CHECK CONTAINERS (AND ANY CONTAINMENT SUMPS) DAILY FOR LEAKS AND SPILLS. REPLACE CONTAINERS THAT ARE LEAKING, CORRODED, OR OTHERWISE DETERIORATING. IF THE LIQUID CHEMICALS ARE CORROSIVE, CONTAINERS MADE OF COMPATIBLE MATERIALS MUST BE USED INSTEAD OF METAL DRUMS. NEW OR SECONDARY CONTAINERS MUST BE LABELED WITH THE PRODUCT NAME AND HAZARDS.
 - PLACE DRIP PANS OR ABSORBENT MATERIALS BENEATH A CONTAINER THAT IS FOUND TO BE LEAKING. REMOVE THE DAMAGED CONTAINER AS SOON AS POSSIBLE. MOP UP THE SPILLED LIQUID WITH ABSORBENT PADS OR RAGS. ANY COLLECTED LIQUIDS OR SOILED ABSORBENT MATERIALS MUST BE REUSED, RECYCLED, OR PROPERLY DISPOSED OF.
- FUELING**
- LOCATE THE FUELING OPERATION TO ENSURE LEAKS OR SPILLS WILL NOT DISCHARGE, FLOW, OR BE WASHED INTO THE STORM DRAINAGE SYSTEM, SURFACE WATER, OR GROUNDWATER.
 - USE DRIP PANS OR ABSORBENT PADS TO CAPTURE DRIPS OR SPILLS DURING FUELING OPERATIONS.
 - IF FUELING IS DONE DURING EVENING HOURS, LIGHTING MUST BE PROVIDED.
 - STORE AND MAINTAIN APPROPRIATE SPILL CLEANUP MATERIALS IN THE MOBILE FUELING VEHICLE. ENSURE THAT EMPLOYEES ARE FAMILIAR WITH PROPER SPILL CONTROL AND CLEANUP PROCEDURES.
 - IMMEDIATELY MOP UP ANY SPILLED FUEL WITH ABSORBENT PADS OR RAGS. ANY COLLECTED LIQUIDS OR SOILED ABSORBENT MATERIALS MUST BE REUSED, RECYCLED, OR PROPERLY DISPOSED OF.
- CONCRETE SAW CUTTING, SLURRY, AND WASHWATER DISPOSAL**
- SLURRY FROM SAW CUTTING THE SIDEWALK SHALL BE VACUUMED SO THAT IT DOES NOT ENTER NEARBY STORM DRAINS.
 - CONCRETE TRUCK CHUTES, PUMPS, AND INTERNALS SHALL BE WASHED OUT ONLY INTO FORMED AREAS AWAITING INSTALLATION OF CONCRETE.
 - UNUSED CONCRETE REMAINING IN THE TRUCK AND PUMP SHALL BE RETURNED TO THE ORIGINATING BATCH PLANT FOR RECYCLING.
 - HAND TOOLS INCLUDING, BUT NOT LIMITED, SCREEDS, SHOVELS, RAKES, FLOATS, AND TROWELS SHALL BE WASHED OFF ONLY INTO FORMED AREAS AWAITING INSTALLATION OF CONCRETE OR IMPERMEABLE ASPHALT.
 - EQUIPMENT THAT CANNOT BE EASILY MOVED, SUCH AS CONCRETE PAVERS, SHALL ONLY BE WASHED IN AREAS THAT DO NOT DIRECTLY DRAIN TO NATURAL OR CONSTRUCTED STORMWATER CONVEYANCES.
 - WASHDOWN FROM AREAS SUCH AS CONCRETE AGGREGATE DRIVEWAY SHALL NOT DRAIN DIRECTLY TO NATURAL OR CONSTRUCTED STORMWATER CONVEYANCES.
 - WHEN NO FORMED AREAS ARE AVAILABLE, WASHWATER AND LEFTOVER PRODUCT SHALL BE CONTAINED IN A LINED CONTAINER. CONTAINED CONCRETE SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT VIOLATE GROUNDWATER OR SURFACE WATER QUALITY STANDARDS.
 - CONTAINERS SHALL BE CHECKED FOR HOLES IN THE LINER DAILY DURING CONCRETE POURS AND REPLACED THE SAME DAY.

BASIS OF BEARINGS

HELD THE BEARING OF S 88°51'05" E, PER DIRECT INVERSE, BETWEEN THE ABOVE NOTED BASIS OF POSITION AND FOUND MONUMENTED INTERSECTION OF VACATED BONNEY STREET AND WEST MERCER WAY (SEE MAP FOR LOCATION AND DESCRIPTION).

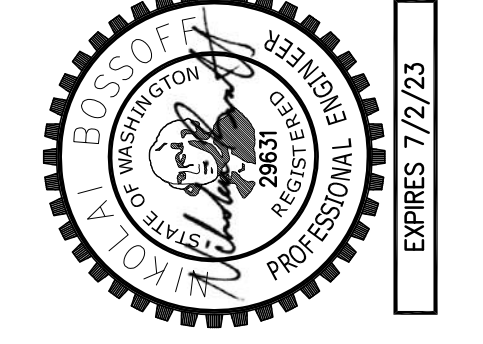
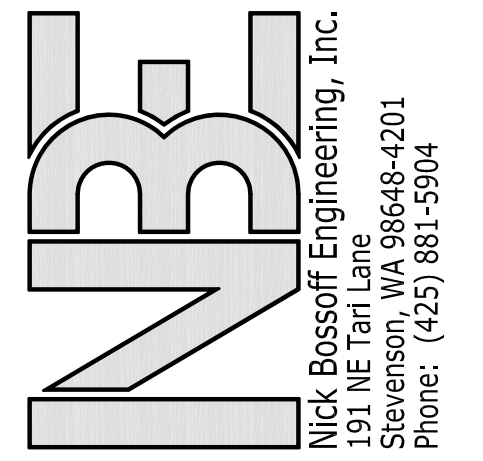
HORIZONTAL DATUM
 NAD83-2011 EPOCH 2010.00 ESTABLISHED BY OBSERVATIONS TO THE WASHINGTON STATE REFERENCE NETWORK.

VERTICAL DATUM
 NAVD88 (ESTABLISHED PER WSRN NETWORK OBSERVATION ON SITE BM#1)

LEGAL DESCRIPTION

THAT PORTION OF VACATED BLOCKS 2 AND 22 OF GROVELAND PARK, AS PER PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 36, RECORDS OF KING COUNTY AUDITOR, AND OF VACATED STREETS ADJOINING, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE INTERSECTION OF THE CENTER LINES OF VACATED LAKE AVENUE AND VACATED BONNEY STREET AS SHOWN ON SAID PLAT, SAID POINT BEING MARKED BY A CONCRETE POST;
 THENCE NORTH ALONG THE CENTER LINE OF SAID VACATED LAKE AVENUE 100 FEET TO THE TRUE POINT OF BEGINNING;
 THENCE EAST PARALLEL WITH THE CENTER LINE OF VACATED BONNEY STREET, 317.50 FEET TO THE EAST LINE OF LOT 22 OF SAID BLOCK 2;
 THENCE NORTH ALONG SAID EAST LINE AND THE EAST LINE OF LOT 9 OF SAID 2, A DISTANCE OF 90 FEET;
 THENCE WEST PARALLEL WITH THE CENTER LINE OF SAID VACATED BONNEY STREET TO THE SHORELINE OF LAKE WASHINGTON;
 THENCE SOUTHERLY ALONG SAID SHORELINE 90 FEET, MORE OR LESS, TO AN INTERSECTION WITH THE WESTERLY PRODUCTION OF THE SOUTH LINE OF LOT 4 IN BLOCK 22 OF SAID PLAT;
 THENCE EAST ALONG SAID SOUTH LINE AND ITS EASTERLY PRODUCTION THEREOF TO THE TRUE POINT OF BEGINNING;
 TOGETHER WITH SECOND CLASS SHORE LANDS, AS CONVEYED BY THE STATE OF WASHINGTON, SITUATE IN FRONT OF, ADJACENT TO OR ABUTTING THEREON;
 TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS:
 THE WEST 30 FEET OF LOTS 8 AND 23 OF SAID BLOCK 2 AND THE NORTH 30 FEET OF THAT PORTION OF VACATED BONNEY STREET LYING BETWEEN THE WEST LINE OF SAID LOT 23, BLOCK 2, PRODUCED SOUTH AND THE WESTERLY LINE OF W. MERCER WAY;
 AND THAT PORTION OF VACATED ANDERSON AVE. AND SAID BLOCK 2, WITHIN THE FOLLOWING DESCRIBED TRACT:
 BEGINNING AT A POINT ON THE SOUTHERLY MARGIN OF THE NORTH 30 FEET OF VACATED BONNEY STREET 70 FEET WEST OF THE WESTERLY MARGIN OF WEST MERCER WAY;
 THENCE EAST ALONG SAID SOUTHERLY MARGIN TO THE WESTERLY MARGIN OF WEST MERCER WAY;
 THENCE NORTHERLY ALONG THE WEST MARGIN OF WEST MERCER WAY, A DISTANCE OF 110 FEET;
 THENCE IN A STRAIGHT LINE TO THE POINT OF BEGINNING;
 EXCEPT THAT PORTION OF SAID EASEMENT LYING NORTH OF THE EASTERLY PRODUCTION OF THE NORTH LINE OF THE ABOVE DESCRIBED MAIN TRACT.
 SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

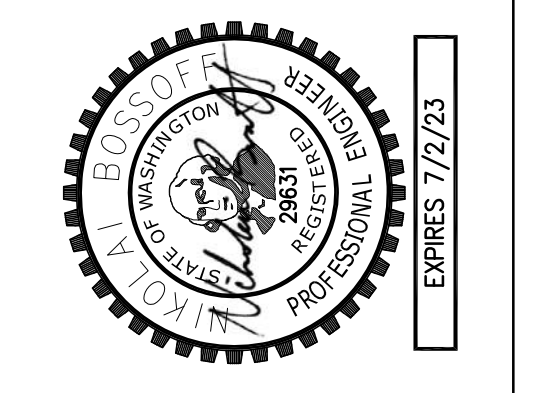
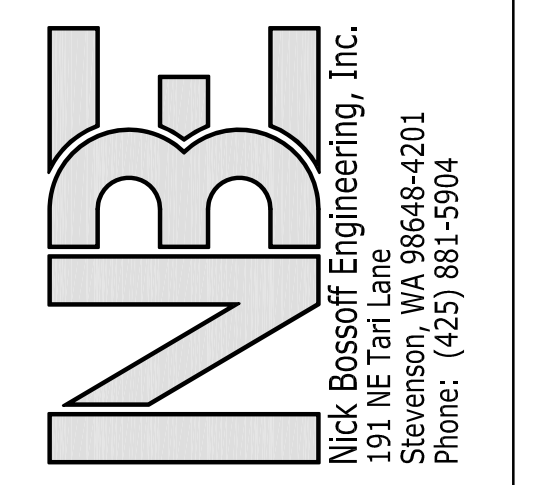
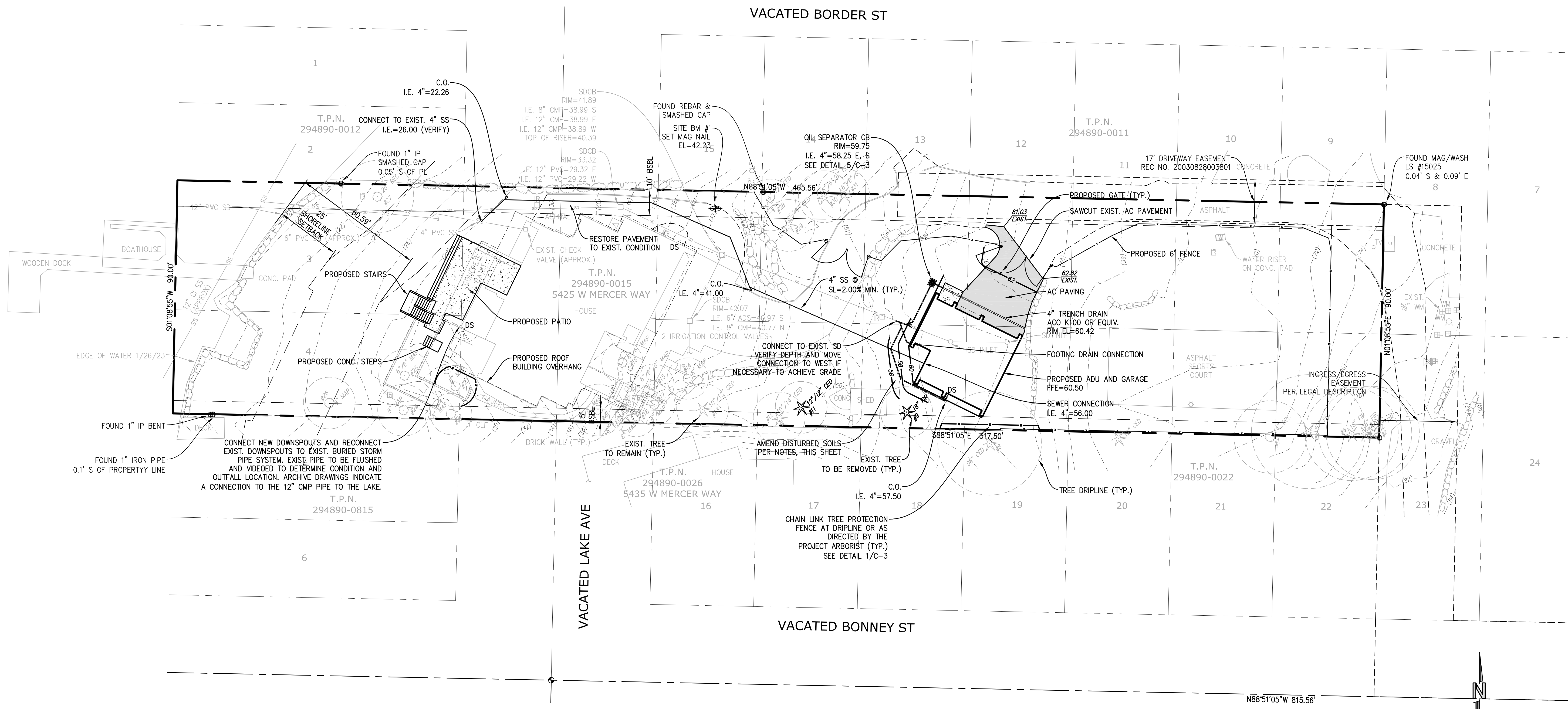
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NO.	DATE	REVISION
1	06/07/23	PERMIT SUBMITTAL
N. BOSSOFF, P.E. PROJECT MANAGER NB DESIGNED: TKB DRAWN: CBAP-2301 JOB NUMBER: CBAP-2301.pln.dwg FILE NAME:		

HONG AND KAO RESIDENCE
 5425 W MERCER WAY
 WASHINGTON
 MERCER ISLAND

TITLE: CSWPP PLAN
 SHEET: C-1



NO.	DATE	REVISION
1	05/07/23	PERMIT SUBMITTAL

HONG AND KAO RESIDENCE
5425 W MERCER WAY

WASHINGTON
MERCER ISLAND

PROJECT MANAGER: N. BOSSOFF, P.E.
DESIGNED: NB
DRAWN: TKB
JOB NUMBER: CBAP-2301
FILE NAME: CBAP-2301.pln.dwg

TITLE: DRAINAGE PLAN
SHEET: C-2

POST-CONSTRUCTION SOIL QUALITY AND DEPTH NOTES

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP 15.13. THE PROJECT GEOTECHNICAL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

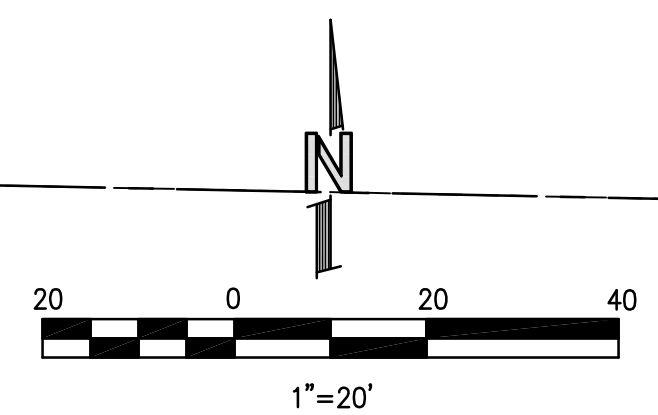
A. SOIL RETENTION: RETAIN, IN AN UNDISTURBED STATE, THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.

B. SOIL QUALITY: ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:

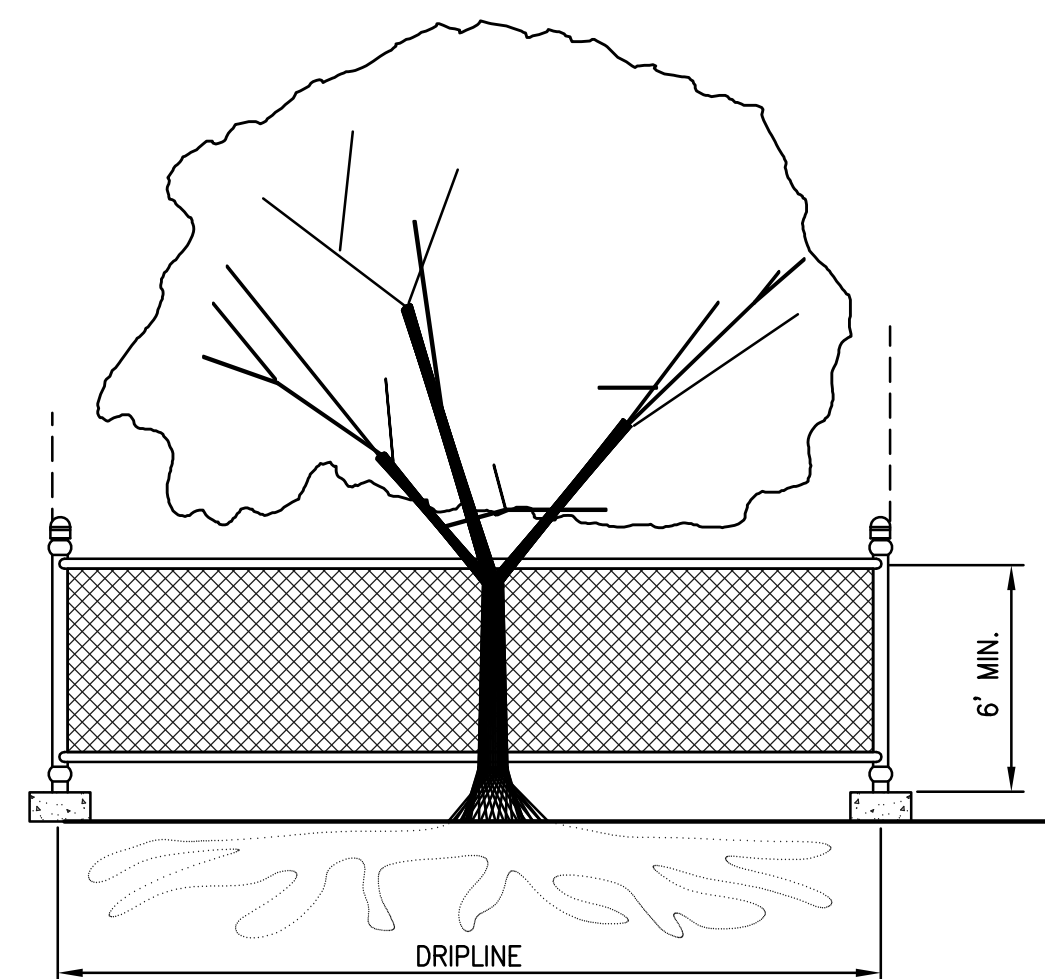
- A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
- MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL
- USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:
 - THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN BE MET ONLY USING COMPOST MEETING THE DEFINITION OF "COMPOSTED MATERIALS" IN WAC 173-350-220, WITH THE EXCEPTION THAT THE COMPOST MAY HAVE UP TO 35% BIOSOLIDS OR MANURE. THE COMPOST MUST ALSO HAVE AN ORGANIC MATTER CONTENT OF 40% TO 65%, AND A CARBON TO NITROGEN RATIO BELOW 25:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.
 - CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIAL MEETING (A.) ABOVE; OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND NOT EXCEEDING THE CONTAMINANT LIMITS IDENTIFIED IN TABLE 220-B, TESTING PARAMETERS, IN WAC 173-350-220. THE RESULTING SOIL SHOULD BE CONDUCTIVE TO THE TYPE OF VEGETATION TO BE ESTABLISHED.
- IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED ABOVE CAN BE MET BY USING ONE OF THE METHODS LISTED BELOW:
 - LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
 - AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
 - STOCKPILE EXISTING TOPSOIL DURING GRADING AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.
 - IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS. MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.

ADDITIONAL NOTES:

- ALL CONSTRUCTION MATERIALS AND PRACTICE SHALL CONFORM TO THE CITY OF MERCER ISLAND STANDARDS AND THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION STANDARDS.
- EXISTING UTILITIES AS SHOWN ARE FROM CITY RECORDS AND ARE APPROXIMATE. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO IDENTIFY, LOCATE AND PROTECT ABOVE AND BELOW GRADE UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND THE PROPOSED IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL AND SHALL MAINTAIN THE NECESSARY SAFEGUARDS AND MANAGE THE CONSTRUCTION SO AS TO PREVENT WATERBORNE SEDIMENTS FROM LEAVING THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR.
- ON-SITE PRIVATE STORM AND SEWER PIPE SHALL BE SOLVENT WELDED SCHEDULE 40 PVC OR PVC ASTM D3034 SDR35 UNLESS SHOWN OTHERWISE. PVC PIPE LAID AT A SLOPE IN EXCESS OF 20% SHALL BE SOLVENT WELDED SCHEDULE 40 PVC. STORM PIPE IN THE RIGHT-OF-WAY SHALL BE HIGH-DENSITY POLYETHYLENE DOUBLE-WALLED SMOOTH INTERIOR PIPE SUCH AS ADS N-12 OR EQUIVALENT.
- FOOTING DRAINS SHALL BE INSTALLED AROUND THE BASE OF ALL FOUNDATION FOOTINGS THAT ENCLOSE A CRAWL SPACE, CELLAR, BASEMENT, GARAGE OR OTHER BUILDING SPACE. FOOTING DRAINS SHALL BE PERFORATED 4-INCH DIAMETER PVC CONFORMING TO D2729, PERFORATIONS DOWN. GRANULAR BACKFILL SHALL BE PLACED AROUND AND ABOVE THE DRAIN TO A DEPTH OF 2/3 OF THE WALL HEIGHT. FILTER FABRIC (MIRAFI 140N OR EQUIVALENT) SHALL BE PLACED BETWEEN THE GRANULAR BACKFILL AND NATIVE SOILS. TIE THE FOOTING DRAIN INTO THE STORM LINE AT A LOCATION WHERE THE FOOTING DRAIN ELEVATION IS AT LEAST 12-INCHES ABOVE THE STORM LINE.
- EXISTING SIDE SEWER AND STORM DRAIN DEPTH AND LOCATION SHALL BE DETERMINED PRIOR TO ANY CONSTRUCTION, INCLUDING BUILDING CONSTRUCTION. REPORT CONFLICTS WITH PROPOSED CONSTRUCTION TO ENGINEER. NEW SIDE SEWER CONNECTION TO MAIN OR SEWER EJECTOR PUMP MAY BE NECESSARY FOR BASEMENT. PROPOSED METER LOCATION, IF SHOWN, IS APPROXIMATE. CONTRACTOR TO COORDINATE EXACT LOCATION OF NEW SERVICE/METER/ SUPPLY LINE WITH CITY WATER DEPARTMENT DURING CONSTRUCTION. SERVICE SIZE IS PRELIMINARY, VERIFY WITH PLUMBING AND SPRINKLER DESIGNER.
- EACH DOWNSPOUT SHALL CONNECT TO A RIGID NON-PERFORATED PIPE AT THE BUILDING PERIMETER. UNDER NO CIRCUMSTANCES SHALL DOWNSPOUTS CONNECT DIRECTLY TO THE PERFORATED FOOTING DRAIN.
- USE SAND COLLARS FOR PVC PIPE CONNECTIONS TO MANHOLES.
- VERTICAL BENDS ON THE STORM DRAINS MAY BE NECESSARY TO MAINTAIN MIN. 1.5' SOIL COVER OVER PIPE. MAX. PIPE BENDS TO BE 45°.
- DOWNSPOUT LOCATIONS SHOWN ARE PRELIMINARY. REFER TO ARCHITECTURAL PLANS FOR FINAL DOWNSPOUT LOCATIONS. EXISTING DOWNSPOUTS AND COLLECTOR PIPES SHALL BE PRESERVED AND NOT DISCONNECTED FROM THE SYSTEM. CONNECT EXISTING DOWNSPOUTS TO NEW STORM SYSTEM AS NECESSARY.
- AN UNDERSLAB DRAINAGE SYSTEM MAY BE NECESSARY DEPENDENT ON GEOTECHNICAL EVALUATION BY OTHERS.
- WINDOW WELLS SHALL BE DESIGNED FOR PROPER DRAINAGE BY CONNECTING TO THE BUILDING'S FOUNDATION DRAINAGE SYSTEM REQUIRED PER SECTION R310.2.3.2 OF THE INTERNATIONAL RESIDENTIAL CODE. A DRAINAGE SYSTEM FOR WINDOW WELLS IS NOT REQUIRED WHERE THE FOUNDATION IS ON WELL-DRAINED SOIL OR SAND-GRAVEL MIXTURE SOILS IN ACCORDANCE WITH THE UNITED SOIL CLASSIFICATION SYSTEM, GROUP 1 SOILS, AS DETAILED IN TABLE R405.1 OF THE IRC.



A PORTION OF THE SE 1/4 OF THE NE 1/4 OF SEC. 24, TWP 24 N., RGE 4 E., W.M



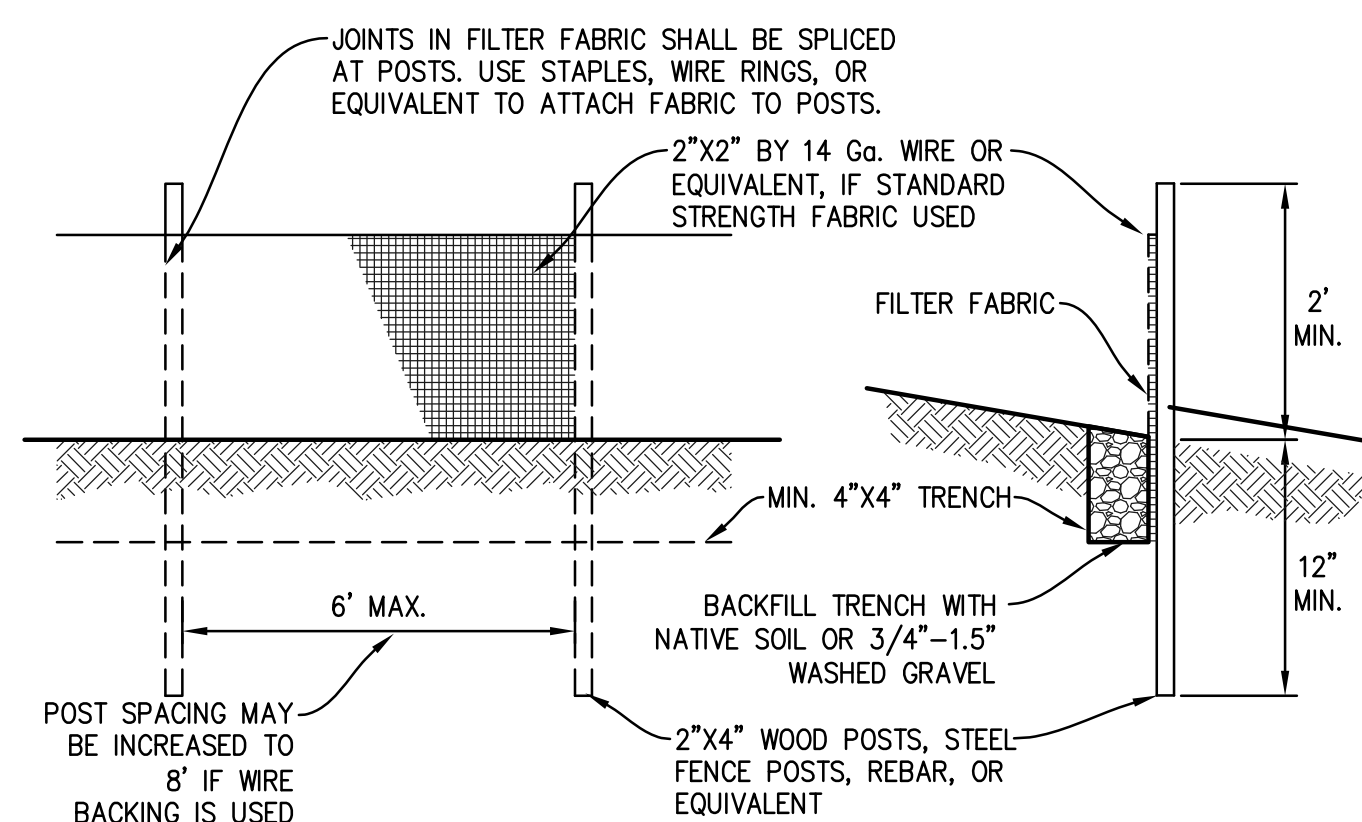
TREE PROTECTION DURING CONSTRUCTION

- 6-FT. HIGH TEMPORARY CHAIN LINK FENCE SHALL BE PLACED AT THE DRIPLINE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCIRCLE THE TREE(S). INSTALL FENCE POSTS USING PIER BLOCKS ONLY. AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS.
- FOR ROOTS OVER 1-IN DIA. THAT ARE DAMAGED DURING CONSTRUCTION, MAKE A CLEAN, STRAIGHT CUT TO REMOVE THE DAMAGED PORTION. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING, AND SHALL BE COVERED WITH SOIL AS SOON AS POSSIBLE.
- WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING.

TREE PROTECTION

SCALE: NTS

1



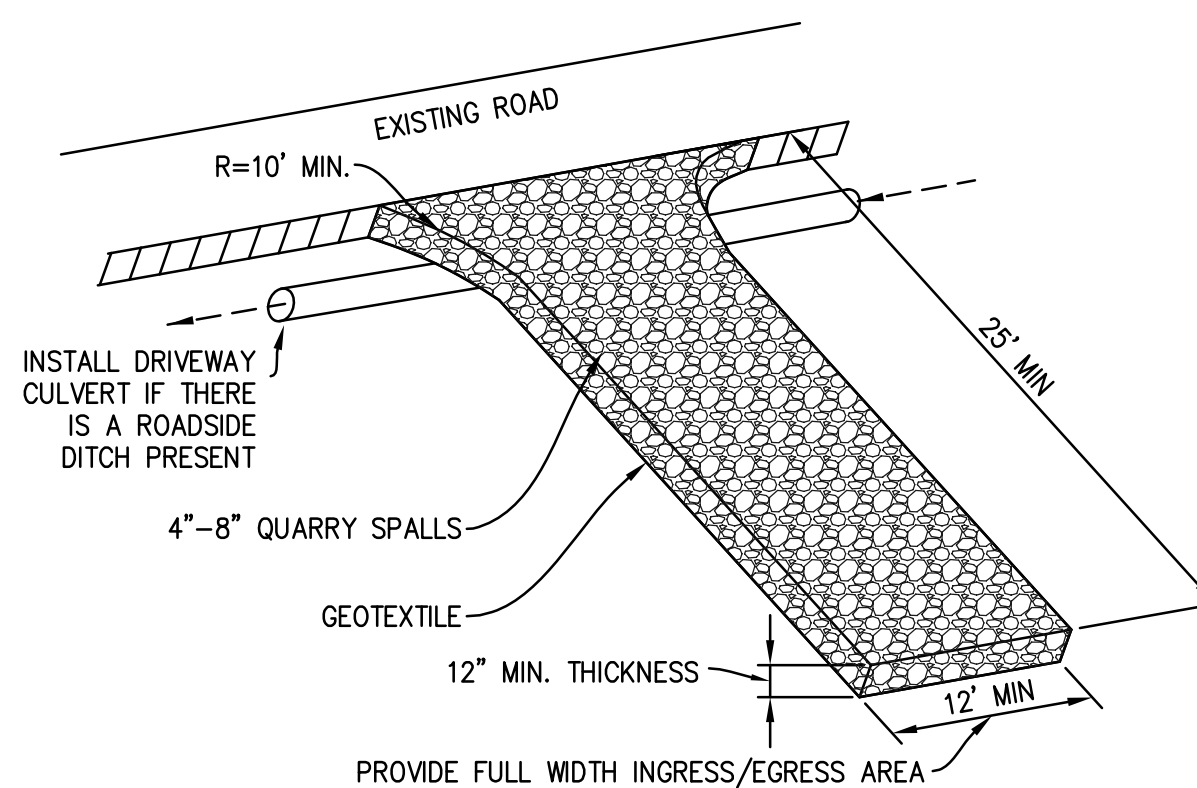
MAINTENANCE STANDARDS

- ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY.
- IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.
- IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGN OF THE FENCE CLOGGING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE. IF THIS OCCUR, REPLACE THE FENCE AND/OR REMOVE THE TRAPPED SEDIMENT.
- SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT IS 6" HIGH.
- IF THE FILTER FABRIC HAS DETERIORATED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED.

SILT FENCE

SCALE: NTS

2



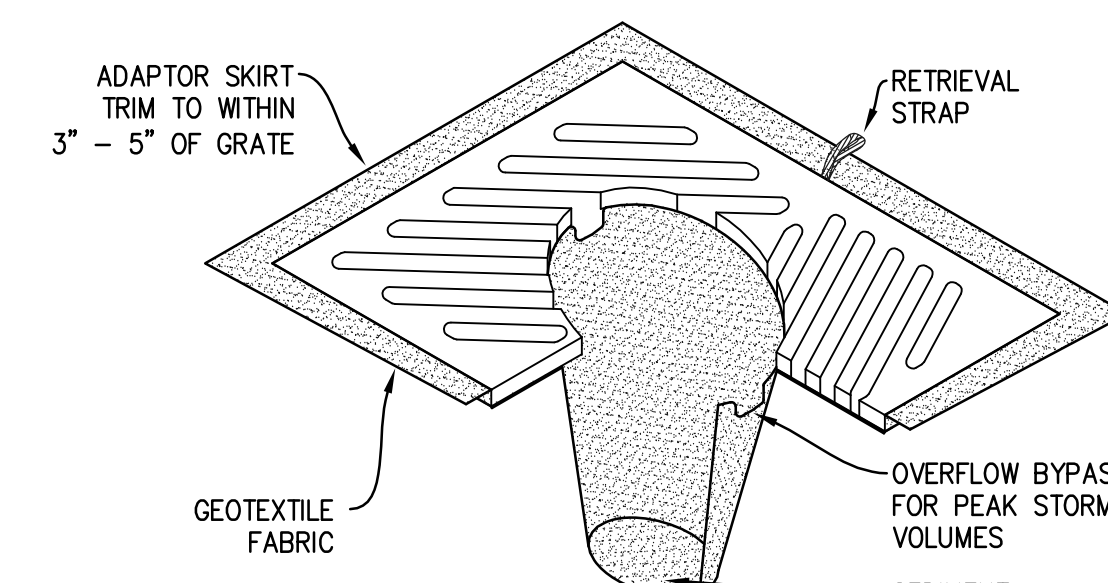
MAINTENANCE STANDARDS

- QUARRY SPALLS (OR HOG FUEL) SHALL BE ADDED IF THE PAD IS NO LONGER IN ACCORDANCE WITH THE SPECIFICATIONS.
- IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO PAVEMENT, THEN ALTERNATIVE MEASURES TO KEEP THE STREETS FREE OF SEDIMENT SHALL BE USED. THIS MAY INCLUDE STREET SWEEPING, AN INCREASE IN THE DIMENSIONS OF THE ENTRANCE, OR THE INSTALLATION OF A WHEEL WASH. IF WASHING IS USED, IT SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK, AND WASH WATER SHALL DRAIN TO A SEDIMENT TRAP OR POND.
- ANY SEDIMENT THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED IMMEDIATELY BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED OR STABILIZED ON-SITE. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY. IF IT IS NECESSARY TO WASH THE STREET, THE CONSTRUCTION OF A SMALL SUMP SHALL BE CONSIDERED. THE SEDIMENT WOULD THEN BE WASHED INTO THE SUMP.
- ANY ROCK SPALLS THAT ARE LOOSEENED FROM THE PAD AND END UP ON THE ROADWAY SHALL BE REMOVED IMMEDIATELY.
- IF VEHICLES ARE ENTERING OR EXITING THE SITE AT POINTS OTHER THAN THE CONSTRUCTION ENTRANCE(S), FENCING (SECTION 5.4.1) SHALL BE INSTALLED TO CONTROL TRAFFIC.

ROCK CONSTRUCTION ENTRANCE

SCALE: NTS

3



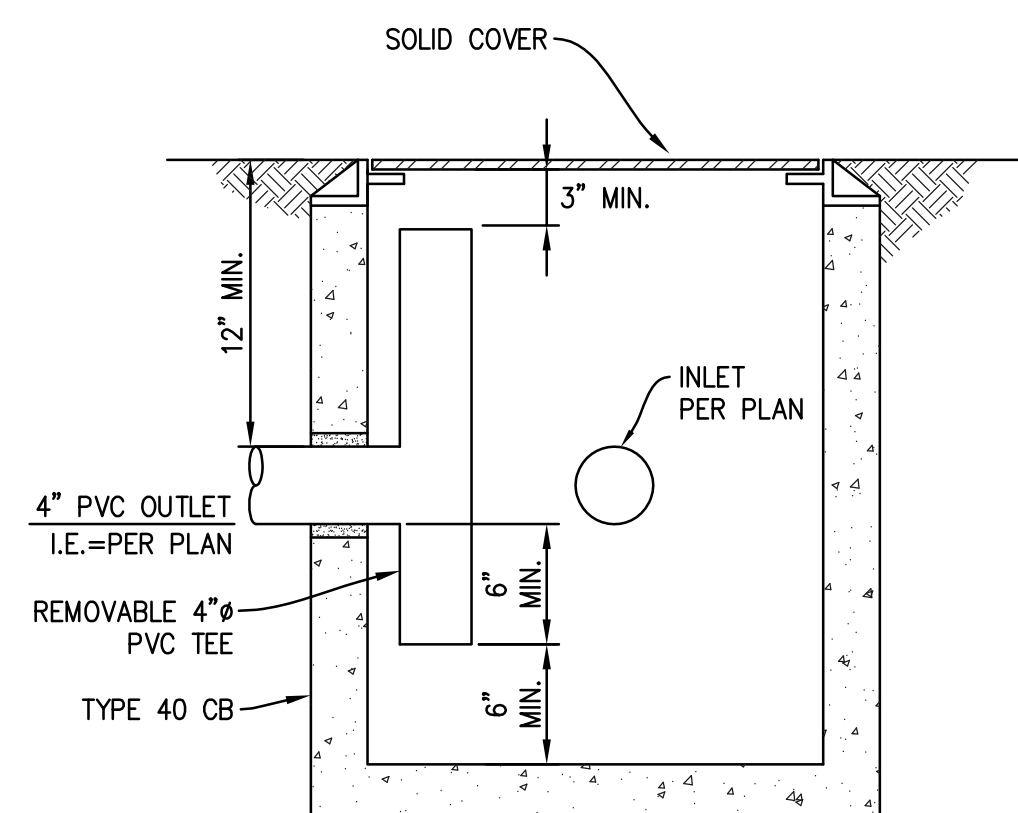
NOTES

- INSERT SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING ACTIVITY, OR UPON PLACEMENT OF A NEW CATCH BASIN.
- SEDIMENT SHALL BE REMOVED FROM THE UNIT WHEN IT BECOMES HALF FULL.
- SEDIMENT REMOVAL SHALL BE ACCOMPLISHED BY REMOVING THE INSERT, EMPTYING, AND RE-INSERTING IT INTO THE CATCH BASIN.

CB INSERT

SCALE: NTS

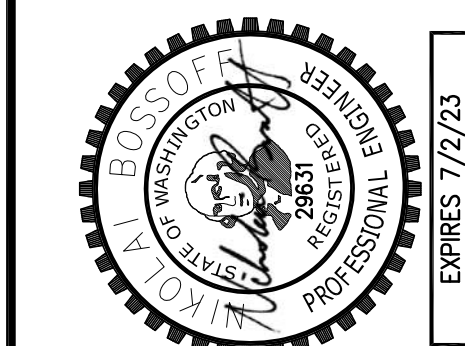
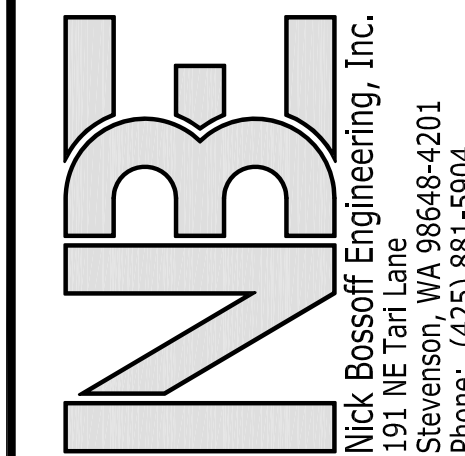
4



OIL SEPARATOR CB

SCALE: NTS

5



NO.	DATE	REVISION
1	06/07/23	PERMIT SUBMITAL

N. BOSSOFF, P.E.
PROJECT MANAGER
DESIGNED: TKB
DRAWN: CBAP-2301
JOB NUMBER: CBAP-2301
FILE NAME: p1n.dwg

HONG AND KAO RESIDENCE
5425 W MERCER WAY
MERCER ISLAND
WASHINGTON

TITLE: DETAILS
SHEET: C-3

HONG & KAO RESIDENCE

G-001	COVER SHEET
L001	EXISTING VEGETATION & CRITICAL AREA CONDITIONS - WEST
L002	EXISTING VEGETATION & CRITICAL AREA CONDITIONS - EAST
L003	SITE IMPACTS & MITIGATION PLAN - WEST
L004	SITE IMPACTS & MITIGATION PLAN - EAST
L005	SITE PREPARATION PLAN - WEST
L006	SITE PREPARATION PLAN - EAST
L007	PLANTING PLAN & SCHEDULE - WEST
L008	PLANTING PLAN & SCHEDULE - EAST
L009	PLANT INSTALLATION DETAILS & NOTES

PROJECT DIRECTORY

CLIENT: HUI HONG & STEVE KAO
 5425 W. MERCER WAY
 MERCER ISLAND, WA 98040
 T: 425.545.88610
 HUIHONG9823@GMAIL.COM

LANDSCAPE ARCHITECT: DCGWATERSHED
 CONTACT: KENNY BOOTH
 750 SIXTH ST SOUTH
 KIRKLAND, WA 98033
 T: 425.822.5242
 KENNY.BOOTH@DCGWATERSHED.COM
 WWW.DCGWATERSHED.COM

ARCHITECT: CHESMORE/BUCK ARCHITECTURE
 CONTACT: DAVE BUCK
 27 100TH AVE NE
 BELLEVUE WA, 98004
 T: 425.679.0907
 DAVE@CHESMOREBUCK.COM

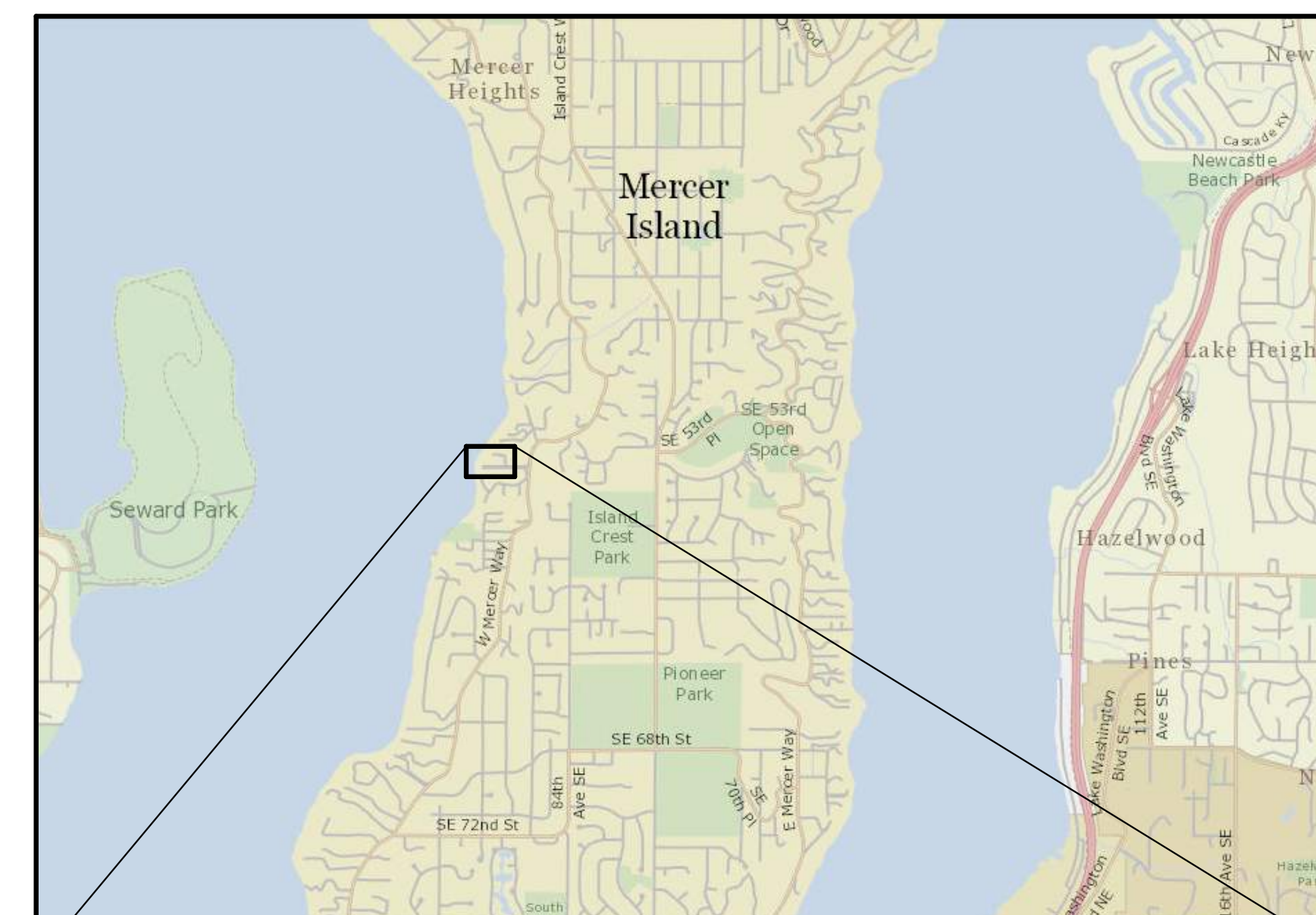
PROJECT INFORMATION

PROJECT ADDRESS: 5425 W MERCER WAY, MERCER ISLAND, WA 98040

ASSESSOR PARCEL NO: 2948900015

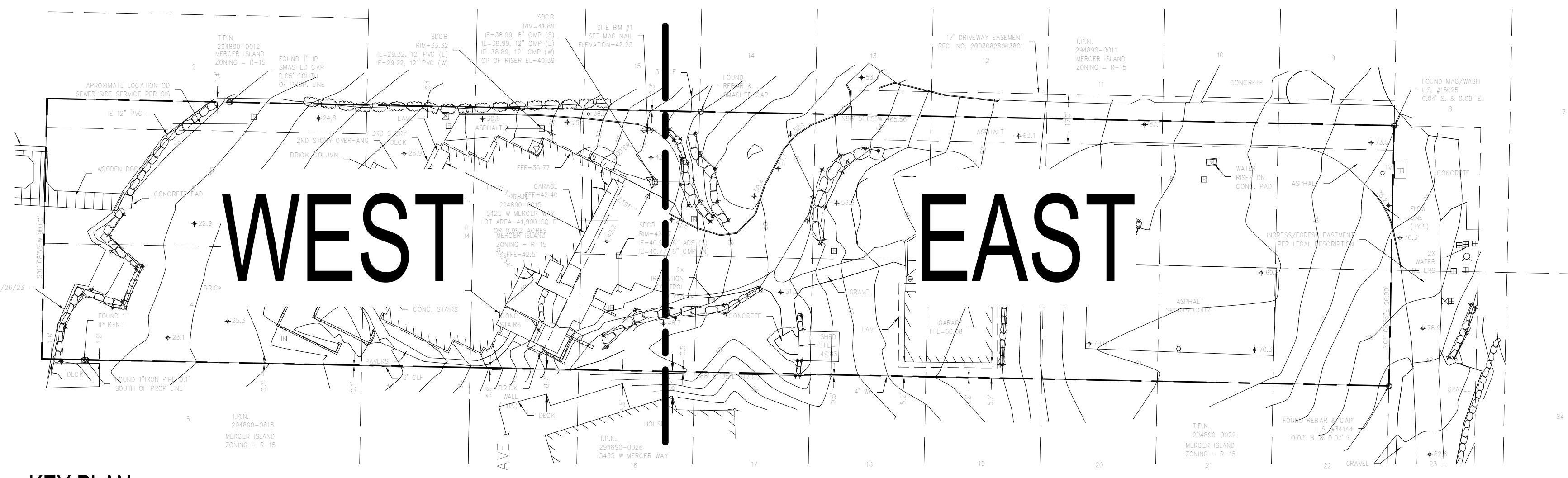
LEGAL DESCRIPTION: GROVELAND PARK ADD VAC 3-4 & S 10 FT OF 2 & SH LDS ADJ & VAC ST ADJ IN BLK 22 & VAC N 40 FT OF 16 THRU 22 & VAC S 50 FT OF 9 THRU 15 & VAC ST ADJ IN BLK 2

PROJECT DESCRIPTION: MITIGATION PLANTING REQUIREMENT AS PART OF AN INTERIOR RENOVATION & DETACHED GARAGE REPLACEMENT WITH ADU ADDITION



VICINITY MAPS

NTS



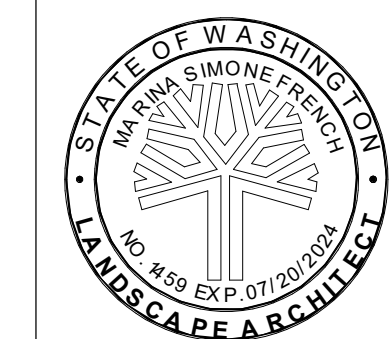
KEY PLAN

NTS

NO.	DATE	BY	DESCRIPTION

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 F: 425.822.5436
 www.dcgwatershed.com

750 Sixth Street South
 Kirkland, WA 98033



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 230306

SCHEMATIC DESIGN

COVER SHEET

DATE:
 PLAN NUMBER:

G-001

SHEET 1 OF 10

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG WATERSHED CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG WATERSHED PRIOR TO CONSTRUCTION.

FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPOKANE | WHIDBEY ISLAND

PRINCIPAL XXX PROJECT MANAGER XXX

EXISTING CONDITIONS LEGEND

EXISTING	DESCRIPTION
---	PROPERTY LINE
---	ORDINARY HIGH WATER MARK (APPROXIMATE)

SHEET NOTES

1. SURVEY DATED 02/07/2023 RECEIVED FROM ENCOMPASS ENGINEERING & SURVEYING.
2. ORDINARY HIGH WATER MARK ESTIMATED AT +18.6' ALONG FACE OF BULKHEAD FROM SURVEY AND AVAILABLE DATA BY DCG|WATERSHED CO. ON 8/14/2023

NO.	DATE	BY	DESCRIPTION

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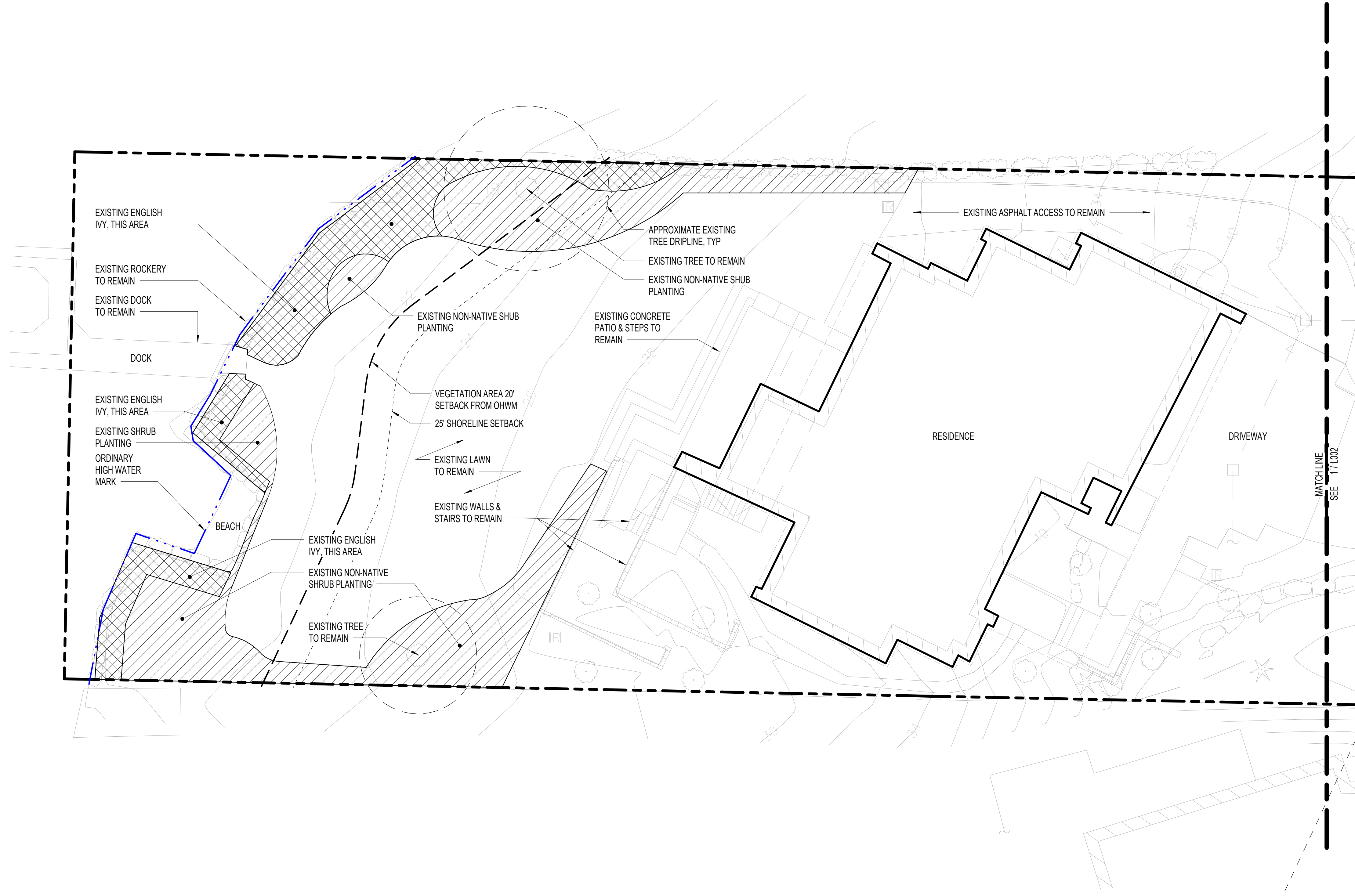
SCHEMATIC DESIGN

EXISTING VEGETATION & CRITICAL AREA CONDITIONS - WEST

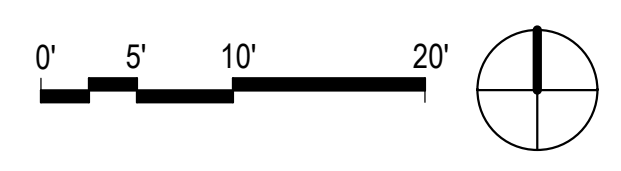
DATE: 01/01/23
 PLAN NUMBER:

L001

SHEET 2 OF 10



1 EXISTING VEGETATION & CRITICAL AREA CONDITIONS - WEST
 1" = 10'-0"

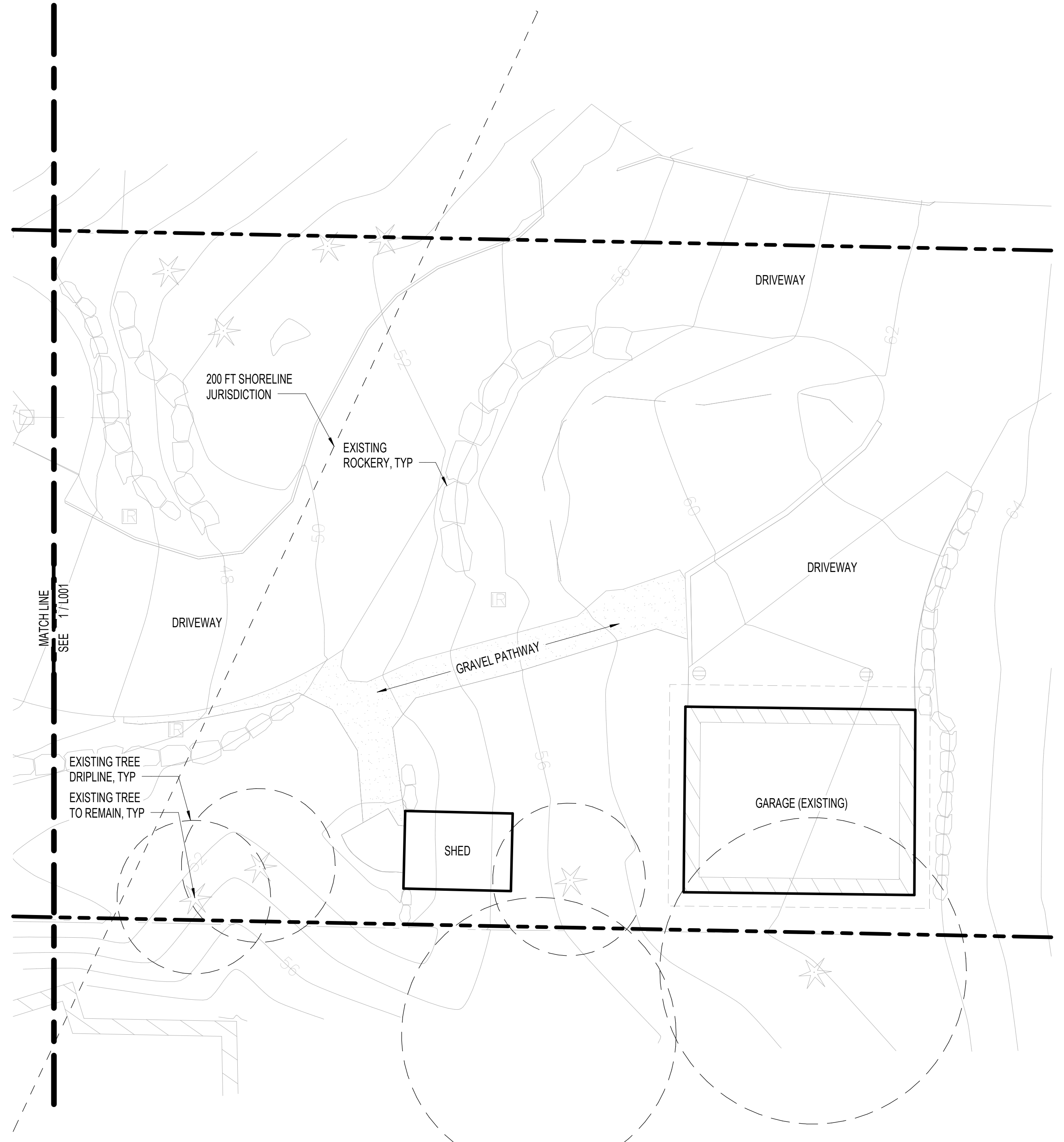


CHECK BY: Chester
 DRAWN BY: Autor
 DESIGNED BY: Dwayne
 PROJECT MANAGER: xxx
 PRINCIPAL: xxx

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG|WATERSHED CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG|WATERSHED PRIOR TO CONSTRUCTION.
 FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPOKANE | WHIDBEY ISLAND

EXISTING CONDITIONS LEGEND

EXISTING	DESCRIPTION
---	PROPERTY LINE
---	ORDINARY HIGH WATER MARK (APPROXIMATE)



1 EXISTING VEGETATION & CRITICAL AREA CONDITIONS - EAST
 1" = 10'-0"
 0' 5' 10' 20'

PRINCIPAL: XXX
 DESIGNED BY: Designer
 DRAWN BY: Author
 CHECK BY: Checker

NO.	DATE	BY	DESCRIPTION

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 230306

SCHEMATIC DESIGN

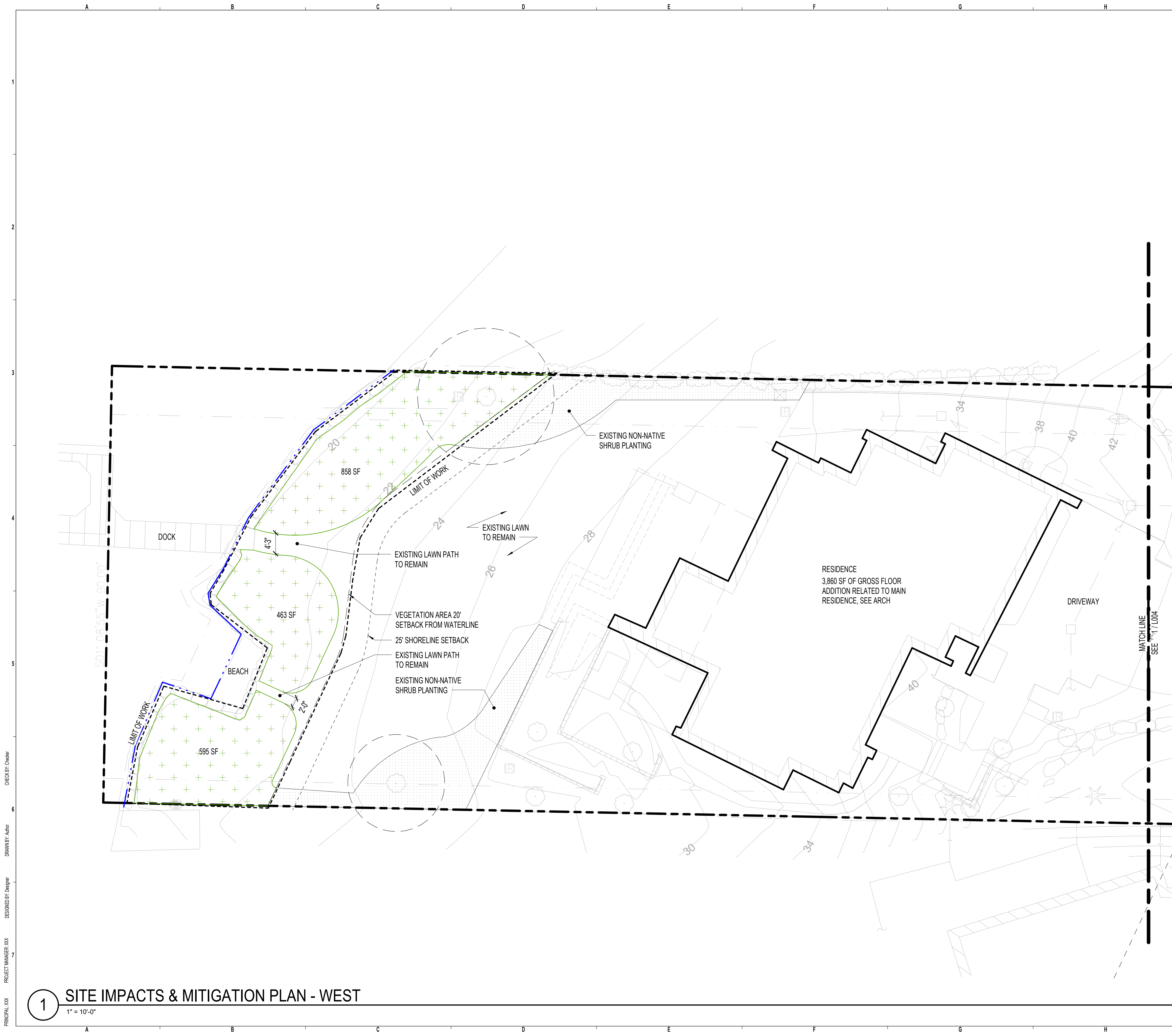
EXISTING VEGETATION & CRITICAL AREA CONDITIONS - EAST

DATE: 01/01/23
 PLAN NUMBER:

L002
 SHEET 3 OF 10

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG WATERSHED CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG WATERSHED PRIOR TO CONSTRUCTION.

FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPOKANE | WHIDBEY ISLAND



SITE IMPACTS & MITIGATION LEGEND

EXISTING	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	ORDINARY HIGH WATER MARK (APPROXIMATE)
PROPOSED	
SYMBOL	DESCRIPTION
---	LIMIT OF MITIGATION PLANTING WORK
---	20' SHORELINE BUFFER (2351.8 SF)
+	PROPOSED MITIGATION AREA 2337.9 X 75% = 1903.4 SF MITIGATION REQUIRED PER MICC 19.13.050.K.4 1916 SF MITIGATION PROPOSED

SHEET NOTES

1. SEE PLANTING PLAN FOR RESTORATION OF MITIGATION AREA
2. MITIGATION AREA SHALL RECEIVE IRRIGATION PER MITIGATION NOTES
3. ALL PLANT INSTALLATION IS TO TAKE PLACE DURING A FROST-FREE PERIOD IN THE DORMANT SEASON (OCTOBER 15TH - MARCH 30TH), FOR BEST SURVIVAL
4. PREPARE THE PLANTING AREA AND PLANTING PITS PER L009
5. PLACE ARBORIST WOOD CHIP MULCH LAYER AND INSTALL PLANTS PER SITE PREPARATION DETAILS

NO.	DATE	BY	DESCRIPTION

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 www.dcgwatershed.com
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 200306

SCHEMATIC DESIGN

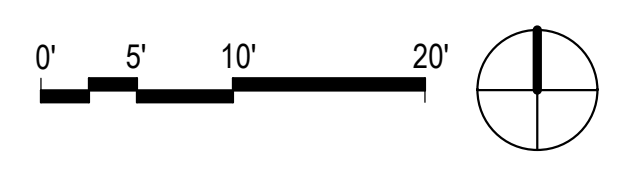
SITE IMPACTS & MITIGATION PLAN - WEST

DATE: 01/01/23
 PLAN NUMBER:

L003

SHEET 4 OF 10

1 SITE IMPACTS & MITIGATION PLAN - WEST
 1" = 10'-0"



PRINCIPAL: XXX DESIGNED BY: Designer DRAWN BY: Author CHECK BY: Checker

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG WATERSHED CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG WATERSHED PRIOR TO CONSTRUCTION.

SHEET NOTES

1. SEE PLANTING PLANS FOR ADDITIONAL INFORMATION ON REQUIRED MITIGATION PLANTING FOR REMOVED TREES
2. SEE TREE RETENTION PLANS SUBMITTED AS PART OF THIS PROJECT FOR ADDITIONAL TREE INFORMATION

NO.	DATE	BY	DESCRIPTION

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG WATERSHED CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG WATERSHED PRIOR TO CONSTRUCTION.

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 230306

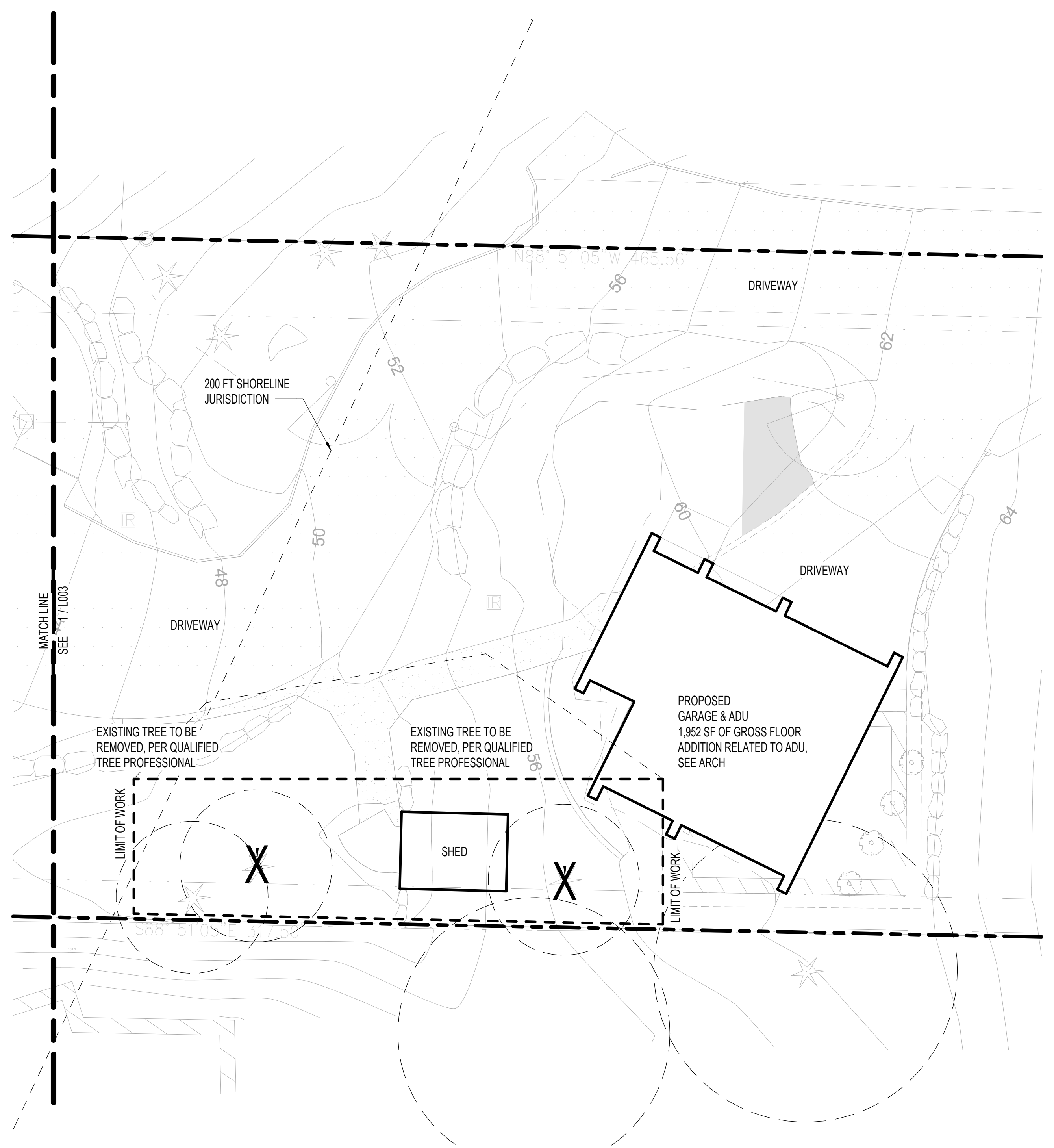
SCHEMATIC DESIGN

SITE IMPACTS & MITIGATION PLAN - EAST

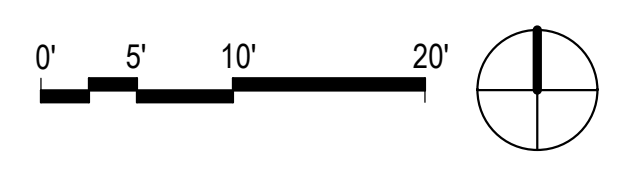
DATE: 01/01/23
 PLAN NUMBER:

L004

SHEET 5 OF 10



1 SITE IMPACTS & MITIGATION PLAN - EAST
 1" = 10'-0"



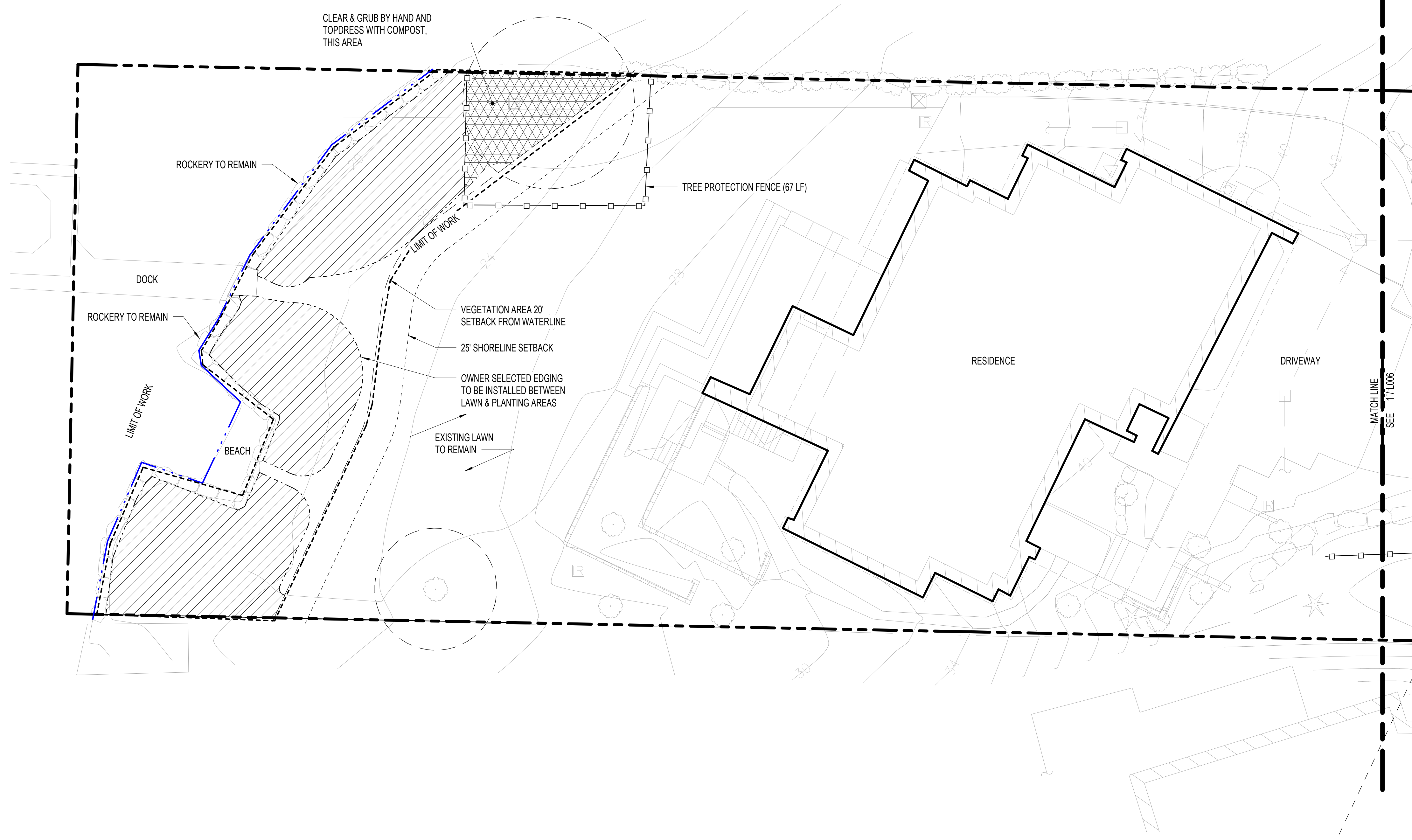
PRINCIPAL: XXX DESIGNED BY: Designer DRAWN BY: Author CHECK BY: Checker

SITE IMPACTS & MITIGATION LEGEND

EXISTING	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	ORDINARY HIGH WATER MARK (APPROXIMATE)
PROPOSED	
SYMBOL	DESCRIPTION
[Hatched Area]	CLEAR & GRUBBING AREA
---	LIMIT OF MITIGATION PLANTING WORK
[Square with Line]	TREE PROTECTION FENCE (197 LF)

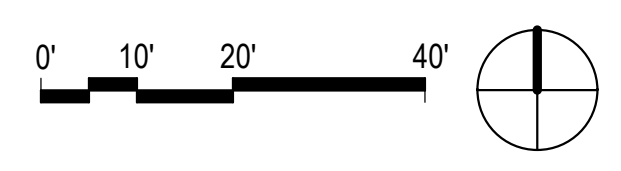
SHEET NOTES

- SEE TREE RETENTION PLANS SUBMITTED AS PART OF THIS PROJECT FOR TREE PROTECTION FENCING LOCATIONS AND ADDITIONAL TREE INFORMATION
- STAKE BUFFER BOUNDARY IN FIELD FOR APPROVAL BEFORE BEGINNING RESTORATION WORK
- ALL NON-NATIVE PLANT SPECIES SHALL BE REMOVED FROM THE ENTIRETY OF THE RESTORATION AREA PRIOR TO SOIL PREPARATION
- ALL INVASIVE SPECIES SHALL BE REMOVED FROM THE ENTIRETY OF THE RESTORATION AREA PRIOR TO SOIL PREPARATION
- ALL INVASIVE SPECIES SHALL BE DEFINED AS ALL SPECIES LISTED AS CLASS A, B, OR C OR AS A SPECIES OF CONCERN BY THE KING COUNTY NOXIOUS WEED CONTROL BOARD (KCNWCB) OR ON THE WASHINGTON STATE NOXIOUS WEEDS LIST
- INVASIVE SPECIES SHALL BE REMOVED AND DISPOSED OF ACCORDING TO KCNWCB RECOMMENDATIONS
- COMPLETE SITE PREPARATION WORK PER DETAIL SHEET
- SEE PLANTING SHEETS FOR ADDITIONAL PLANTING INFORMATION
- ALL WORK WITHIN EXISTING TREE DRILINES SHALL BE DONE BY HAND



1 SITE PREPARATION PLAN - WEST

1" = 10'-0"



NO.	DATE	BY	DESCRIPTION

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 230306

SCHEMATIC DESIGN

SITE PREPARATION PLAN - WEST

DATE: 07/12/23
 PLAN NUMBER:

L005
 SHEET 6 OF 10

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PRINCIPAL: XXX DESIGNED BY: Designer CHECKED BY: Checker DRAWN BY: Author

SITE IMPACTS & MITIGATION LEGEND

EXISTING	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	ORDINARY HIGH WATER MARK (APPROXIMATE)
PROPOSED	
SYMBOL	DESCRIPTION
	CLEAR & GRUBBING AREA
---	LIMIT OF MITIGATION PLANTING WORK
□-□-□	TREE PROTECTION FENCE (197 LF)

SHEET NOTES

- SEE TREE RETENTION PLANS SUBMITTED AS PART OF THIS PROJECT FOR ADDITIONAL TREE INFORMATION
- STAKE BUFFER BOUNDARY IN FIELD FOR APPROVAL BEFORE BEGINNING RESTORATION WORK
- ALL INVASIVE SPECIES SHALL BE REMOVED FROM THE ENTIRETY OF THE RESTORATION AREA PRIOR TO SOIL PREPARATION
- ALL INVASIVE SPECIES SHALL BE DEFINED AS ALL SPECIES LISTED AS CLASS A, B, OR C OR AS A SPECIES OF CONCERN BY THE KING COUNTY NOXIOUS WEED CONTROL BOARD (KCNWCB) OR ON THE WASHINGTON STATE NOXIOUS WEEDS LIST
- INVASIVE SPECIES SHALL BE REMOVED AND DISPOSED OF ACCORDING TO KCNWCB RECOMMENDATIONS
- COMPLETE SITE PREPARATION WORK PER DETAIL SHEET
- SEE PLANTING SHEETS FOR ADDITIONAL PLANTING INFORMATION
- ALL WORK WITHIN EXISTING TREE DRIPLINES SHALL BE DONE BY HAND

NO.	DATE	BY	DESCRIPTION

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 F: 425.827.8366
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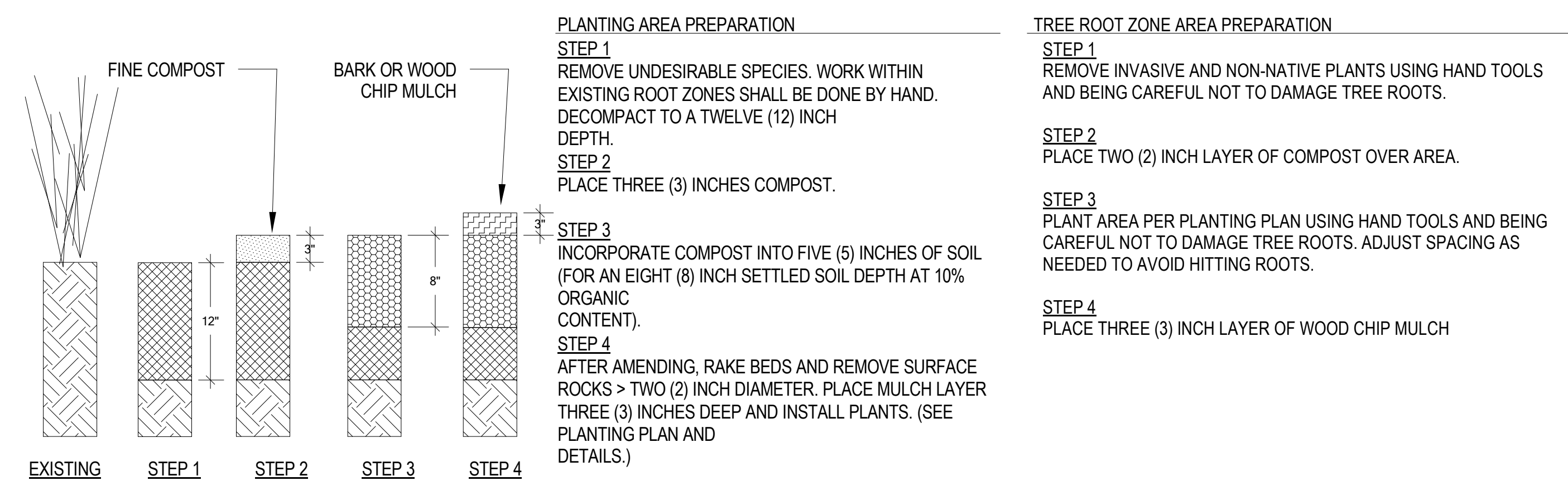
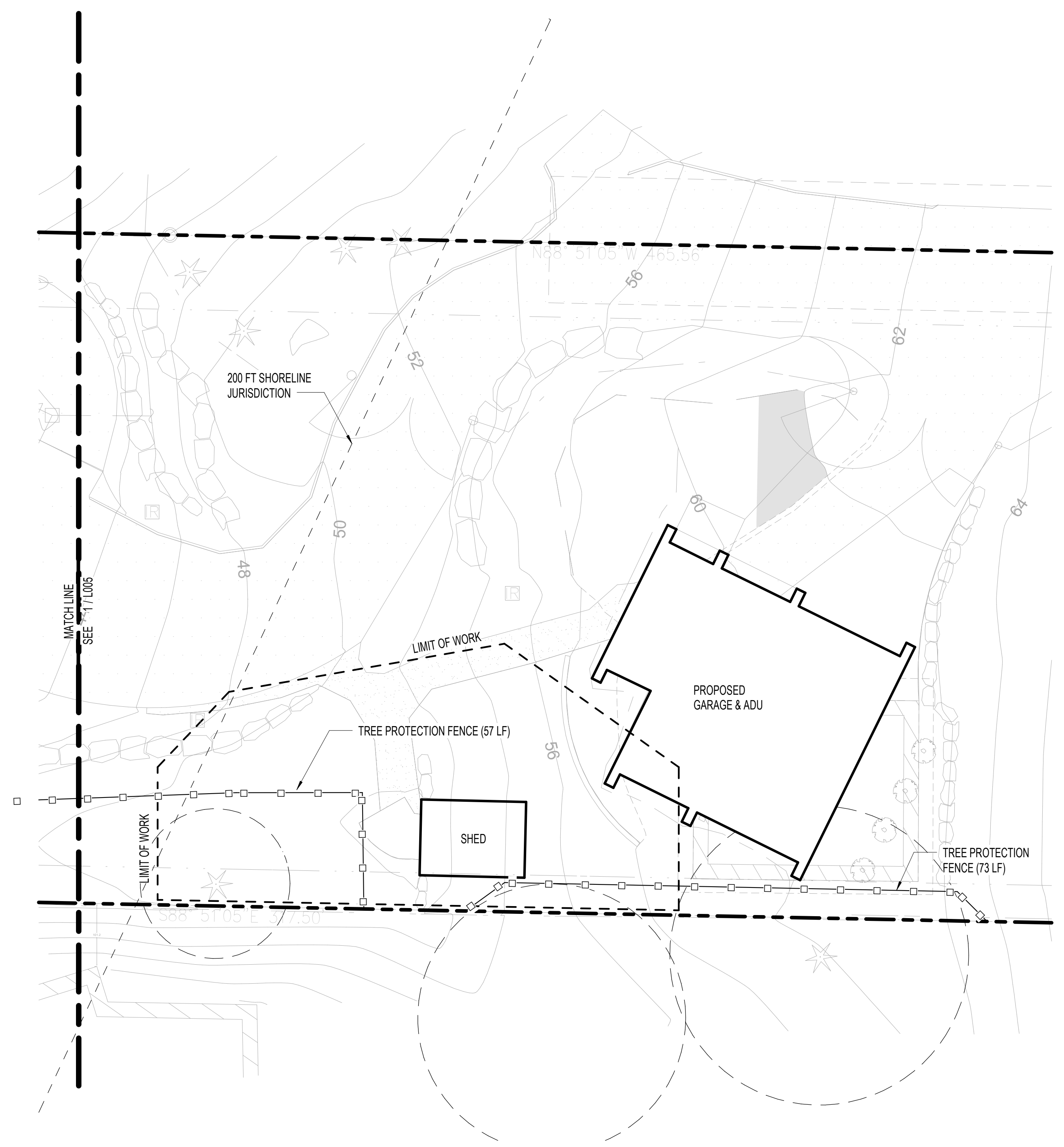
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

HONG & KAO RESIDENCE
 5425 W. MERCER WAY
 MERCER ISLAND, WA 98040
 230306

SCHMATIC DESIGN

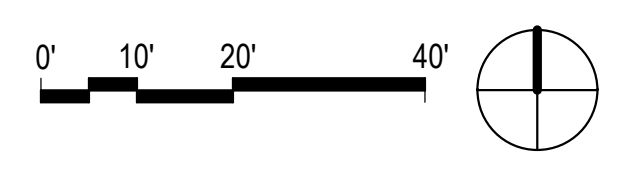
SITE PREPARATION PLAN - EAST

DATE: 07/12/23
 PLAN NUMBER: **L006**
 SHEET 7 OF 10



SOIL PREPARATION: AMEND EXISTING SOILS
 SEQUENCE OF WORK - NOT TO SCALE

1 SITE PREPARATION PLAN - EAST
 1" = 10'-0"



PROJECT MANAGER: XXX
 DESIGNED BY: Designer
 DRAWN BY: Author
 CHECK BY: Checker
 PRINCIPAL: XXX

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG WATERSHED CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG WATERSHED PRIOR TO CONSTRUCTION.

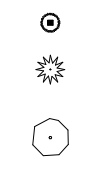
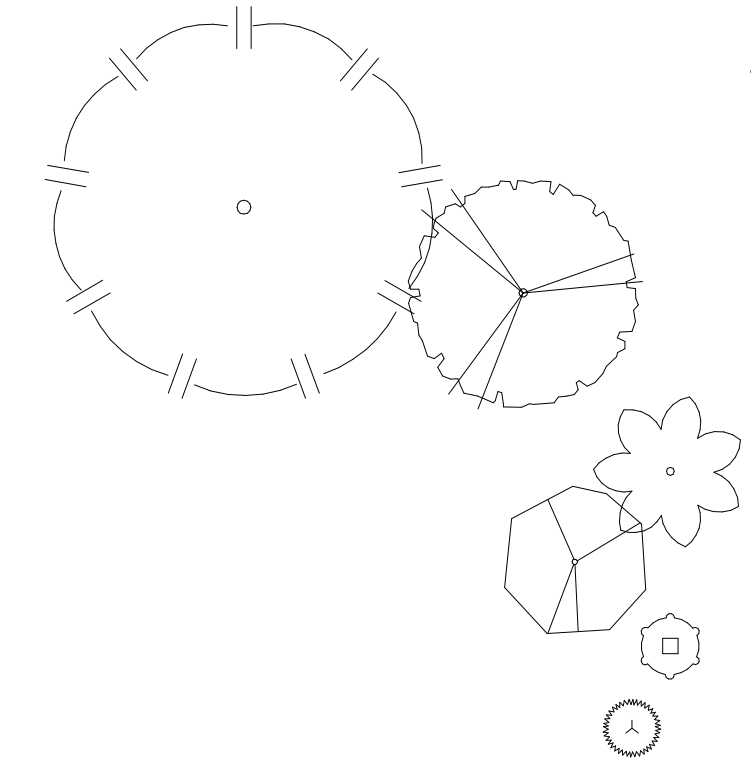
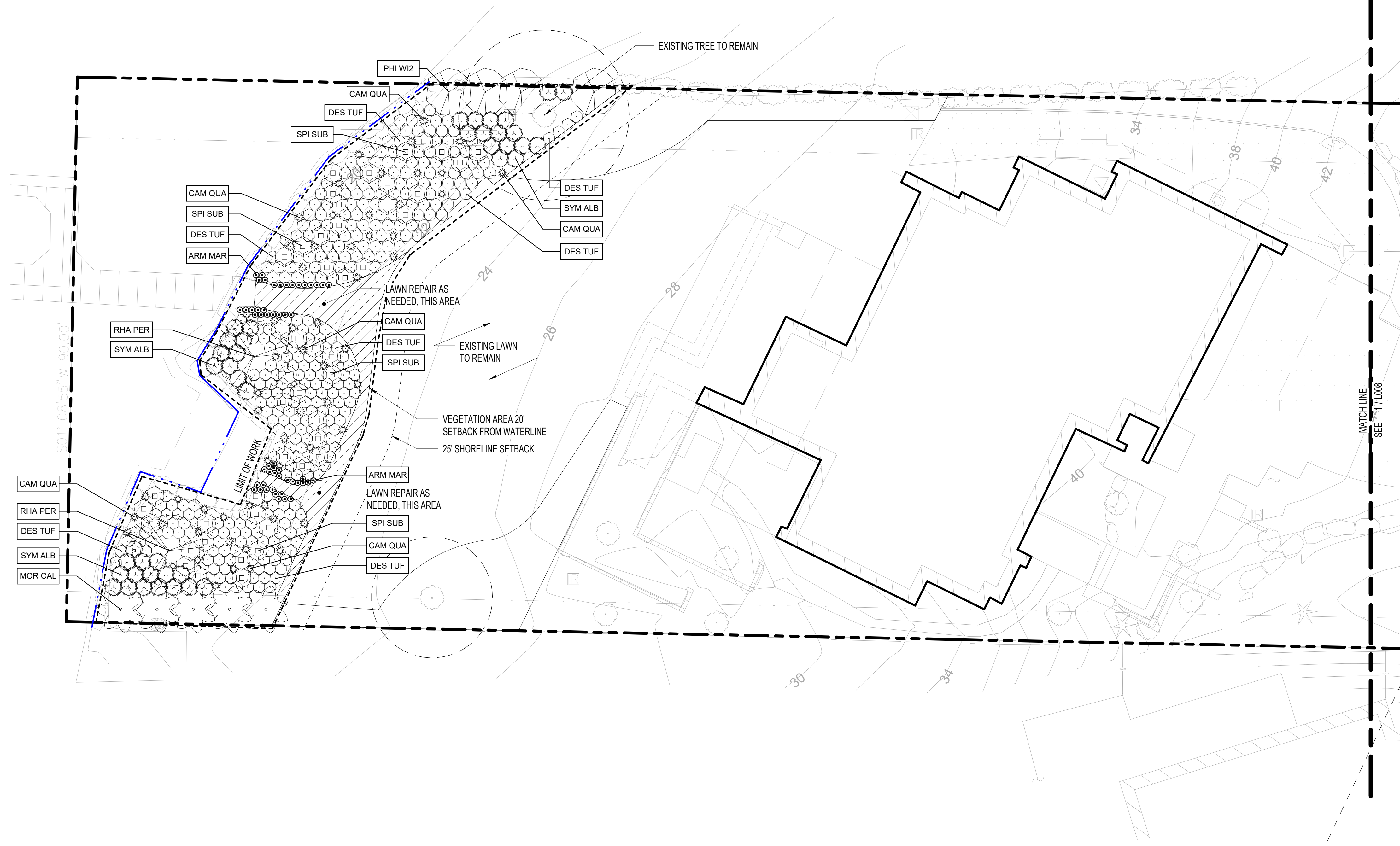
FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPOKANE | WHIDDEY ISLAND

PLANT SCHEDULE

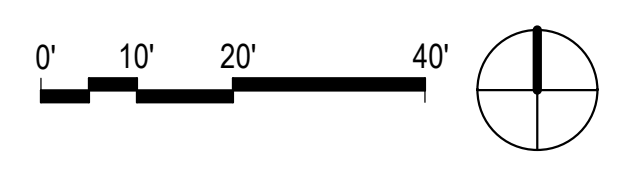
Count	Plant Code	Botanical Name	Common Name	Size	Cont.	Remarks
Trees						
4	PIN SHO	Pinus contorta	Shore Pine	Min. 2" cal.	B & B	
2	RHA PER	Rhamnus purshiana	Cascara	Min. 2" cal.	B & B	
Native Shrubs						
5	MOR CAL	Morella californica	California Wax Myrtle	2 Gallon		
4	PHI WI2	Philadelphus lewisii	Wild Mockorange	2 Gallon		
47	SPI SUB	Spiraea densiflora	Sub-alpine Spirea	2 Gallon		
42	SYM ALB	Symphoricarpos albus	Common White Snowberry	2 Gallon		
Native Groundcovers						
52	ARM MAR	Armeria maritima	Sea Thrift	1 Gallon		
62	CAM QUA	Camassia quamash	Small Camas	1 Gallon		
331	DES TUF	Deschampsia cespitosa	Tufted Hair Grass	1 Gallon		
445						

SHEET NOTES

- VARY PLANTING TYPICALS IN FIELD TO ACCOMMODATE EXISTING NATIVE VEGETATION AND TREE ROOTS TO REMAIN, IF NECESSARY
- DURING PLANT INSTALLATION, USE CAUTION NOT TO DISTURB EXISTING PLANT ROOTS
- SEE ARCHITECTURE SHEETS FOR ADDITIONAL SITE INFORMATION



1 PLANTING PLAN - WEST
1" = 10'-0"



NO.	DATE	BY	DESCRIPTION

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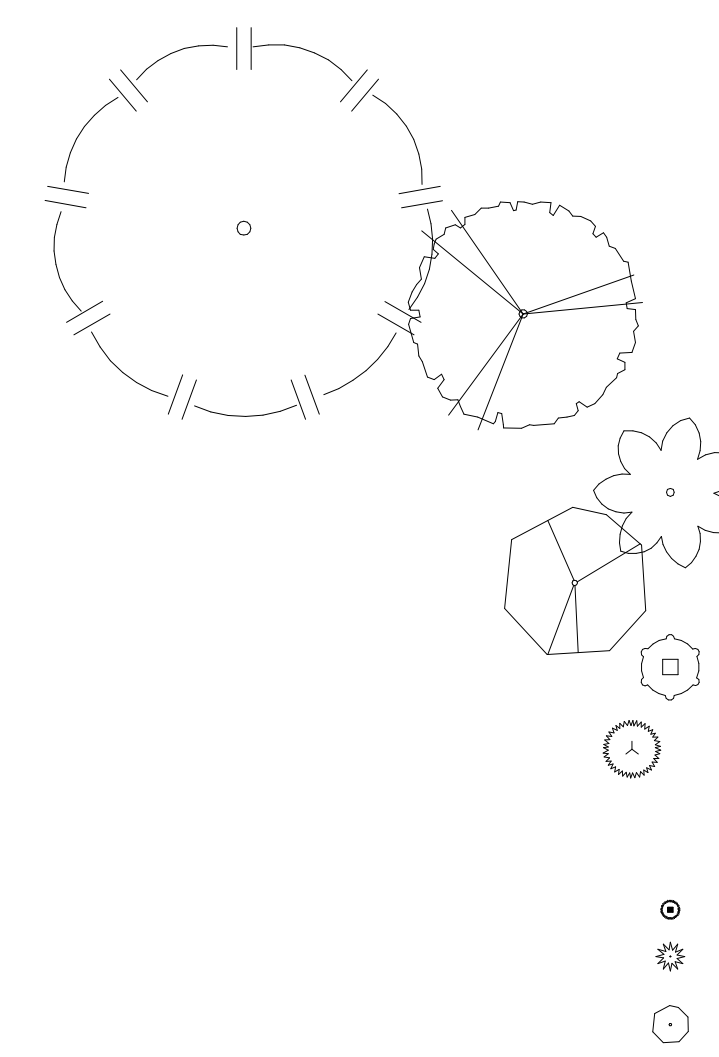
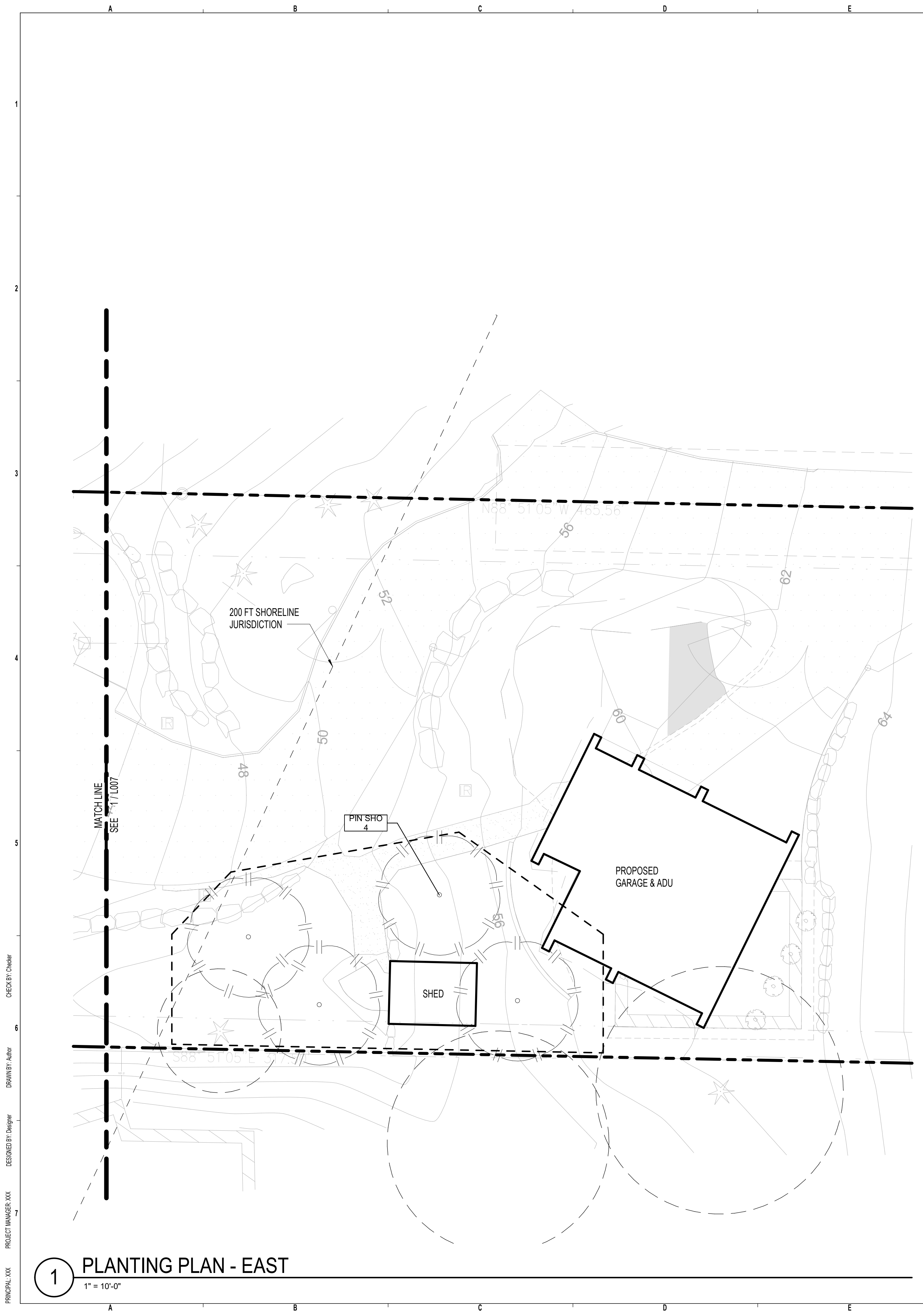
HONG & KAO RESIDENCE
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 MERCER ISLAND, WA 98040
 230306

SCHEMATIC DESIGN
 PLANTING PLAN & SCHEDULE - WEST

DATE: 07/12/23
 PLAN NUMBER:
L007
 SHEET 8 OF 10

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 AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG WATERSHED
 PRIOR TO CONSTRUCTION.

PRINCIPAL: XXX
 PROJECT MANAGER: XXX
 DESIGNED BY: Designer
 DRAWN BY: Author
 CHECK BY: Checker



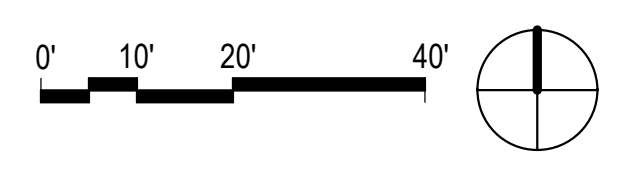
PLANT SCHEDULE

Count	Plant Code	Botanical Name	Common Name	Size	Cont.	Remarks
Trees						
4	PIN SHO	Pinus contorta	Shore Pine	Min. 2" cal.	B & B	
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Native Shrubs						
5	MOR CAL	Morella californica	California Wax Myrtle	2 Gallon		
4	PHI WI2	Philadelphus lewisii	Wild Mockorange	2 Gallon		
47	SPI SUB	Spiraea densiflora	Sub-alpine Spirea	2 Gallon		
42	SYM ALB	Symphoricarpos albus	Common White Snowberry	2 Gallon		
Native Groundcovers						
52	ARM MAR	Armeria maritima	Sea Thrift	1 Gallon		
62	CAM QUA	Camassia quamash	Small Camas	1 Gallon		
331	DES TUF	Deschampsia cespitosa	Tufted Hair Grass	1 Gallon		
445						

SHEET NOTES

- VARY PLANTING TYPICALS IN FIELD TO ACCOMMODATE EXISTING NATIVE VEGETATION AND TREE ROOTS TO REMAIN, IF NECESSARY
- DURING PLANT INSTALLATION, USE CAUTION NOT TO DISTURB EXISTING PLANT ROOTS
- SEE ARCHITECTURE SHEETS FOR ADDITIONAL SITE INFORMATION

1 PLANTING PLAN - EAST
1" = 10'-0"



NO.	DATE	BY	DESCRIPTION

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SCHEMATIC DESIGN

PLANTING PLAN & SCHEDULE - EAST

DATE: 07/12/23
 PLAN NUMBER:

L008
 SHEET 9 OF 10

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG WATERSHED CANNOT BE HELD
 LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL
 OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN
 AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG WATERSHED
 PRIOR TO CONSTRUCTION.

FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPOKANE | WHIDBEY ISLAND

PLANT INSTALLATION SPECIFICATIONS

GENERAL NOTES

QUALITY ASSURANCE

- PLANTS SHALL MEET OR EXCEED THE SPECIFICATIONS OF FEDERAL, STATE, AND LOCAL LAWS REQUIRING INSPECTION FOR PLANT DISEASE AND INSECT CONTROL.
- PLANTS SHALL BE HEALTHY, VIGOROUS, AND WELL-FORMED, WITH WELL DEVELOPED, FIBROUS ROOT SYSTEMS, FREE FROM DEAD BRANCHES OR ROOTS. PLANTS SHALL BE FREE FROM DAMAGE CAUSED BY TEMPERATURE EXTREMES, LACK OR EXCESS OF MOISTURE, INSECTS, DISEASE, AND MECHANICAL INJURY. PLANTS IN LEAF SHALL BE WELL FOLIATED AND OF GOOD COLOR. PLANTS SHALL BE HABITUATED TO THE OUTDOOR ENVIRONMENTAL CONDITIONS INTO WHICH THEY WILL BE PLANTED (HARDENED-OFF).
- TREES WITH DAMAGED, CROOKED, MULTIPLE OR BROKEN LEADERS WILL BE REJECTED. WOODY PLANTS WITH ABRASIONS OF THE BARK OR SUN SCALD WILL BE REJECTED.
- NOMENCLATURE: PLANT NAMES SHALL CONFORM TO FLORA OF THE PACIFIC NORTHWEST BY HITCHCOCK AND CRONQUIST, UNIVERSITY OF WASHINGTON PRESS, 2018 AND/OR TO A FIELD GUIDE TO THE COMMON WETLAND PLANTS OF WESTERN WASHINGTON & NORTHWESTERN OREGON, ED. SARAH SPEAR COOKE, SEATTLE AUDUBON SOCIETY, 1997.

DEFINITIONS

- PLANTS/PLANT MATERIALS. PLANTS AND PLANT MATERIALS SHALL INCLUDE ANY LIVE PLANT MATERIAL USED ON THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO CONTAINER GROWN, B&B OR BARERoot PLANTS; LIVE STAKES AND FASCINES (WATTLES); TUBERS, CORMS, BULBS, ETC...; SPRIGS, PLUGS, AND LINERS.
- CONTAINER GROWN. CONTAINER GROWN PLANTS ARE THOSE WHOSE ROOTBALLS ARE ENCLOSED IN A POT OR BAG IN WHICH THAT PLANT GREW.

SUBSTITUTIONS

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN SPECIFIED MATERIALS IN ADVANCE IF SPECIAL GROWING, MARKETING OR OTHER ARRANGEMENTS MUST BE MADE IN ORDER TO SUPPLY SPECIFIED MATERIALS.
- SUBSTITUTION OF PLANT MATERIALS NOT ON THE PROJECT LIST WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE RESTORATION CONSULTANT.
- IF PROOF IS SUBMITTED THAT ANY PLANT MATERIAL SPECIFIED IS NOT OBTAINABLE, A PROPOSAL WILL BE CONSIDERED FOR USE OF THE NEAREST EQUIVALENT SIZE OR ALTERNATIVE SPECIES, WITH CORRESPONDING ADJUSTMENT OF CONTRACT PRICE.
- SUCH PROOF WILL BE SUBSTANTIATED AND SUBMITTED IN WRITING TO THE CONSULTANT AT LEAST 30 DAYS PRIOR TO START OF WORK UNDER THIS SECTION.

INSPECTION

- PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE RESTORATION CONSULTANT FOR CONFORMANCE TO SPECIFICATIONS, EITHER AT TIME OF DELIVERY ON-SITE OR AT THE GROWER'S NURSERY. APPROVAL OF PLANT MATERIALS AT ANY TIME SHALL NOT IMPAIR THE SUBSEQUENT RIGHT OF INSPECTION AND REJECTION DURING PROGRESS OF THE WORK.
- PLANTS INSPECTED ON SITE AND REJECTED FOR NOT MEETING SPECIFICATIONS MUST BE REMOVED IMMEDIATELY FROM SITE OR RED-TAGGED AND REMOVED AS SOON AS POSSIBLE.
- THE RESTORATION CONSULTANT MAY ELECT TO INSPECT PLANT MATERIALS AT THE PLACE OF GROWTH. AFTER INSPECTION AND ACCEPTANCE, THE RESTORATION CONSULTANT MAY REQUIRE THE INSPECTED PLANTS BE LABELED AND RESERVED FOR PROJECT. SUBSTITUTION OF THESE PLANTS WITH OTHER INDIVIDUALS, EVEN OF THE SAME SPECIES AND SIZE, IS UNACCEPTABLE.

MEASUREMENT OF PLANTS

- PLANTS SHALL CONFORM TO SIZES SPECIFIED UNLESS SUBSTITUTIONS ARE MADE AS OUTLINED IN THIS CONTRACT.
- HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO MAIN BODY OF PLANT AND NOT BRANCH OR ROOT TIP TO TIP. PLANT DIMENSIONS SHALL BE MEASURED WHEN THEIR BRANCHES OR ROOTS ARE IN THEIR NORMAL POSITION.
- WHERE A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND AT LEAST 50% OF THE PLANTS SHALL BE AS LARGE AS THE MEDIAN OF THE SIZE RANGE. (EXAMPLE: IF THE SIZE RANGE IS 12" TO 18", AT LEAST 50% OF PLANTS MUST BE 15" TALL.)

SUBMITTALS

PROPOSED PLANT SOURCES

- WITHIN 45 DAYS AFTER AWARD OF THE CONTRACT, SUBMIT A COMPLETE LIST OF PLANT MATERIALS PROPOSED TO BE PROVIDED DEMONSTRATING CONFORMANCE WITH THE REQUIREMENTS SPECIFIED. INCLUDE THE NAMES AND ADDRESSES OF ALL GROWERS AND NURSERIES.

PRODUCT CERTIFICATES

- PLANT MATERIALS LIST - SUBMIT DOCUMENTATION TO CONSULTANT AT LEAST 30 DAYS PRIOR TO START OF WORK UNDER THIS SECTION THAT PLANT MATERIALS HAVE BEEN ORDERED. ARRANGE PROCEDURE FOR INSPECTION OF PLANT MATERIAL WITH CONSULTANT AT TIME OF SUBMISSION.
- HAVE COPIES OF VENDOR'S OR GROWERS' INVOICES OR PACKING SLIPS FOR ALL PLANTS ON SITE DURING INSTALLATION. INVOICE OR PACKING SLIP SHOULD LIST SPECIES BY SCIENTIFIC NAME, QUANTITY, AND DATE DELIVERED (AND GENETIC ORIGIN IF THAT INFORMATION WAS PREVIOUSLY REQUESTED).

DELIVERY, HANDLING, & STORAGE

NOTIFICATION

CONTRACTOR MUST NOTIFY CONSULTANT 48 HOURS OR MORE IN ADVANCE OF DELIVERIES SO THAT CONSULTANT MAY ARRANGE FOR INSPECTION.

PLANT MATERIALS

- TRANSPORTATION - DURING SHIPPING, PLANTS SHALL BE PACKED TO PROVIDE PROTECTION AGAINST CLIMATE EXTREMES, BREAKAGE AND DRYING. PROPER VENTILATION AND PREVENTION OF DAMAGE TO BARK, BRANCHES, AND ROOT SYSTEMS MUST BE ENSURED.
- SCHEDULING AND STORAGE - PLANTS SHALL BE DELIVERED AS CLOSE TO PLANTING AS POSSIBLE. PLANTS IN STORAGE MUST BE PROTECTED AGAINST ANY CONDITION THAT IS DETRIMENTAL TO THEIR CONTINUED HEALTH AND VIGOR.
- HANDLING - PLANT MATERIALS SHALL NOT BE HANDLED BY THE TRUNK, LIMBS, OR FOLIAGE BUT ONLY BY THE CONTAINER, BALL, BOX, OR OTHER PROTECTIVE STRUCTURE, EXCEPT BARERoot PLANTS SHALL BE KEPT IN BUNDLES UNTIL PLANTING AND THEN HANDLED CAREFULLY BY THE TRUNK OR STEM.
- LABELS - PLANTS SHALL HAVE DURABLE, LEGIBLE LABELS STATING CORRECT SCIENTIFIC NAME AND SIZE. TEN PERCENT OF CONTAINER GROWN PLANTS IN INDIVIDUAL POTS SHALL BE LABELED. PLANTS SUPPLIED IN FLATS, RACKS, BOXES, BAGS, OR BUNDLES SHALL HAVE ONE LABEL PER GROUP.

WARRANTY

PLANT WARRANTY

PLANTS MUST BE GUARANTEED TO BE TRUE TO SCIENTIFIC NAME AND SPECIFIED SIZE, AND TO BE HEALTHY AND CAPABLE OF VIGOROUS GROWTH.

REPLACEMENT

- PLANTS NOT FOUND MEETING ALL OF THE REQUIRED CONDITIONS AT THE CONSULTANT'S DISCRETION MUST BE REMOVED FROM SITE AND REPLACED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- PLANTS NOT SURVIVING AFTER ONE YEAR TO BE REPLACED AT THE CONTRACTOR'S EXPENSE.

PLANT MATERIAL

GENERAL

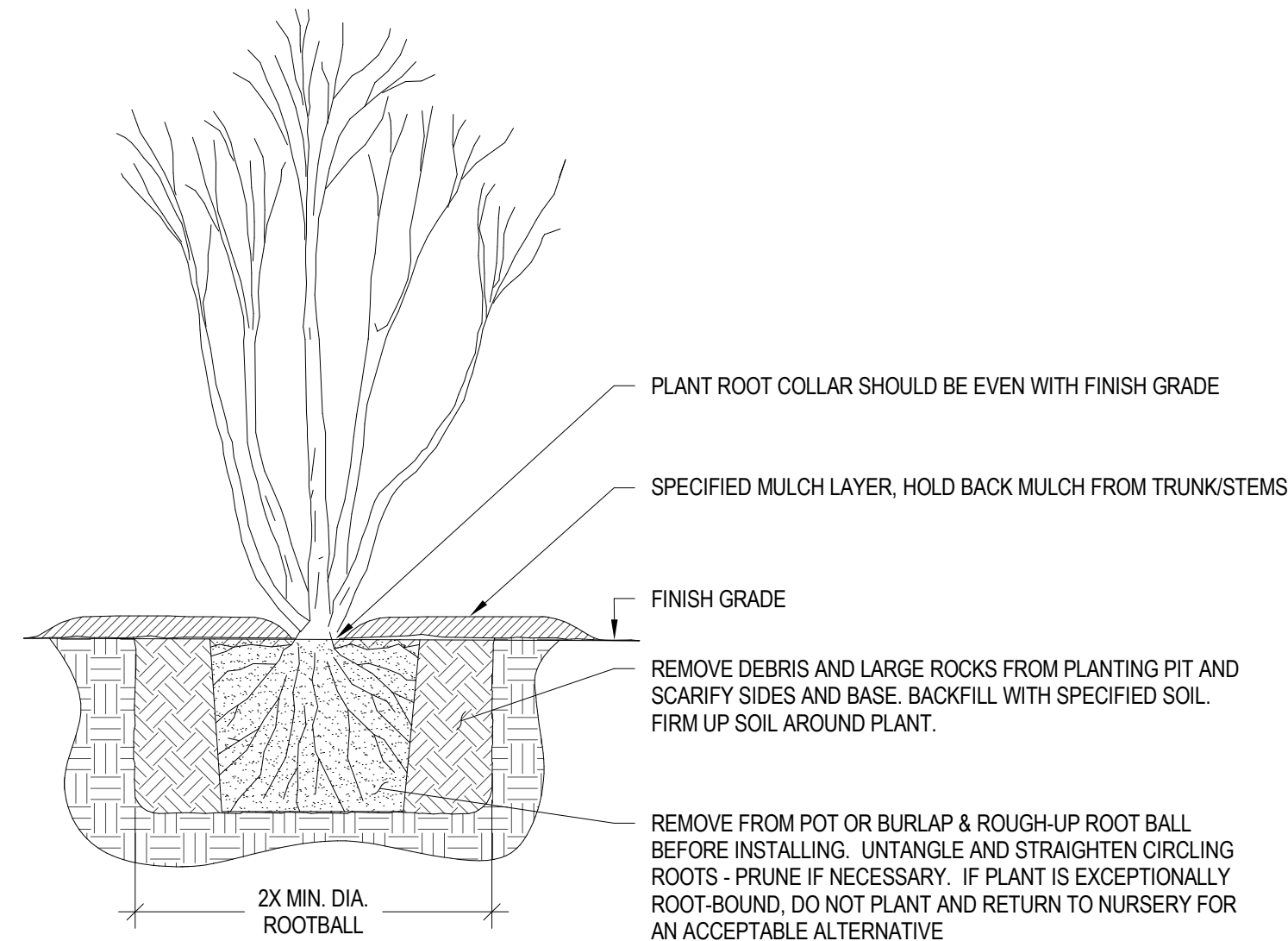
- PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO OR MORE SEVERE THAN THOSE OF THE PROJECT SITE.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY OR SUBSPECIES. NO CULTIVARS OR NAMED VARIETIES SHALL BE USED UNLESS SPECIFIED AS SUCH.

QUANTITIES

SEE PLANT LIST ON ACCOMPANYING PLANS AND PLANT SCHEDULES.

ROOT TREATMENT

- CONTAINER GROWN PLANTS (INCLUDES PLUGS): PLANT ROOT BALLS MUST HOLD TOGETHER WHEN THE PLANT IS REMOVED FROM THE POT, EXCEPT THAT A SMALL AMOUNT OF LOOSE SOIL MAY BE ON THE TOP OF THE ROOTBALL.
- PLANTS MUST NOT BE ROOT-BOUND; THERE MUST BE NO CIRCLING ROOTS PRESENT IN ANY PLANT INSPECTED.
- ROOTBALLS THAT HAVE CRACKED OR BROKEN WHEN REMOVED FROM THE CONTAINER SHALL BE REJECTED.

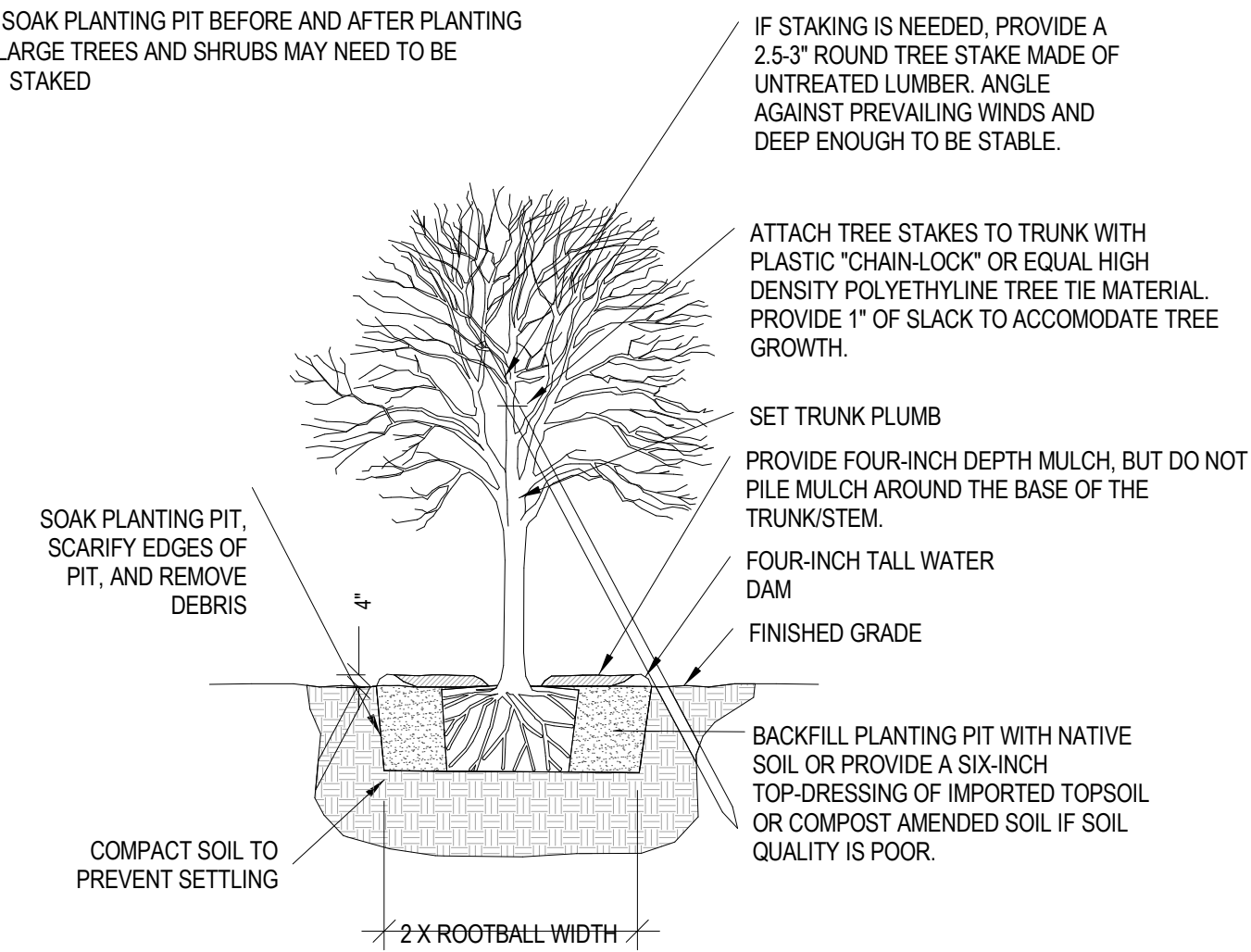


2 CONTAINER PLANTING

NTS

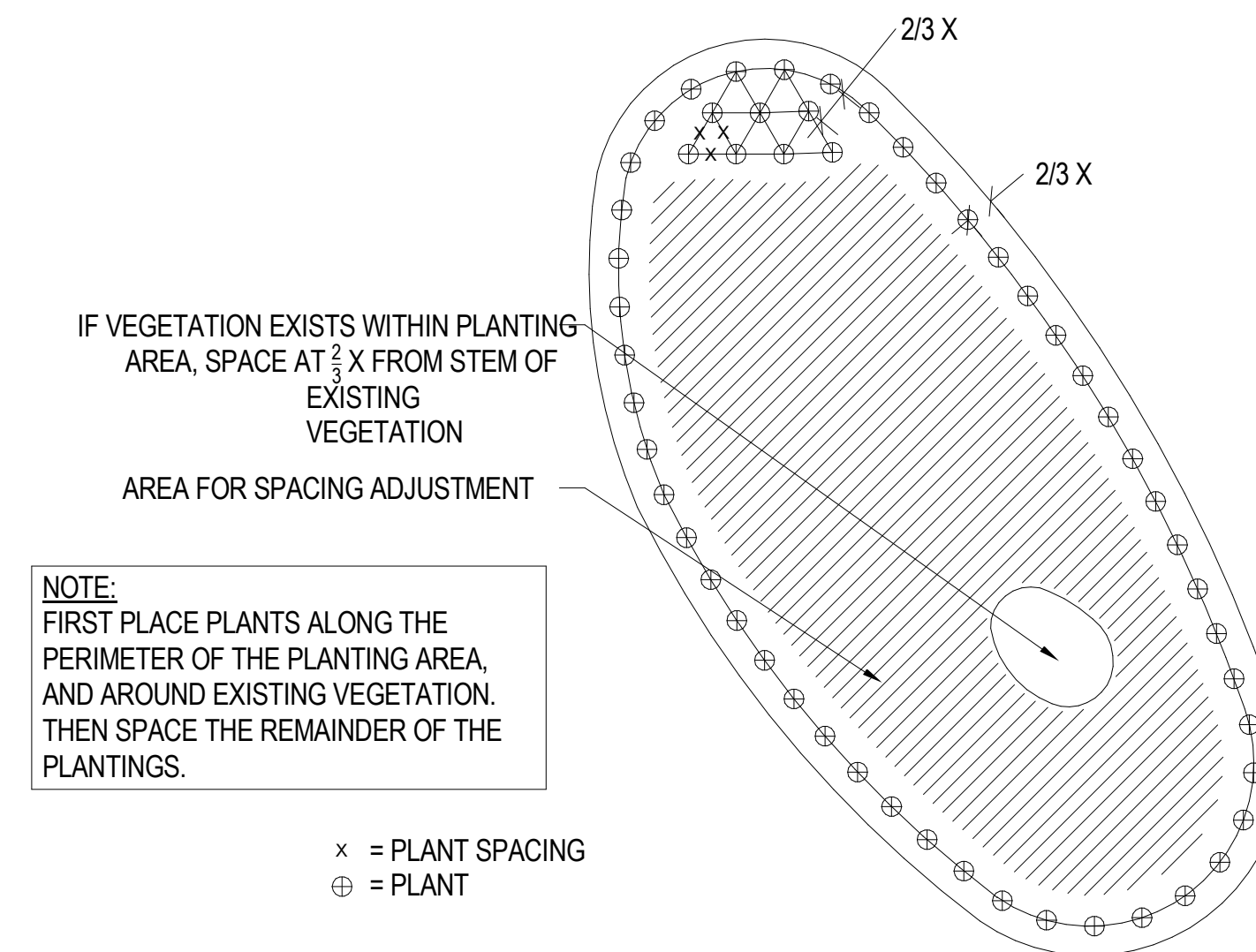
NOTES:

- PLANTING PIT SHALL NOT BE LESS THAN TWO TIMES WIDTH OF
- REMOVE BURLAP AROUND ROOT BALL
- LOOSEN ROOT-BOUND PLANTS BEFORE PLANTING
- SOAK PLANTING PIT BEFORE AND AFTER PLANTING
- LARGE TREES AND SHRUBS MAY NEED TO BE STAKED



1 B&B TREE PLANTING

NTS



3 PLANT SPACING

NTS

NO. DATE BY DESCRIPTION

DCG WATERSHED
P: 425.822.3242
F: 425.822.3436
www.dcgwatershed.com
750 Sixth Street South
Kirkland, WA 98033



CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG

(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

HONG & KAO RESIDENCE

5425 W. MERCER WAY
MERCER ISLAND, WA 98040

230306

SCHEMATIC DESIGN

PLANT INSTALLATION DETAILS & NOTES

DATE: 07/12/23

PLAN NUMBER:

L009

SHEET 10 OF 10

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG WATERSHED CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG WATERSHED PRIOR TO CONSTRUCTION.

CHECK BY: Chester

DRAWN BY: Aubrey

DESIGNED BY: Daighe

PROJECT MANAGER: XXX

PRINCIPAL: XXX

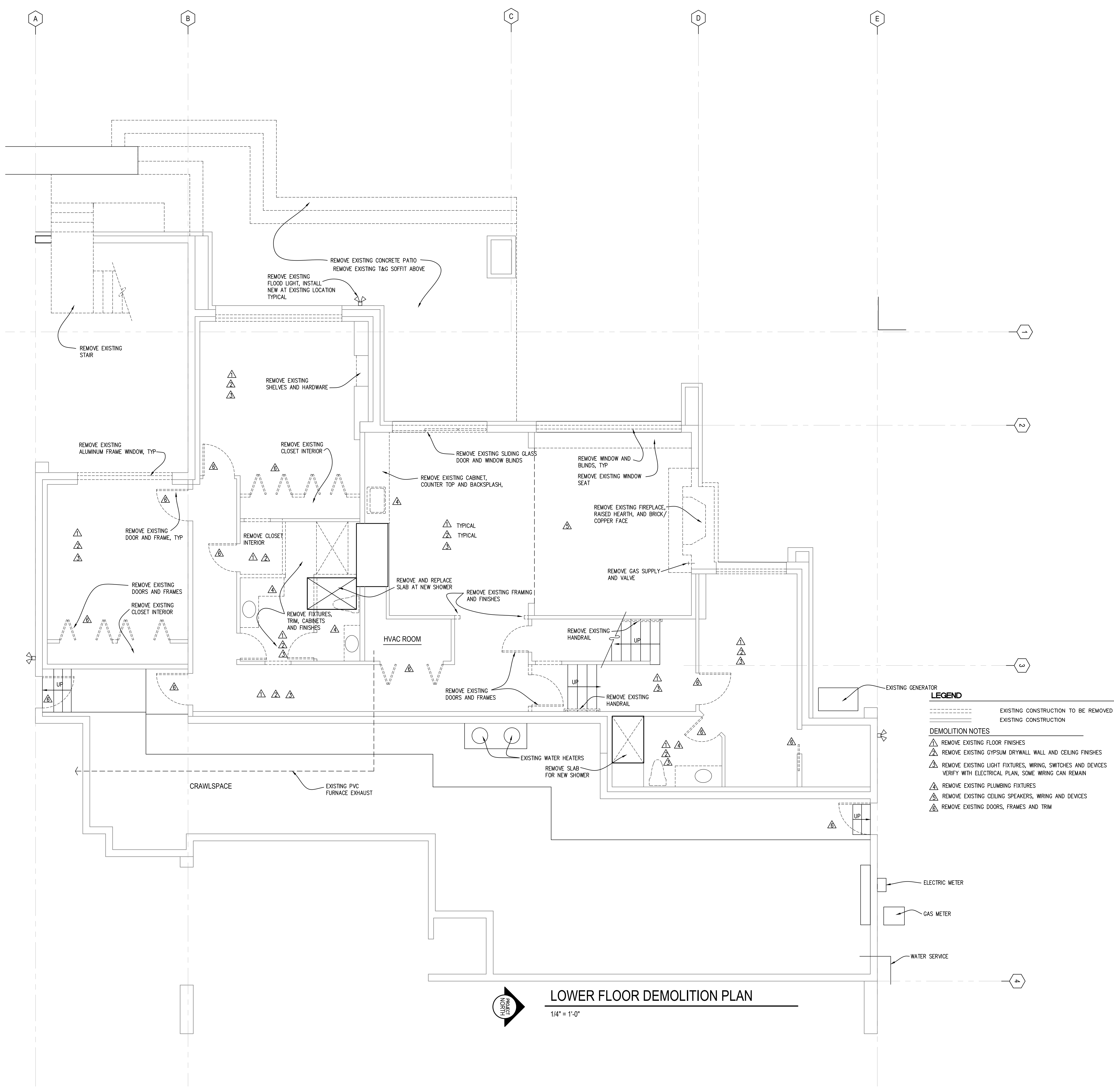
GLAZING
 TO BE IN COMPLIANCE WITH IRC SEC. R308, AND WASHINGTON STATE SAFETY GLASS LAW, EXCEPTIONS ARE AS OUTLINED IN IRC R308.4.
 GLAZING IN HAZARDOUS LOCATIONS SUBJECT TO HUMAN IMPACT SHALL BE SAFETY OR TEMPERED GLASS.
 HAZARDOUS LOCATIONS ARE:
 GLAZING IN SWINGING DOORS EXCEPT JALOUSIES
 GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.
 GLAZING IN STORM DOORS
 GLAZING IN ALL UNFRAMED SWINGING DOORS
 GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSED THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
 GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 1. EXPOSED AREA ON AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET
 2. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR
 3. EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR
 4. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING
 GLAZING IN RAILINGS REGARDLESS OF HEIGHT.
 GLAZING IN WARDROBE DOORS SHALL MEET THE IMPACT TEST REQUIREMENTS FOR SAFETY GLAZING AS SET FORTH IN UBC STANDARD NO. 24-2, PART II.
 GLAZING IN WALLS AND FENCES USED AS THE BARRIER FOR INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHEN ALL OF THE FOLLOWING CONDITIONS ARE PRESENT:
 THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE
 THE GLAZING IS WITHIN 5 FEET OF A SWIMMING POOL OR SPA WATER'S EDGE
 GLAZING ADJACENT TO STARWAYS, LANDINGS AND RAMP WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE
 GLAZING ADJACENT TO STAIRWAYS, WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
 EGRESS IN EVERY SLEEPING ROOM SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" MINIMUM NET CLEAR OPENING WIDTH DIMENSION OF 20" AND A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. IRC SEC. R310.1

ENERGY
 ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE UNIFORM BUILDING CODE AND THE WASHINGTON STATE ENERGY CODE, LATEST EDITION.
 VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH WORK.
 APPLICATION AND INSTALLATIONS OF INSULATION AND VAPOR BARRIERS SHALL COMPLY WITH STATE OF WASHINGTON THERMAL INSULATION STANDARDS (H.B. 98).
WALLS: INSULATED WITH R-21 BATT, INSULATE HEADERS TO R-10.

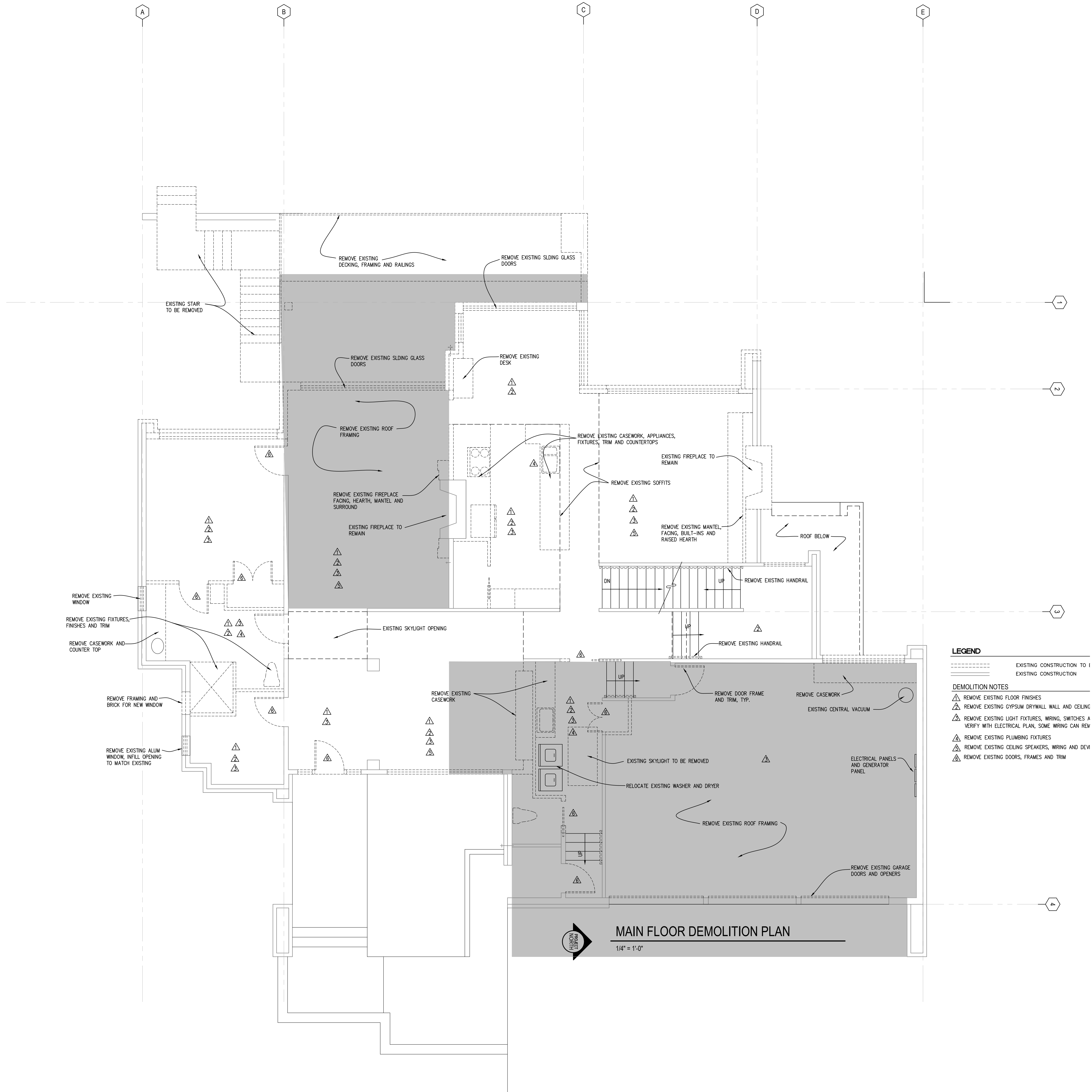
ROOF AND CEILING: INSULATED WITH R-10 CLOSED CELL FOAMED IN-PLACE INSULATION, UNFACED FIBERGLAS BATTIS IN 2X RAFTERS TO R-38 IN VAULTED CEILING CONDITIONS.
FLOORS: PROVIDE R-30 BATT INSULATION OVER UNHEATED SPACE (UNLESS NOTED OTHERWISE).
SLAB ON GRADE: PROVIDE EXTRUDED RIGID CLOSED CELL INSULATION R-10. INSULATION TO PROVIDE THERMAL BREAK BETWEEN SLAB AND FOOTING AND RUN FROM THE TOP OF THE SLAB TO THE BOTTOM OF THE FOOTING. INSULATION MAY BE INTERRUPTED FOR 6" EVERY 2'-0" TO ALLOW FOR DOWELING TO THE SLAB AND FOOTING TOGETHER.
VAPOR BARRIERS: AN APPROVED VAPOR BARRIER SHALL BE INSTALLED AT EXTERIOR WALLS.
 THIS VAPOR BARRIER MAY BE A COMPONENT OF THE INSULATION MATERIAL. APPLICATION AND INSTALLATIONS OF INSULATION AND VAPOR BARRIERS SHALL COMPLY WITH STATE OF WASHINGTON THERMAL INSULATION STANDARDS (H.B. 98).
CERTIFICATE: PRIOR TO SUBSTANTIAL COMPLETION POST ON A WALL NEAR THE HEATING EQUIPMENT OR ON AN ELECTRICAL PANEL THE FOLLOWING: PREDOMINATE R- VALUES, U- VALUES OF FENESTRATION, RESULTS FROM DUCT SYSTEM AND BUILDING AIR LEAKAGE TESTING, THE RESULTS FROM THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FLOW RATE TEST, AND THE TYPES AND EFFICIENCIES OF HEATING/COOLING/WHOLE-HOUSE MECHANICAL VENTILATION/WATER HEATING EQUIPMENT.
LEAK TESTING: DUCTS MUST BE LEAK TESTED IN ACCORDANCE WITH WSU RS-33 USING THE MAXIMUM DUCT LEAKAGE RATES SPECIFIED. TOTAL LEAKAGE MUST BE VERIFIED BY EITHER THE ROUGH-IN TEST OR POSTCONSTRUCTION TEST PER WSEC R403.3.3. TOTAL LEAKAGE MUST BE LESS THAN OR EQUAL TO 4CFM PER 100 SF OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1" W.G. (25 PA) ACROSS THE ENTIRE SYSTEM.

SECTION R406 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS	
R406.3 MEDIUM DWELLING UNIT	6.0 CREDITS REQUIRED
FUEL NORMALIZATION CREDITS	
SYSTEM TYPE 2 LISTED HEAT PUMP	1.0 CREDITS
2. AIR LEAKAGE CONTROL	
2.3 REDUCE AIR LEAKAGE TO 1.5 AIR CHANGES MAXIMUM PER HOUR AT 50 PASCALS AND ALL WHOLE HOUSE VENTILATION REQUIREMENTS OR IRC M1505.4 OR MC 403.4 SHALL BE MET WITH HEAT RECOVERY VENTILATION SYSTEM WITH MIN. SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.75	1.5 CREDITS
3. HIGH EFFICIENCY HVAC EQUIPMENT	
3.5 AIR SOURCE DUCTED HEAT PUMP MIN. HSPF 11.0	1.5 CREDITS
5. EFFICIENT WATER HEATING	
5.3 ENERGY STAR UEF 0.91 WATER HEATER	1.0 CREDITS
6. RENEWABLE ELECTRIC ENERGY OPTION	
6.1 1200 WATT PHOTO VOLTAGE SYSTEM TO BE INSTALLED IN COMPLIANCE WITH IRC R324	1.0 CREDITS
TOTAL PROVIDED	6.0 CREDITS
TESTING	
TEST AIR LEAKAGE CHANGES WITH A BLOWER DOOR AT A PRESSURE OF 0.2" W.G. (50 PASCALS)	

WHOLE HOUSE VENTILATION
 INTEGRATE WHOLE HOUSE VENTILATION WITH AIR HANDLER FANS THAT ARE VARIABLE SPEED WITH LOW SPEED OPERATION NOT GREATER THAN 25% OF RATED SUPPLY AIRFLOW. OUTDOOR AIR INTAKE OPENINGS MUST MEET THE PROVISIONS OF R303.5 AND R303.6 AND MUST INCLUDE MOTORIZED DAMPERS ACTIVATED BY THE WHOLE HOUSE VENTILATION CONTROLLER. TEST AND VERIFY THAT OUTDOOR AIR INTAKE AT MINIMUM VENTILATION FAN SPEED AND MAXIMUM HEATING OR COOLING FAN SPEED. FAN MUST BE SOUND RATED TO ONE SONE.



LOWER FLOOR DEMOLITION PLAN
 1/4" = 1'-0"

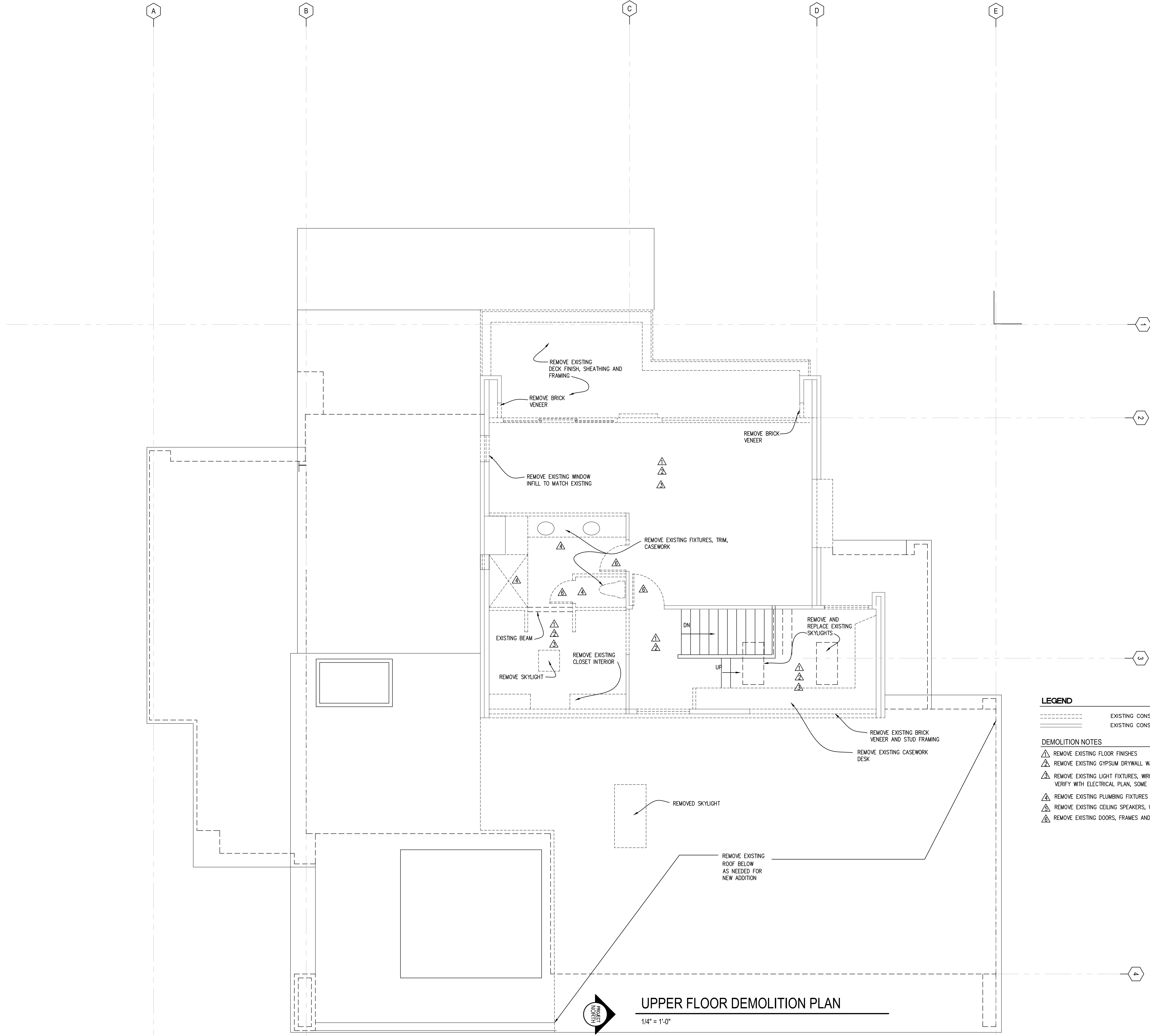


LEGEND

- EXISTING CONSTRUCTION TO 1
- EXISTING CONSTRUCTION

DEMOLITION NOTES

- REMOVE EXISTING FLOOR FINISHES
- REMOVE EXISTING GYPSUM DRYWALL WALL AND CEILING
- REMOVE EXISTING LIGHT FIXTURES, WIRING, SWITCHES AND VERIFY WITH ELECTRICAL PLAN, SOME WIRING CAN REM
- REMOVE EXISTING PLUMBING FIXTURES
- REMOVE EXISTING CEILING SPEAKERS, WIRING AND DEV
- REMOVE EXISTING DOORS, FRAMES AND TRIM



LEGEND
 - - - - - EXISTING CONSTRUCTION TO BE REMOVED
 _____ EXISTING CONSTRUCTION

- DEMOLITION NOTES**
- ▲ REMOVE EXISTING FLOOR FINISHES
 - ▲ REMOVE EXISTING GYPSUM DRYWALL WALL AND CEILING FINISHES
 - ▲ REMOVE EXISTING LIGHT FIXTURES, WIRING, SWITCHES AND DEVICES. VERIFY WITH ELECTRICAL PLAN, SOME WIRING CAN REMAIN
 - ▲ REMOVE EXISTING PLUMBING FIXTURES
 - ▲ REMOVE EXISTING CEILING SPEAKERS, WIRING AND DEVICES
 - ▲ REMOVE EXISTING DOORS, FRAMES AND TRIM

UPPER FLOOR DEMOLITION PLAN

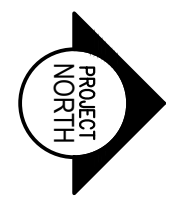
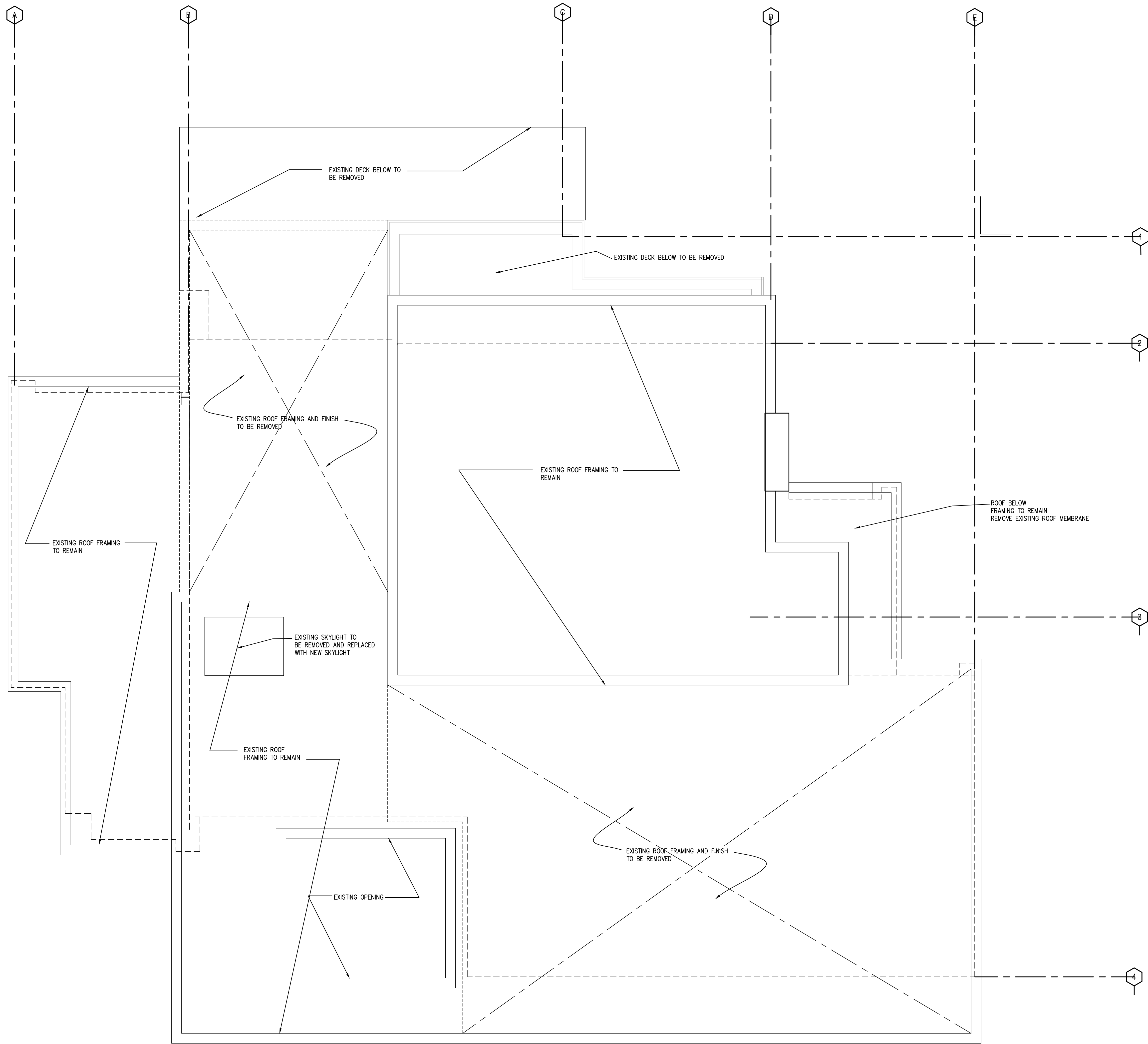
1/4" = 1'-0"

HONG AND KAO RESIDENCE

5425 W. MERCER WAY
 MERCER ISLAND, WA 98040

DEMOLITION PLAN

Sheet No. **2.2**
 Project No. 2222
 Date: 9/8/23

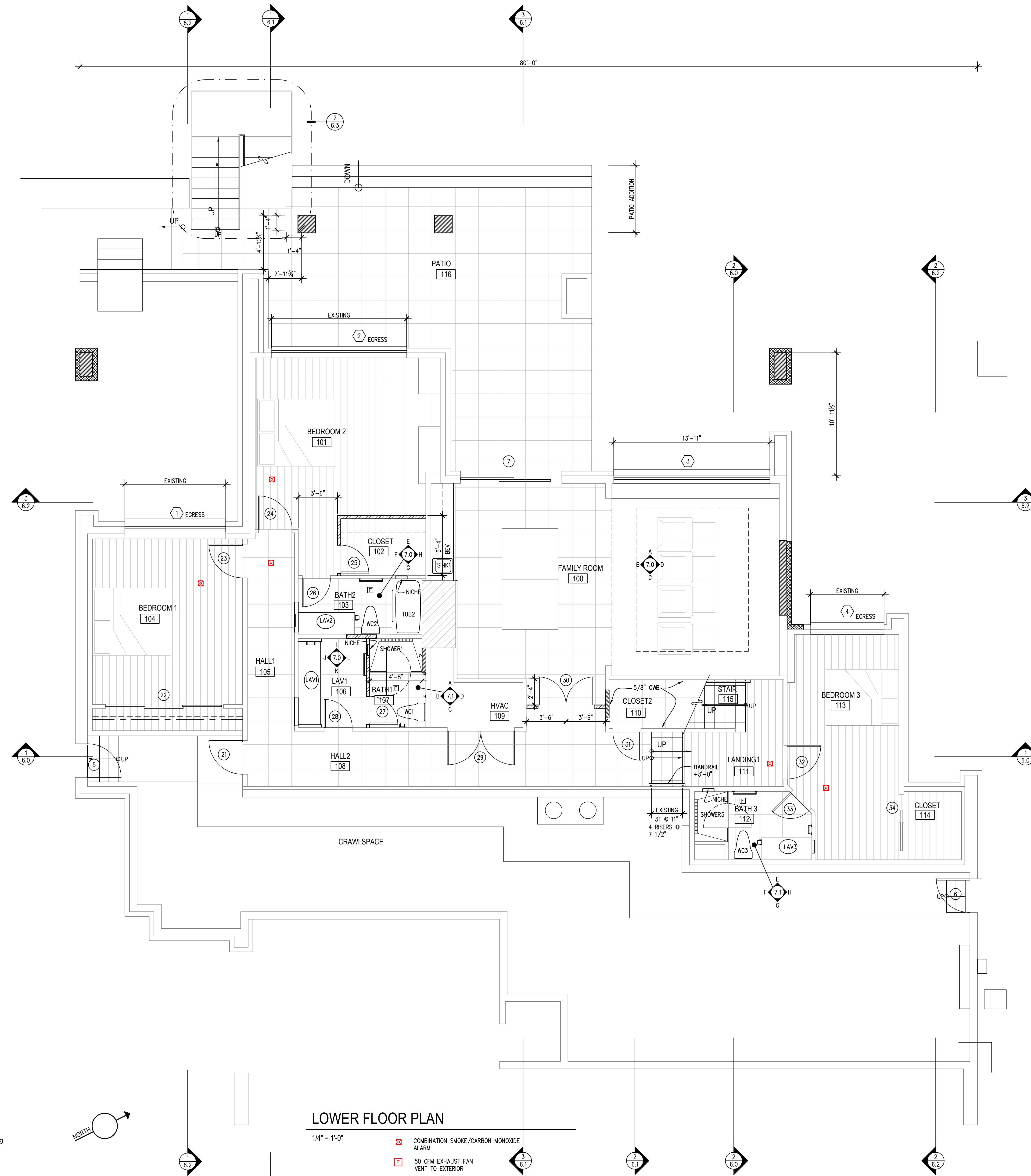


ROOF DEMOLITION PLAN

1/4" = 1'-0"

NOTE:
ALL EXISTING ROOF MEMBRANE TO BE REMOVED.

9/28/23 PRICING SET
No. Date Revision



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LOWER FLOOR PLAN

1/4" = 1'-0"

- COMBINATION SMOKE/CARBON MONOXIDE ALARM
- 50 CFM EXHAUST FAN VENT TO EXTERIOR

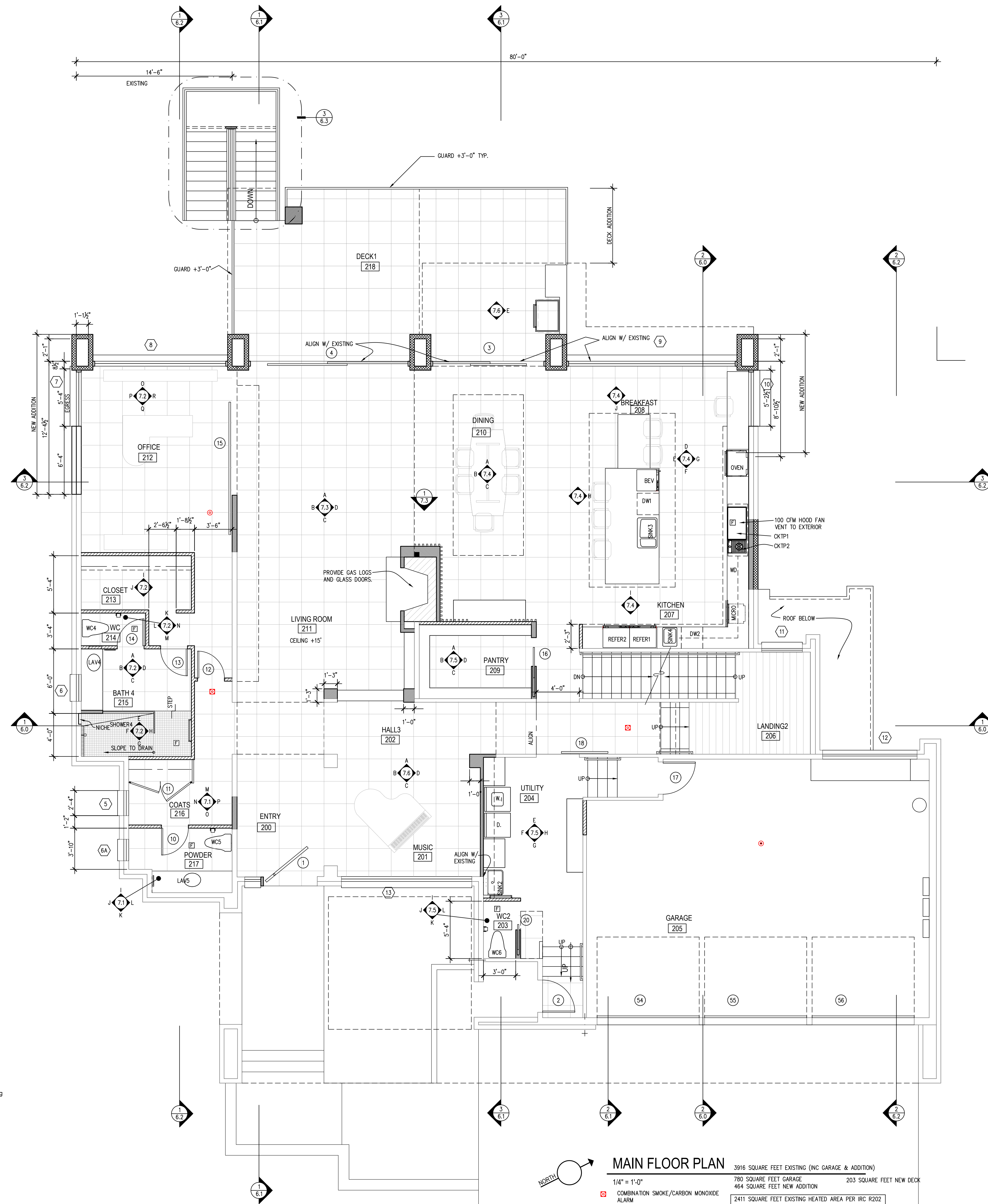
LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN
- NEW 2X6 STUDS @ 16" O.C.
- NEW 2X4 STUDS @ 16" O.C.
- NEW BRICK VENEER

1994 SQUARE FEET EXISTING HEATED FLOOR AREA PER IRC R202
 1994 SQUARE FEET PROPOSED HEATED FLOOR AREA

NOTE:
 SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.

9/28/23 PRICING SET
 No. Date Revision



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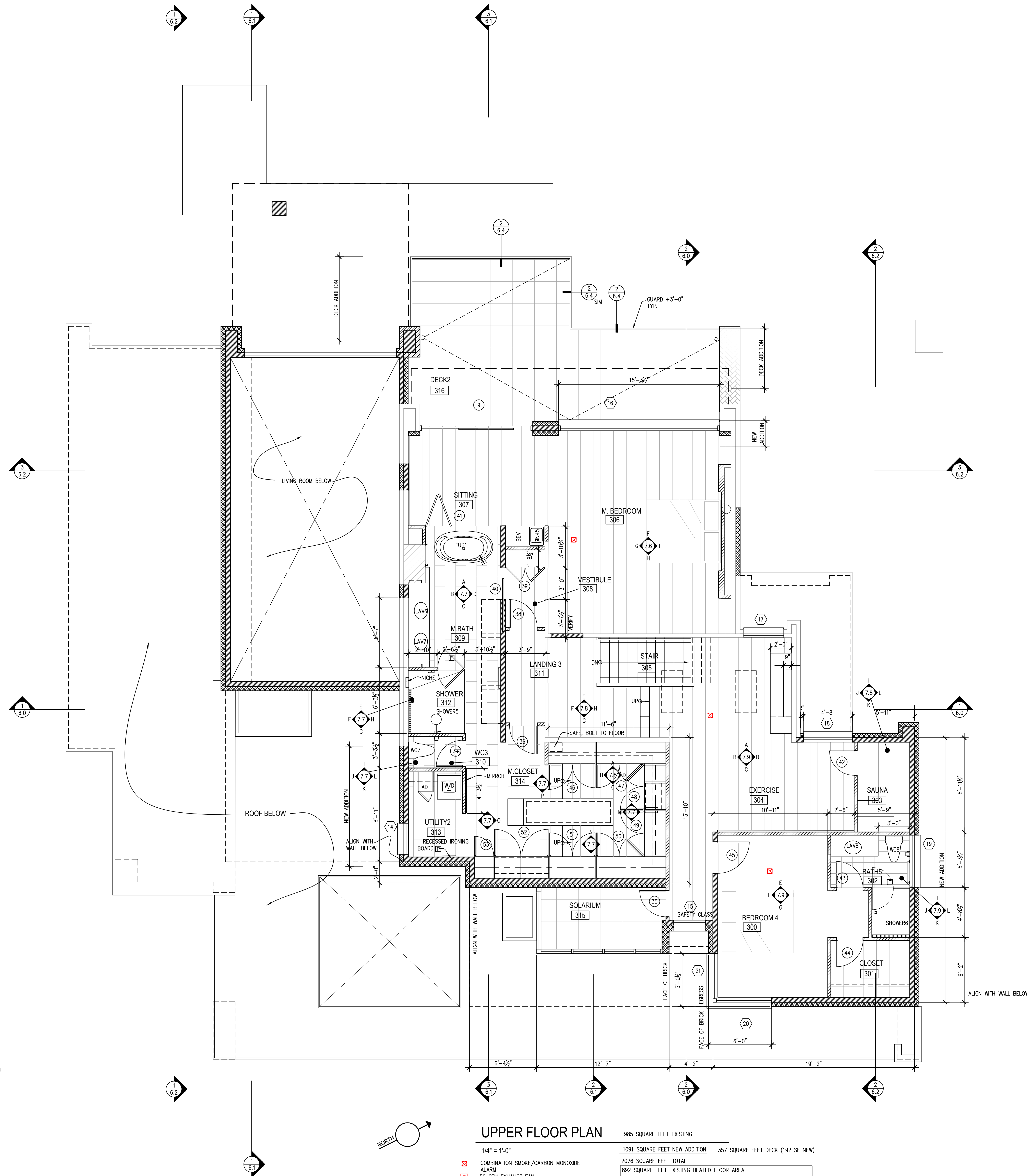
MAIN FLOOR PLAN 3916 SQUARE FEET EXISTING (INC GARAGE & ADDITION)

1/4" = 1'-0"

COMBINATION SMOKE/CARBON MONOXIDE ALARM	780 SQUARE FEET GARAGE	203 SQUARE FEET NEW DECK
50 CFM EXHAUST FAN VENT TO EXTERIOR	464 SQUARE FEET NEW ADDITION	
HEAT DETECTOR	2411 SQUARE FEET EXISTING HEATED AREA PER IRC R202	
	2901 SQUARE FEET PROPOSED HEATED AREA	
	730 SQUARE FEET EXISTING GARAGE	
	739 SQUARE FEET PROPOSED GARAGE	
	415 SQUARE FEET EXISTING DECK	
	452 SQUARE FEET PROPOSED DECK	

9/28/23 PRICING SET
No. Date Revision

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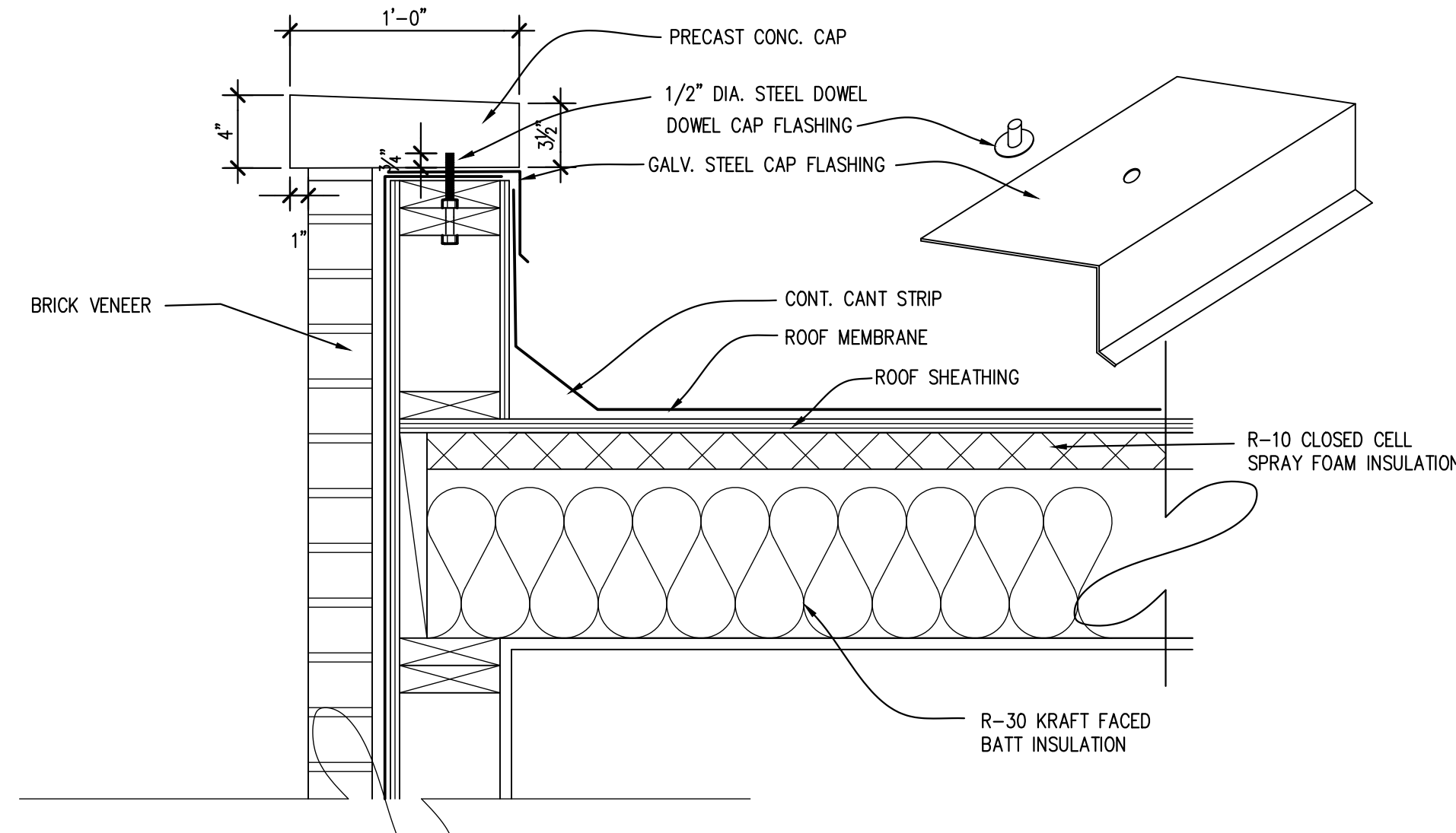


UPPER FLOOR PLAN

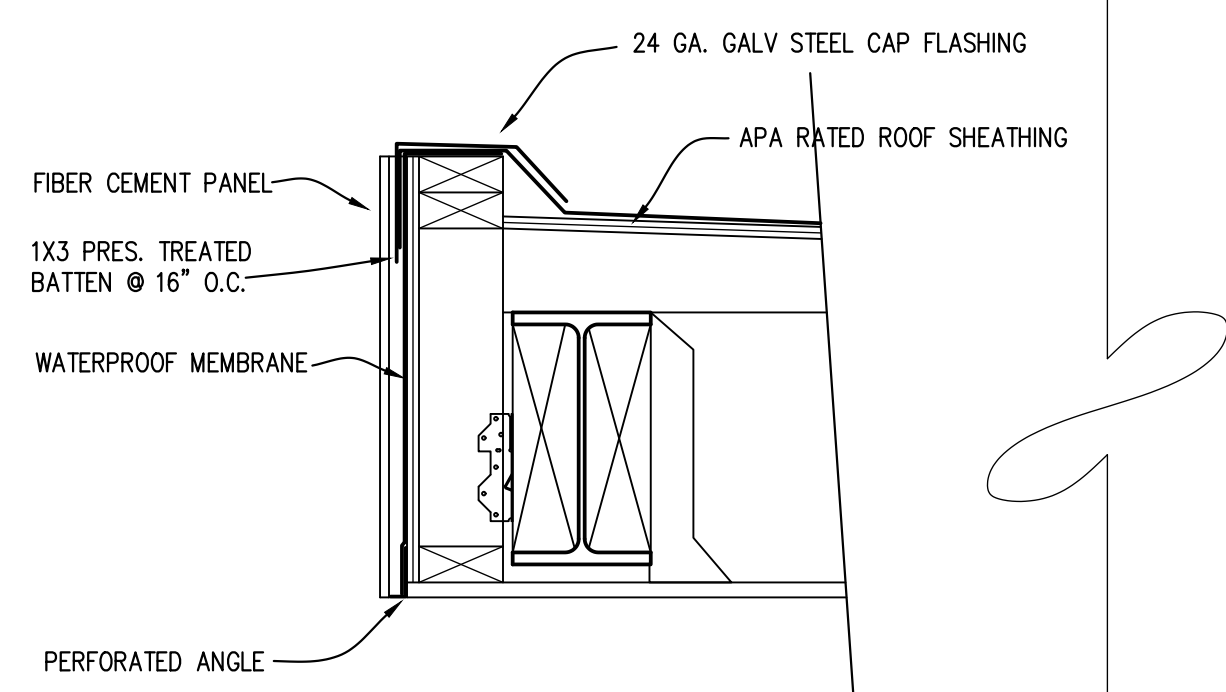
985 SQUARE FEET EXISTING	1091 SQUARE FEET NEW ADDITION	357 SQUARE FEET DECK (192 SF NEW)
1/4" = 1'-0"	2076 SQUARE FEET TOTAL	
COMBINATION SMOKE/CARBON MONOXIDE ALARM	892 SQUARE FEET EXISTING HEATED FLOOR AREA	
50 CFM EXHAUST FAN VENT TO EXTERIOR	1777 SQUARE FEET PROPOSED HEATED FLOOR AREA	
	69 SQUARE FEET UNCONDITIONED SOLARIUM	
	229 SQUARE FEET EXISTING DECK	
	356 SQUARE FEET PROPOSED DECK	

9/28/23 PRICING SET
 No. Date Revision

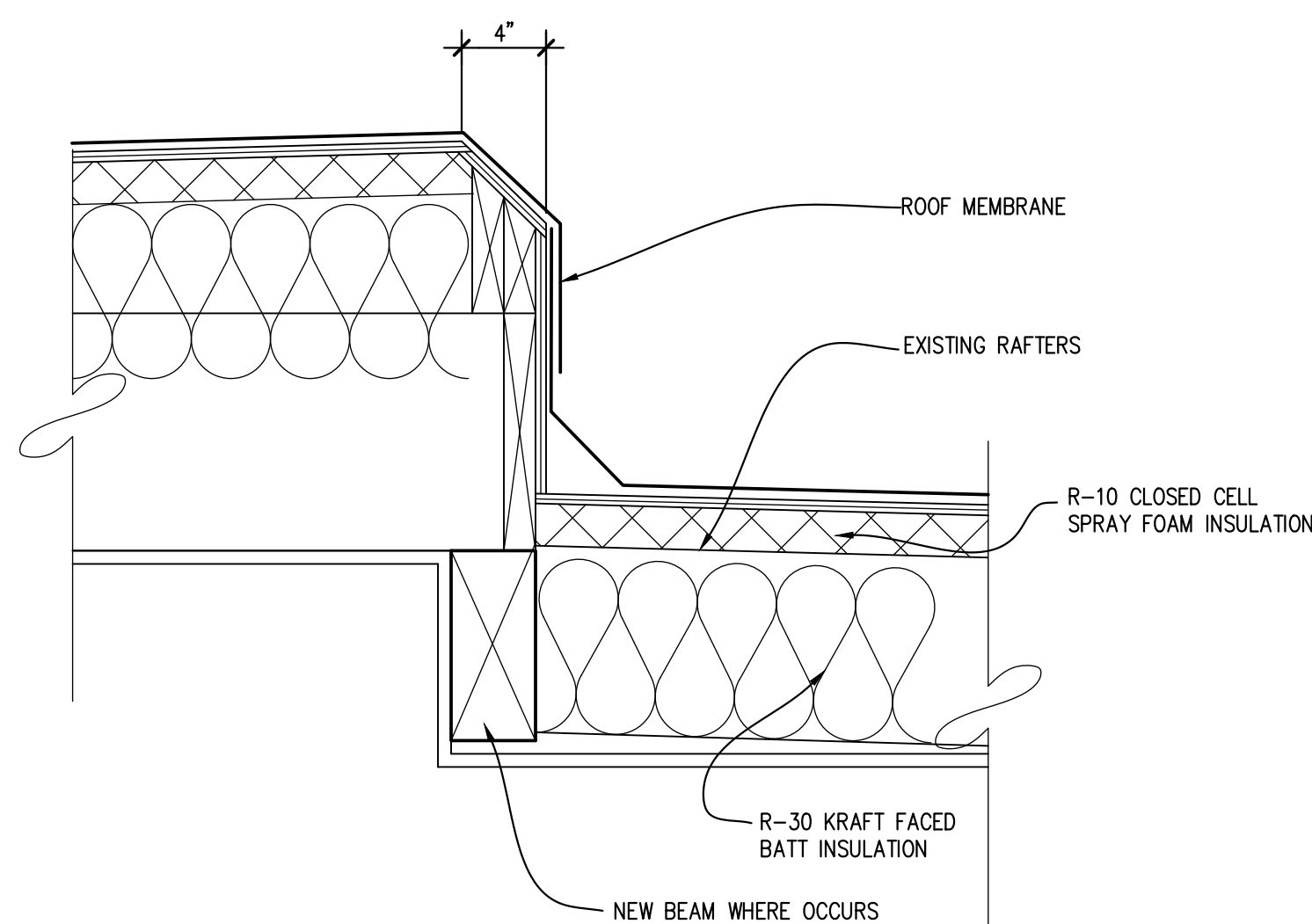
UPPER FLOOR



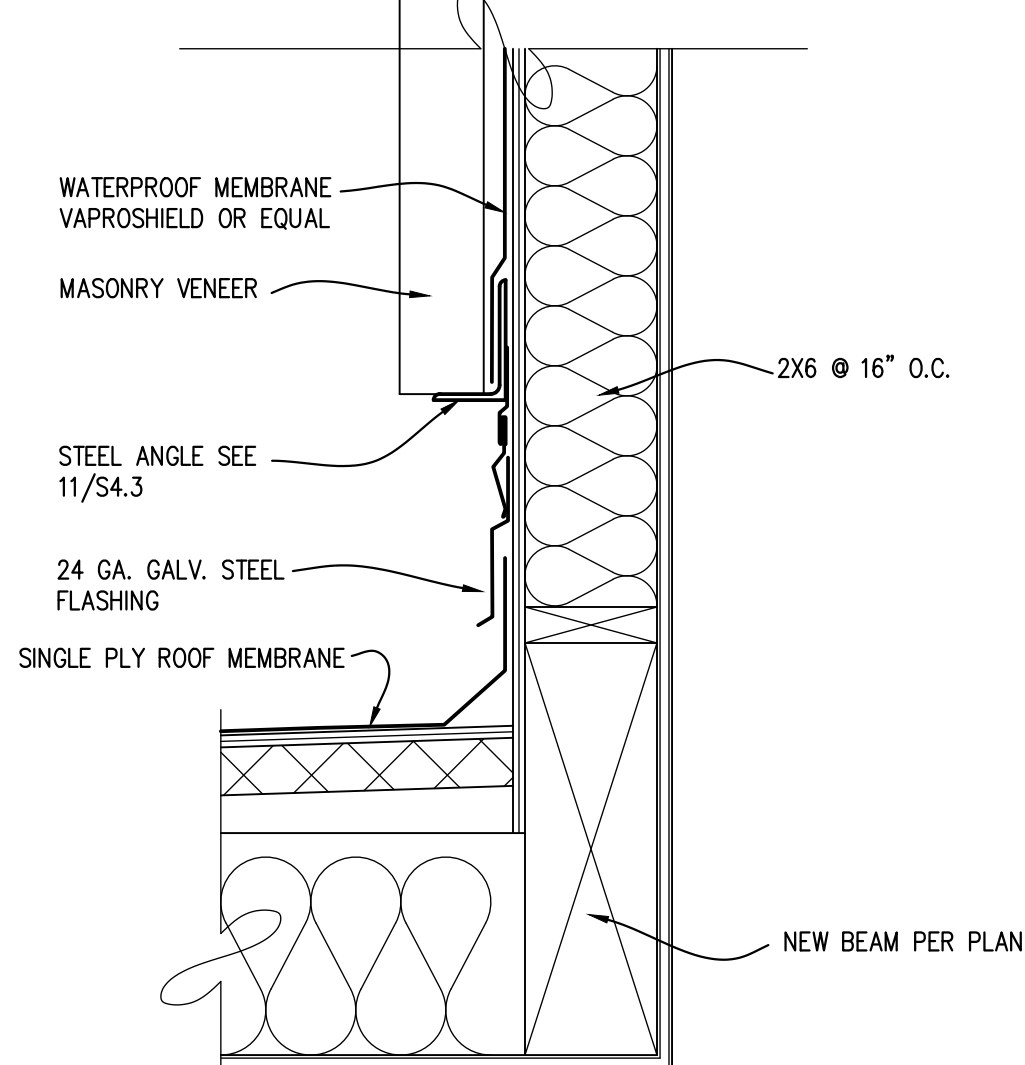
1 DETAIL
1-1/2" = 1'-0"



2 DETAIL
1-1/2" = 1'-0"

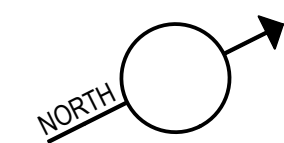
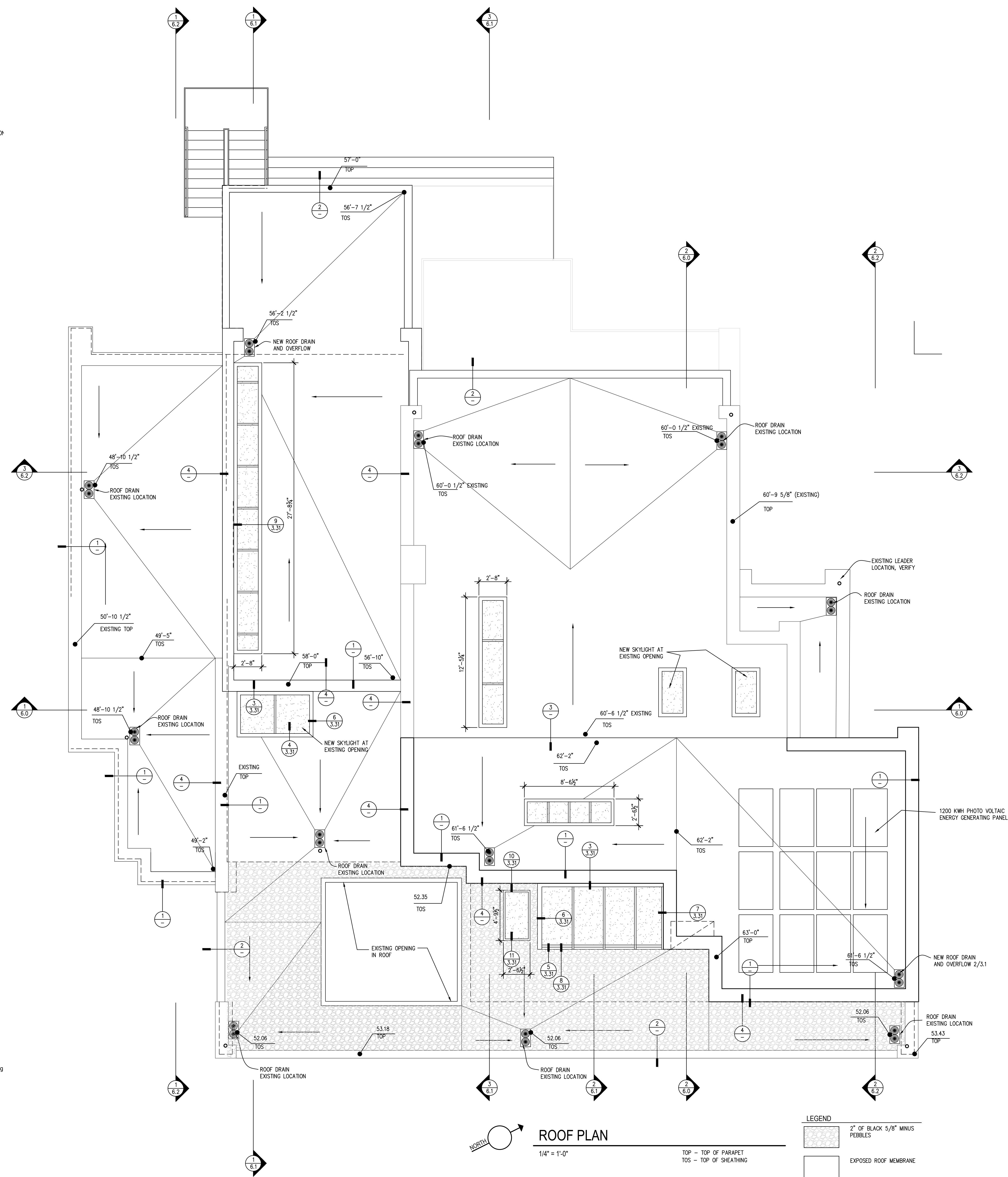


3 DETAIL
1-1/2" = 1'-0"



4 DETAIL
1-1/2" = 1'-0"

X-GRID.dwg



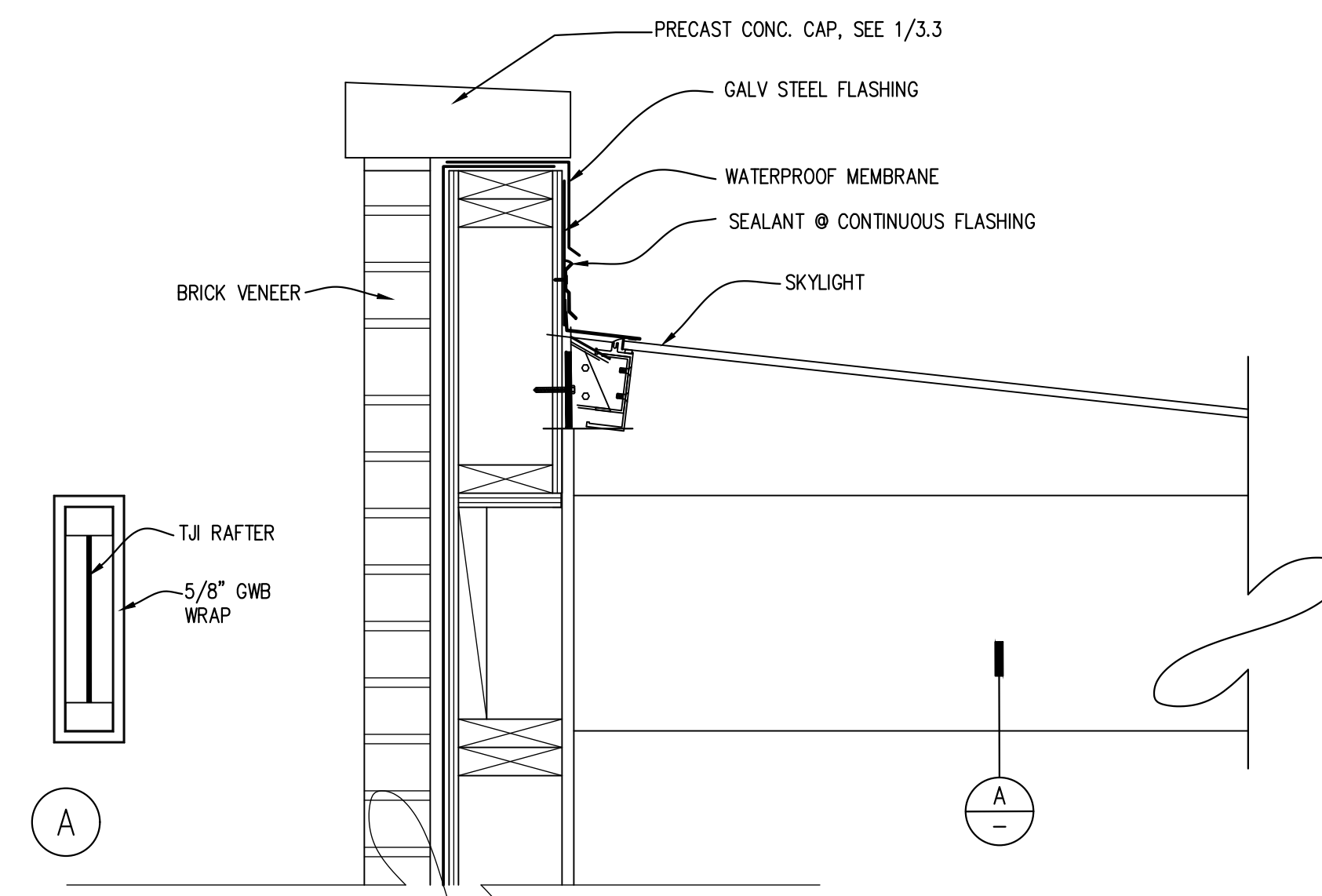
ROOF PLAN
1/4" = 1'-0"

TOP - TOP OF PARAPET
TOS - TOP OF SHEATHING

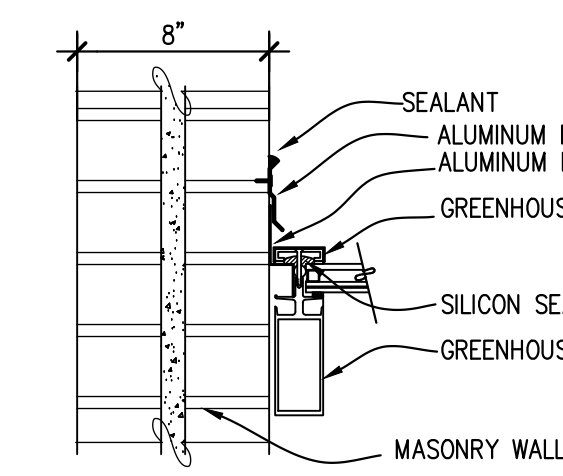
LEGEND

	2" OF BLACK 5/8" MINUS PEBBLES
	EXPOSED ROOF MEMBRANE

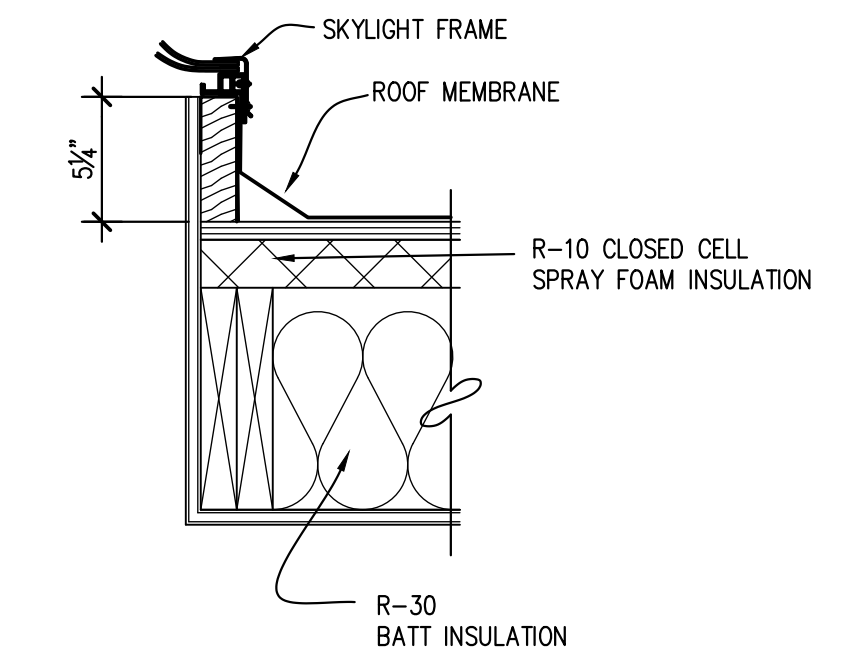
NOTE:
1 SKYLIGHTS TO BE 3/4" WITH 1" THICK 1" DIAMETER 1/2" ASS



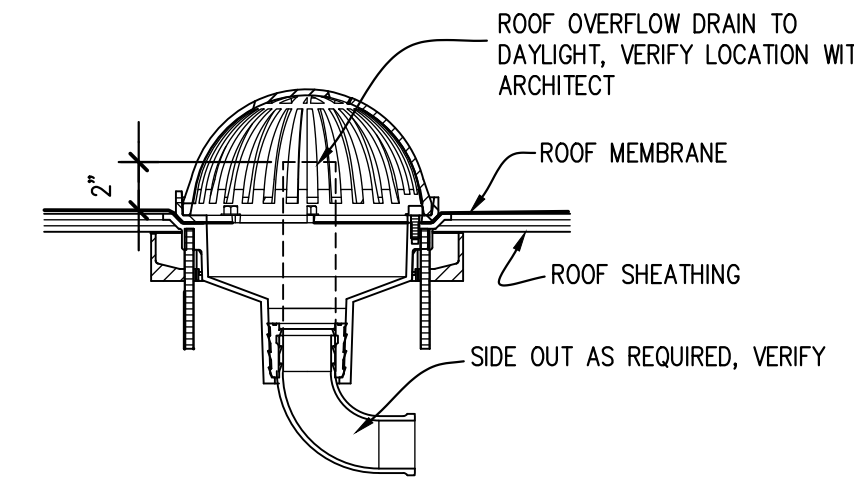
1 DETAIL
1-1/2" = 1'-0"



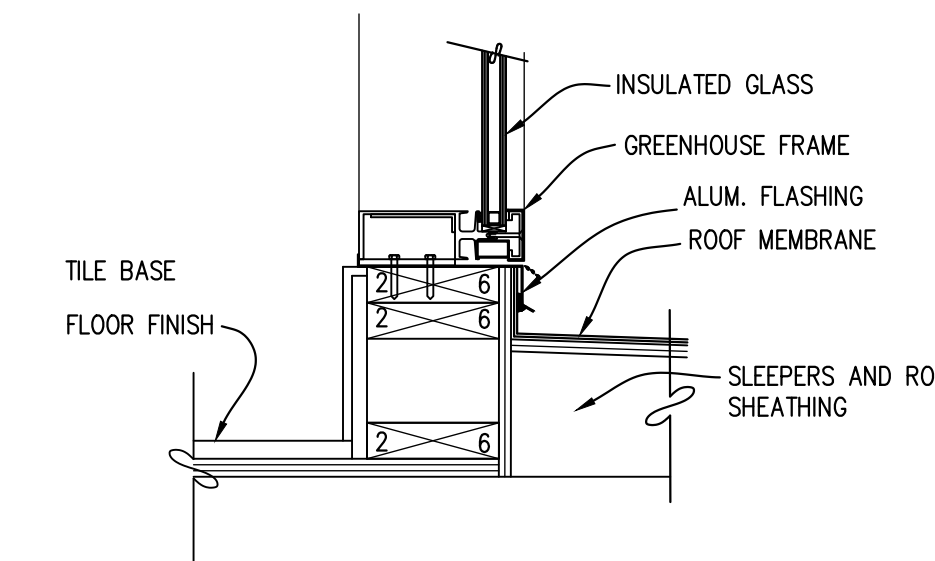
7 GREENHOUSE RAKE
1-1/2" = 1'-0"



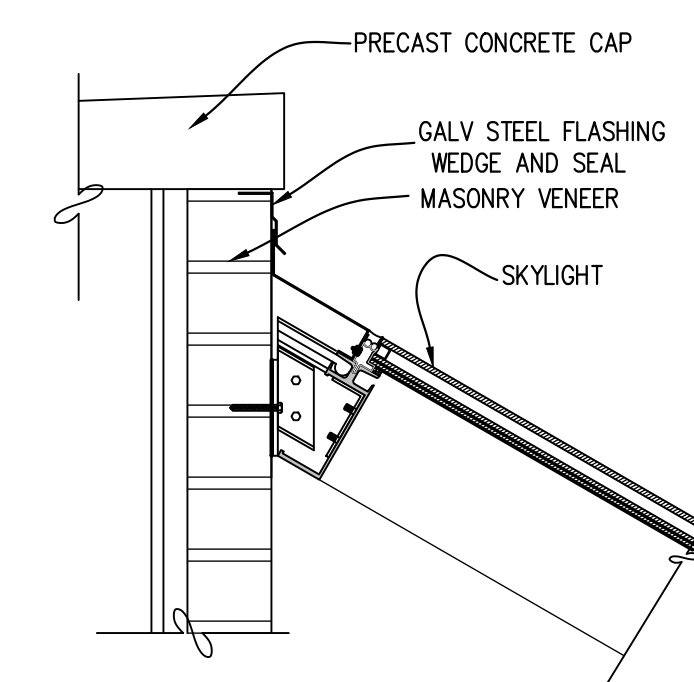
11 SKYLIGHT
1-1/2" = 1'-0"



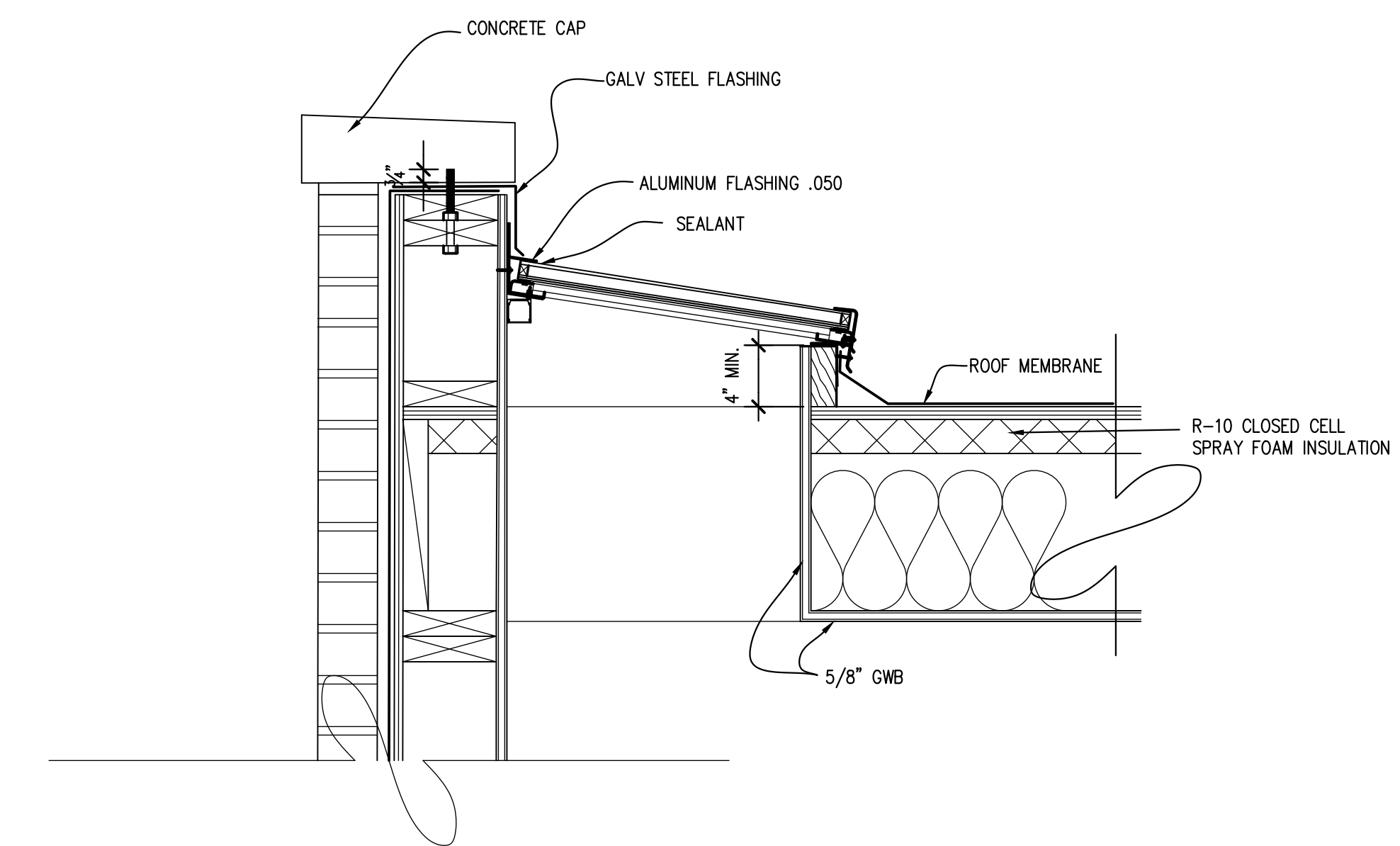
2 ROOF DRAIN
1-1/2" = 1'-0"



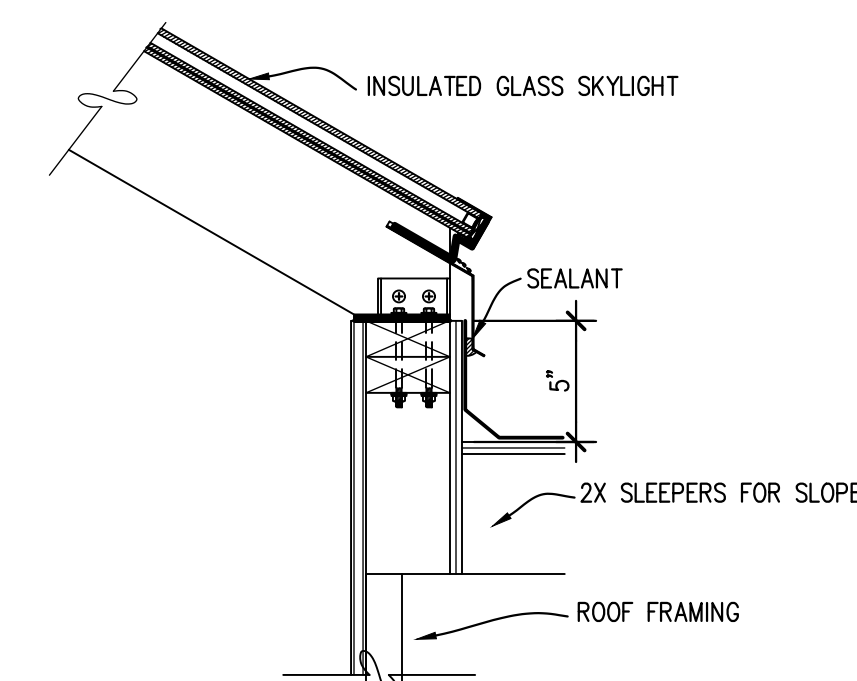
8 GREENHOUSE
1-1/2" = 1'-0"



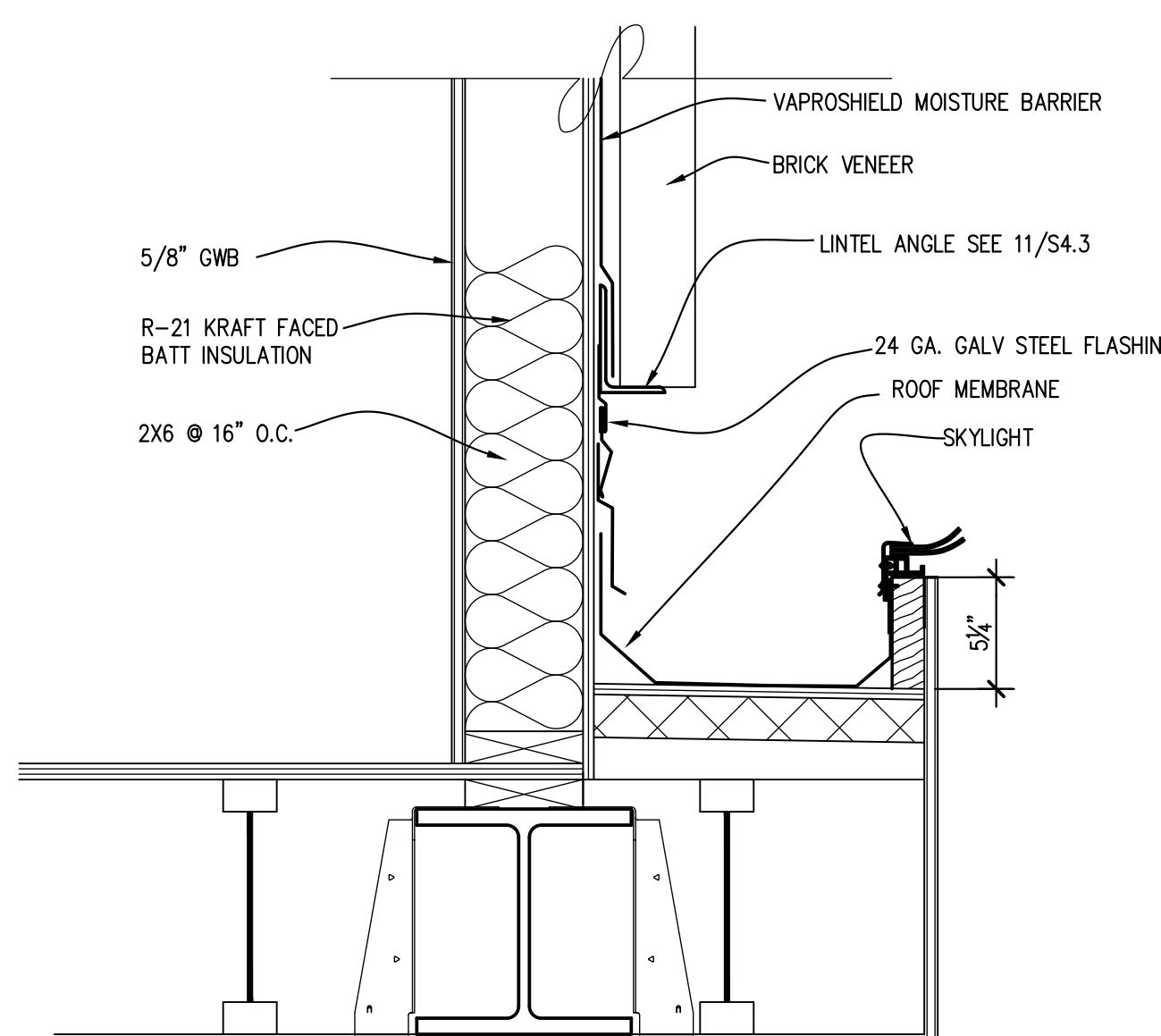
3 GREENHOUSE
1-1/2" = 1'-0"



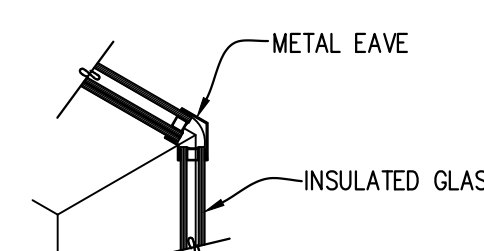
9 SKYLIGHT
1-1/2" = 1'-0"



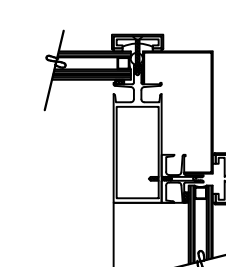
4 SKYLIGHT
1-1/2" = 1'-0"



10 SKYLIGHT
1-1/2" = 1'-0"



5 GREEN HOUSE
1-1/2" = 1'-0"



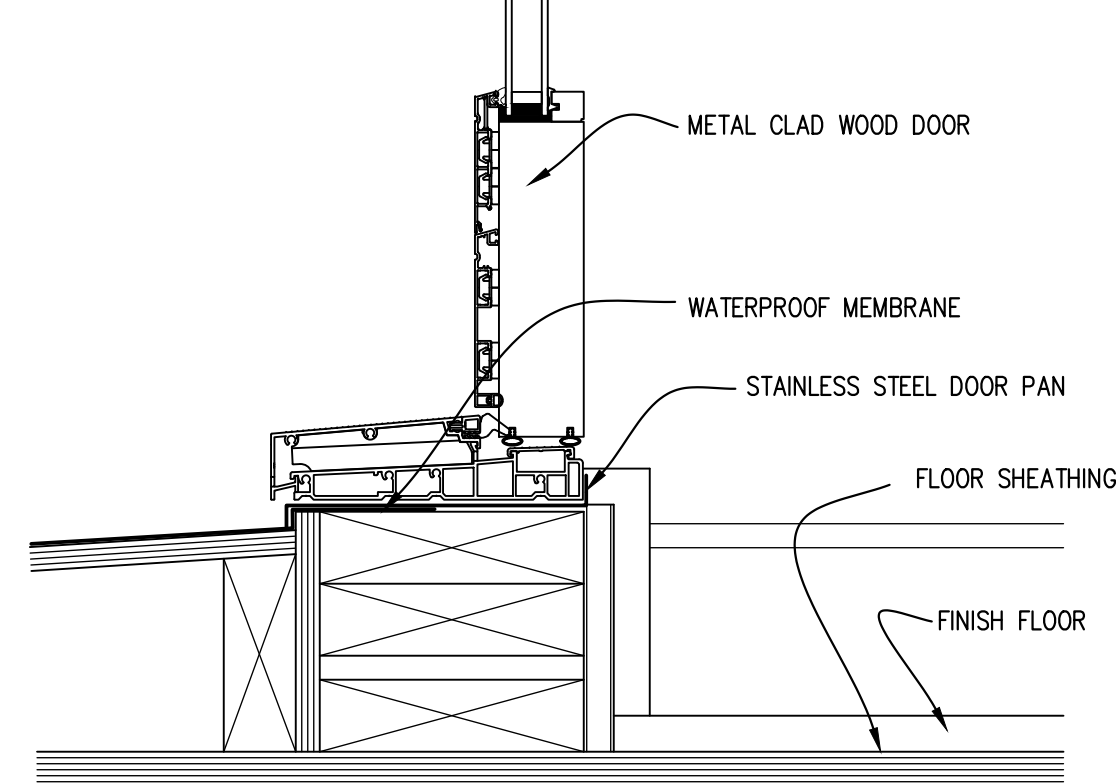
6 GREENHOUSE
1-1/2" = 1'-0"

PLUMBING FIXTURE SCHEDULE						
MARK	FIXTURE	MANUFACTURER	MODEL NO.	FINISH/COLOR	FITTING	REMARKS
LAV1	-	KOHLER	LADENA K-2214	-	HANSGRÖHE 71710821	-
LAV2	-	KOHLER	LADENA K-2214	-	HANSGRÖHE 71710821	-
LAV3	-	KOHLER	LADENA K-2214	-	HANSGRÖHE 71710821	-
LAV4	-	KOHLER	LADENA K-2214	-	BRIZO 65039LF-GL-ECC	-
LAV5	-	KOHLER	K-2773-G3-B11	OPAQUE DOE	BRIZO 865700 VALVE, T65735LF-GL-ECC TRIM	RP724140L DRAIN
LAV6	-	KOHLER	LADENA K-2214-0	-	65368LF-GLHP-ECC, HK5367-GL HANDLE (BRIZO)	-
LAV7	-	KOHLER	LADENA K-2214-0	-	65368LF-GLHP-ECC, HK5367-GL HANDLE (BRIZO)	-
LAV8	-	KOHLER	LADENA K-2214-0	-	BRIZO 65368LF-GLHP-ECC FAUCET HK5367-GL HANDLE	-
SHOWER1	-	HANSGRÖHE	04233820 TRIM	-	28632820 BAR, HC26036821 HEAD	01850181 VALVE, 27458823 ELBOW, GROHE 2841780 HOSE
SHOWER2	NOT USED	-	-	-	-	-
SHOWER3	-	HANSGRÖHE	04233820 TRIM	-	28632820 BAR, HC26036821 HEAD	01850181 VALVE, 27458823 ELBOW
SHOWER4	-	BRIZO	R6000-UNBX VALVE	-	HL60P33-GL HANDLE, T60P035-GLHP TRIM, 86571-GL BAR	-
SHOWER5	-	BRIZO	R6000 VALVE, HL7567-GL TRIM	-	86761-GL BAR, T75558-GLHP TRIM	-
SHOWER6	-	BRIZO	R6000-UNBX VALVE, T6006-GLHP TRIM	-	HL6067 HANDLE, 86767-GL BAR	-
SNK1	-	KOHLER	K-5287-NA	-	BRIZO 6106SLF-BLGL	K-8799 DRAIN & STRAINER
SNK2	-	KOHLER	K-12794	-	SIGNATURE HARDWARE 465186	K-9115 STRAINER, K-9000 TRAP
SNK3	-	KOHLER	K-5285-NA *OPTIONS	-	BRIZO 6106SLF-BLGL	L-8799-BN STRAINER, K-11352-BN STOPPER K-77888-NA FILTER
SNK4	-	KOHLER	K-5287-NA	-	BRIZO 6106SLF-BLGL	L-8799-BN STRAINER, K-11352-BN STOPPER K-77888-NA FILTER
SNK5	-	KOHLER	K-5287-NA	-	CALFAUCETS K511-111-XX	K-8801-VS
WC1	TOILET	SIGNATURE HARDWARE	447355	-	-	-
WC2	TOILET	SIGNATURE HARDWARE	447355	-	K-10349-0 SEAT	-
WC3	TOILET	SIGNATURE HARDWARE	447355	-	K-10349-0 SEAT	-
WC4	TOILET	SIGNATURE HARDWARE	447355	-	K-10349-0 SEAT	-
WC5	TOILET	KOHLER	K-46006-0	-	-	-
WC6	TOILET	SIGNATURE HARDWARE	447355	-	K-10349-0 SEAT	-
WC7	TOILET	KOHLER	K-77780-0	-	-	-
WC8	TOILET	SIGNATURE HARDWARE	447355	-	K-10349-0 SEAT	-
TUB1	TUB	SIGNATURE HARDWARE	466612	-	BRIZO T70310-ALL-TW-F-GL FILLER	870200 VALVE
TUB2	TUB	JACUZZI	UN50326XXXXX, MF35826	-	HANSGRÖHE 04233820 TRIM	28632820 BAR, 27458823 ELBOW, 72411821 SPOUT
-	-	-	-	-	04233820 TRIM	28632820 BAR, 27458823 ELBOW, 72411821 SPOUT
-	-	-	-	-	-	-

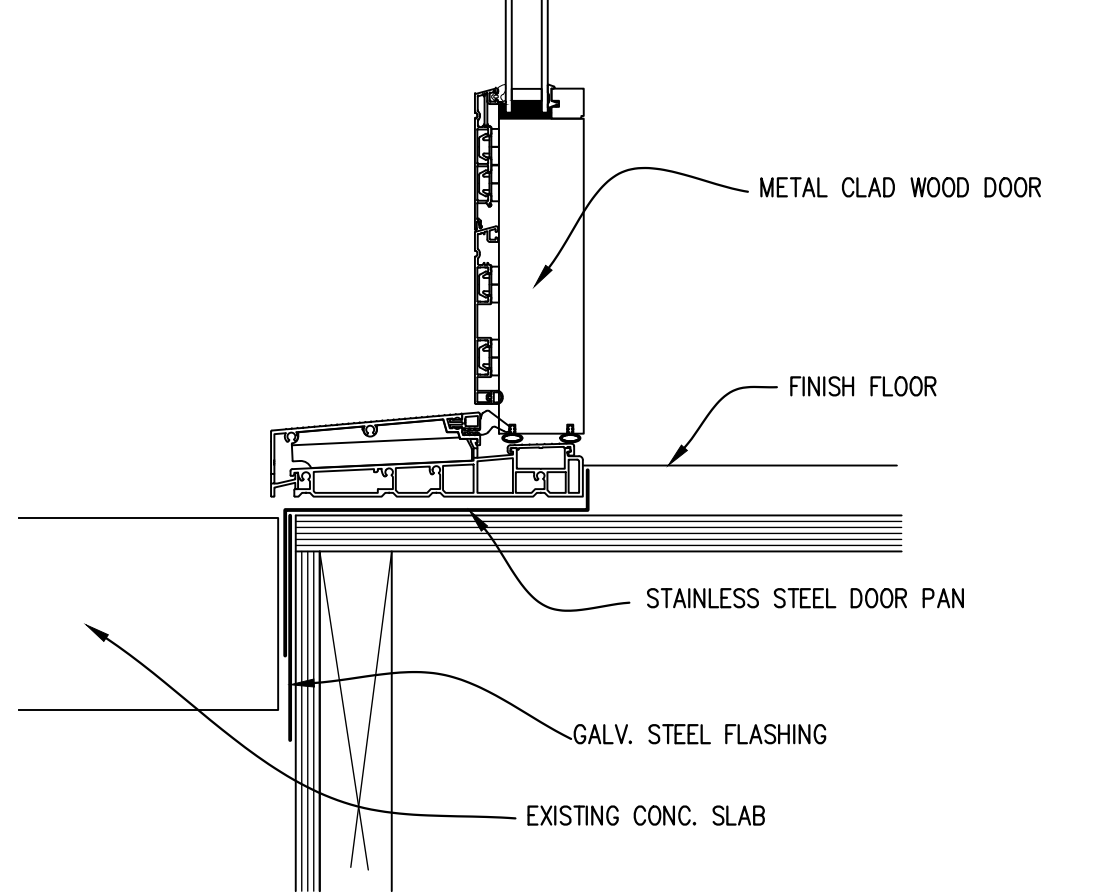
APPLIANCE SCHEDULE					
MARK	PRODUCT	MANUFACTURER	MODEL NO.	FINISH/COLOR	REMARKS
DW1	DISHWASHER	WOLF-COVE	DW2450	30969'S STAINLESS PANEL, TUBULAR HANDLE	-
DW2	DISHWASHER	WOLF-COVE	DW2450	30969'S STAINLESS PANEL, TUBULAR HANDLE	-
W/D	STACK WASHER/DRYER	LG	-	WKEK200HGA	120 VOLT, 10 AMP, 240 VOLT, 30 AMP
REFER1	REFRIGERATOR	SUB ZERO	DET3050C/L	7023628 DUAL INST. HANDLE	115 VOLT, 15 AMP
REFER2	REFRIGERATOR	SUB ZERO	DET3050C/R	PANEL FRONT	115 VOLT, 15 AMP
OVEN	WALL OVENS	WOLF	D03050TE/S/T	-	240/208 VOLT, 50 AMP
MICRO	MICRO WAVE OVEN	WOLF	MD030TE/S/TH	-	120 VOLT, 15 AMP
CKTP1	INDUCTION COOKTOP	WOLF	C365TF/S	-	3-WIRE, 240/208 VOLT, 50 AMP
CKTP2	GAS COOKTOP	WOLF	MM15TF/S	-	120 VOLT, 15 AMP, 3/4" GAS
HOOD	EXHAUST HOOD	WOLF	PL582212 1200 CFM	814423 BLOWER, PL52212 LINER	120 VOLT, 2.4 AMP PER BLOWER, SEE NOTE 1 BELOW
W.	WASHER	ELECTROLUX	ELF7637AT	TITANIUM COLOR, EPW0257UIT PED	240 VOLT, 15 AMP
D.	DRYER	ELECTROLUX	ELF7637AT	TITANIUM COLOR, EPW0257UIT PED	240 VOLT, 30 AMP
AD	AIRDRESSER	SAMSUNG	DFB0A8500CC	-	120 VOLT
BEV	BEVERAGE REFER	ZEPHYR	PFB24C1CPG	-	115 VOLT, 1.5 AMP
WD	WARMING DRAWER	WOLF	WWD30	829839 FRONT	120 VOLT, 15 AMP
DISP	DISPOSAL	INSINKERATOR	BADDERSPWC	BRIZO 69080-BL SWITCH	-

SPECIALTIES SCHEDULE						
MARK	PRODUCT	MANUFACTURER	MODEL NO.	FINISH/COLOR	LOCATION	REMARKS
GAS LOC	-	RH PETERSON	SPLIT OAK DESIGNER PLUS 36" (SPD-36)	-	LIWNG	-
GLASS DOOR	FIREPLACE DOOR	STOLL DOOR	ELITE THINLINE	STANDARD FINISH	LIWNG	-
SAFE	-	AMERICAN SECURITY	EST1014	-	-	9-3/4" X 14-1/8" X 7-3/4"
TIE RACK	-	HAFELE	807.54.633	MATT NICKEL	-	-
BELT RACK	-	HAFELE	807.54.631	MATT NICKEL	-	-
PAINT RACK	-	HAFELE	805.58.635	MATT NICKEL	-	-
HAMPER	PULL-OUT HAMPER	HAFELE	807.52.631	MATT NICKEL	-	-
IRON	IRONING BOARD	IRONAWAY	AE-42	-	-	-
ROD	CLOTHES ROD	HAFELE	830.28.710	MATT NICKEL	VARIOUS	VERIFY LENGTHS

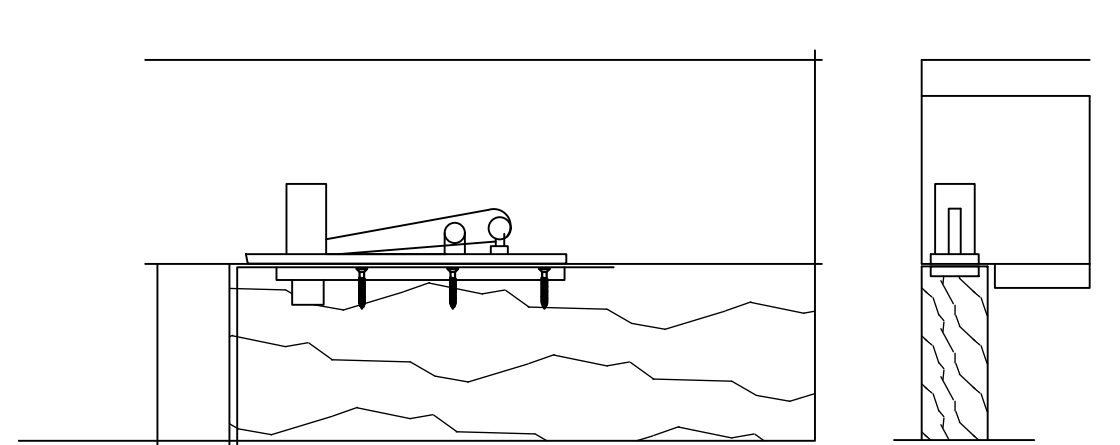
ROOM NAME		NUMBER	MATERIAL										FINISH										REMARKS
		FLOOR	BASE		CASING		WALLS		CEILING		FLOOR		CASING		WALLS		CEILING						
		MTL	DET.#/SHT.#	DR.	W.N.	N	E	S	W	MTL	HEIGHT	FLOOR	BASE	DR.	W.N.	N	E	S	W	MTL	HEIGHT		
FAMILY ROOM		100	F5/F3	B1	1/8.0	-	-	WI	WI	WI	WI	C1	C2	9'-0"	X1	-	-	-	-	-	P/STI	-	* EXISTING
BEDROOM 2		101	F4	B1	1/8.0	-	-	WI	WI	WI	WI	C1	10'-2"	X1	-	-	-	-	-	-	-	-	* EXISTING
CLOSET		102	F4	B1	1/8.0	-	-	WI	WI	WI	WI	C1	9'-0"	X1	-	-	-	-	-	-	-	-	* EXISTING
BATH2		103	F3	B1/W6	1/8.0-14/8.0	-	-	W6	W6/W7	WI	WI	C1	8'-0"	S2	-	-	-	-	-	-	-	-	* EXISTING
BEDROOM 1		104	F4	B1	1/8.0	-	-	WI	WI	WI	WI	C1	10'-2"	X1	-	-	-	-	-	-	-	-	* EXISTING
LAV1		105	F3	B1	1/8.0	-	-	WI	WI	WI	WI	C1	10'-2"	X1	-	-	-	-	-	-	-	-	* EXISTING
LAV2		106	F3	B1	1/8.0	-	-	WI	WI	WI	WI	C1	8'-0"	S2	-	-	-	-	-	-	-	-	* EXISTING
BATH1		107	F3	B1/W3	1/8.0-14/8.0	-	-	W3	WI	W4	WI	C1	8'-0"	S2	-	-	-	-	-	-	-	-	* EXISTING
SHOWER1		-	-	-	-	-	-	W3	-	W4	W3	C1	-	-	-	-	-	-	-	-	-	-	-
HALL2		108	F3	B1	1/8.0	-	-	WI	WI	WI	WI	C1	10'-2"	S2	-	-	-	-	-	-	-	-	* EXISTING
HVAC		109	F1	B2	-	-	-	WI	WI	WI	WI	C1	-	-	-	-	-	-	-	-	-	-	* EXISTING
CLOSET2		110	F3	B2	-	-	-	WI	WI	WI	WI	C1	10'-2"	S2	-	-	-	-	-	-	-	-	* EXISTING
LANDING		111	F4	B1	1/8.0	-	-	WI	WI	WI	WI	C1	10'-0"	X1	-	-	-	-	-	-	-	-	* EXISTING
BATH3		112	F3	B1/W6	1/8.0-14/8.0	-	-	WI	SSI	W8	WI	C1	8'-0"	S2	-	-	-	-	-	-	-	-	* EXISTING
SHOWER3		-	-	-	-	-	-	W8	W8	W8	C1	-	-	-	-	-	-	-	-	-	-	-	-
BEDROOM3		113	F4	B1	1/8.0	-	-	WI	WI	WI	WI	C1	9'-2"	X1	-	-	-	-	-	-	-	-	* EXISTING
CLOSET		114	F4	B1	1/8.0	-	-	WI	WI	WI	WI	C1	9'-2"	X1	-	-	-	-	-	-	-	-	* EXISTING
STAR		115	F4/F1	B1	1/8.0	-	-	WI	WI	WI	WI	C1	VARIES	X1	-	-	-	-	-	-	-	-	* EXISTING
PATIO		116	F2	B1	1/8.0	-	-	-	-	-	-	C2	-	S2	-	-	-	-	-	-	-	-	STI
ENTRY		200	F7	B1	1/8.0	-	-	WI	WI	-	-	C2	9'-6"	S2	-	-	-	-	-	-	-	-	* EXISTING
MUSIC		201	F7	B1	1/8.0	-	-	WI	WI	-	-	C2	9'-6"	S2	-	-	-	-	-	-	-	-	* EXISTING
HALL3		202	F7	B1	1/8.0	-	-	WI	-	-	-	C2	9'-6"	S2	-	-	-	-	-	-	-	-	* EXISTING
WC2		203	F7	B1	1/8.0	-	-	WI	WI	WI	WI	C1	9'-6"	S2	-	-	-	-	-	-	-	-	* EXISTING
UTILITY		204	F7	B1	1/8.0	-	-	WI	WI	WI	WI	C1	9'-6"	S2	-	-	-	-	-	-	-	-	* EXISTING
GARAGE		205	F1	B2	-	-	-	WI	WI	WI	WI	C1	8'-4"	S1	-	-	-	-	-	-	-	-	-
LANDING2		206	F4	B1	1/8.0	-	-	WI	WI	-	-	C2	8'-6"	X1	-	-	-	-	-	-	-	-	* EXISTING
KITCHEN		207	F7	-	-	-	-	WI	WI	-	-	C2	9'-6"	S2	-	-	-	-	-	-	-	-	* EXISTING
BREAKFAST		208	F7	-	-	-	-	WI	WI	-	-	C2	9'-6"	S2	-	-	-	-	-	-	-	-	* EXISTING
PANTRY		209	F7	B1	1/8.0	-	-	WI	WI	WI	WI	C1	9'-6"	S2	-	-	-	-	-	-	-	-	* EXISTING
DINING		210	F7	-	-	-	-	WI	-	-	-	C2	9'-6"	S2	-	-	-	-	-	-	-	-	* EXISTING
LIVING ROOM		211	F7	B1	1/8.0	-	-	WI	WI	WI	WI	C2	15'-6"	S2	-	-	-	-	-	-	-	-	* EXISTING
OFFICE		212	F7	B1	1/8.0	-	-	WI	WI	WI	WI	C1	7'-10"	S2	-	-	-	-	-	-	-	-	* EXISTING
CLOSET		213	F7	B1	1/8.0	-	-	WI	WI	WI	WI	C1	7'-10"	S2	-	-	-	-	-	-	-	-	* EXISTING
WC		214	F7	B1	1/8.0	-	-	WI	WI	WI	WI	C1	7'-10"	S2	-	-	-	-	-	-	-	-	* EXISTING
BATH4		215	F7	B1/W10	1/8.0-14/8.0	-	-	WI0	W10	-	-	WI	C1	7'-10"	S2	-	-	-	-	-	-	-	* EXISTING
SHOWER 4		-	-	-	-	-	-	WI0	W9	W10	W10	C1	-	-	-	-	-	-	-	-	-	-	-
COATS		216	F7	B1	1/8.0	-	-	WI	WI	WI	WI	C2	7'-10"	S2	-	-	-	-	-	-	-	-	* EXISTING
POWDER		217	F7	B1	1/8.0	-	-	WI	WI	WI	WI	C2	7'-10"	S2	-	-	-	-	-	-	-	-	* EXISTING
DECK 1		218	F2	-	-	-	-	-	-	-	-	C2	-	S1	-	-	-	-	-	-	-	-	* EXISTING
-		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
BEDROOM4		300	F4	B1	1/8.0	-	-	WI	WI	WI	WI	C1	8'-8"	X1	-	-	-	-	-	-	-	-	* EXISTING
CLOSET		301	F4	B1	1/8.0	-	-	WI	WI	WI	WI	C1											



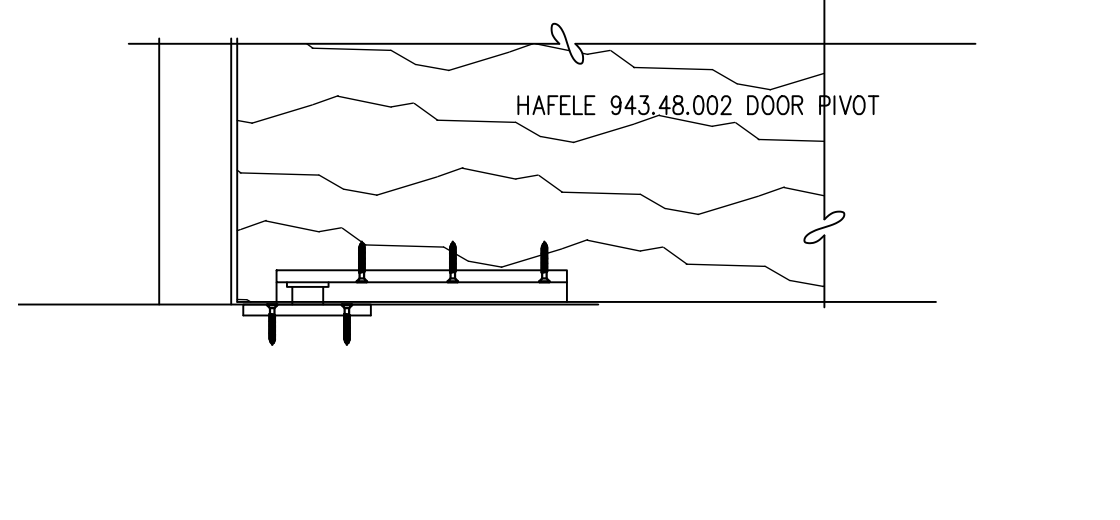
36 SILL
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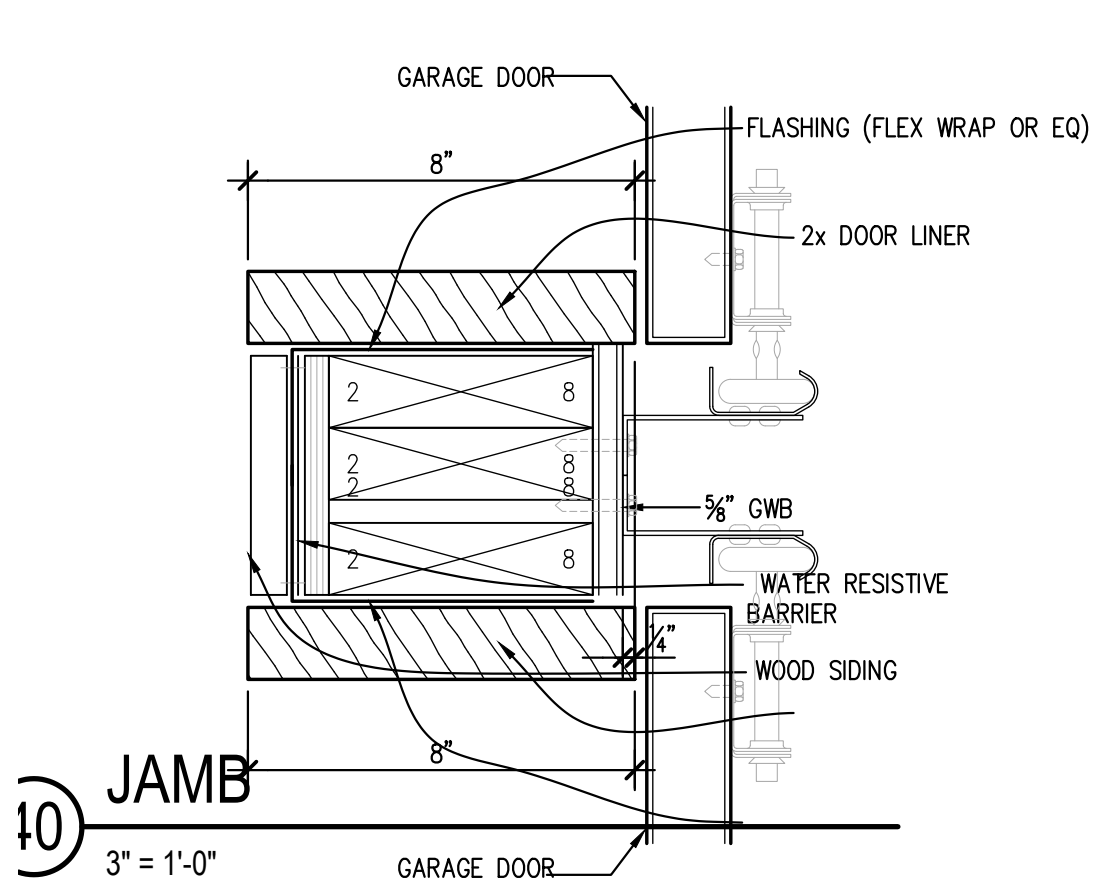
37 THRESHOLD
3" = 1'-0"



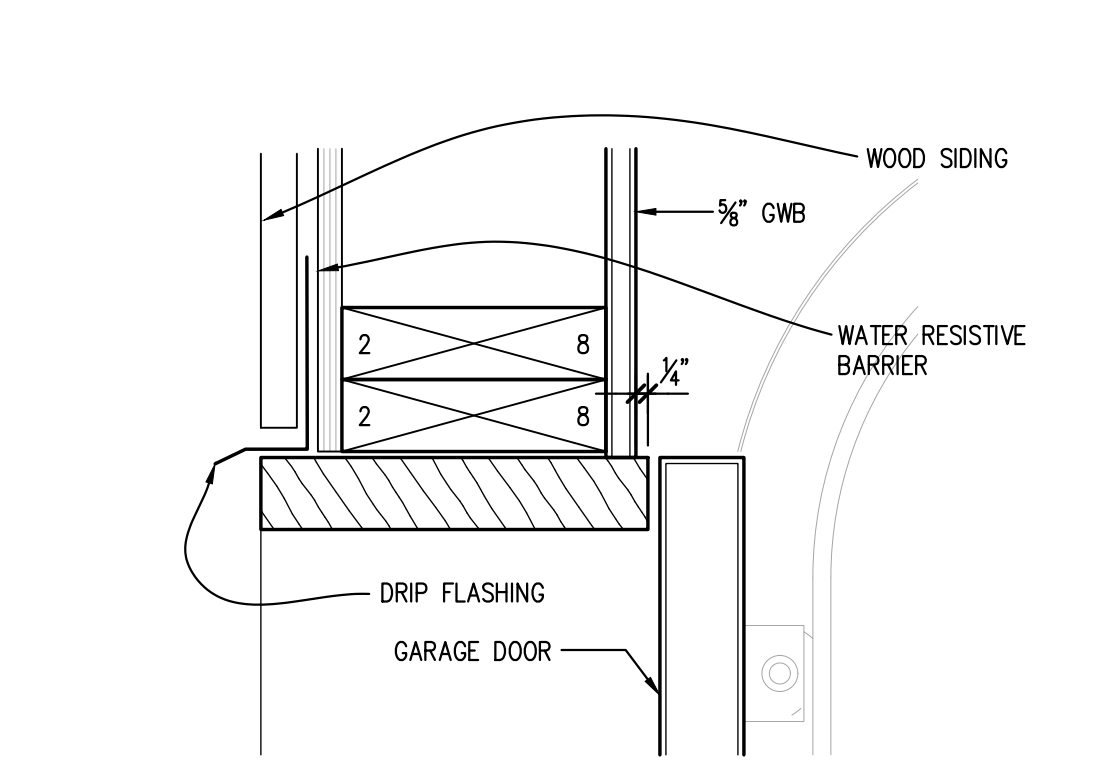
38 HEAD
3" = 1'-0"



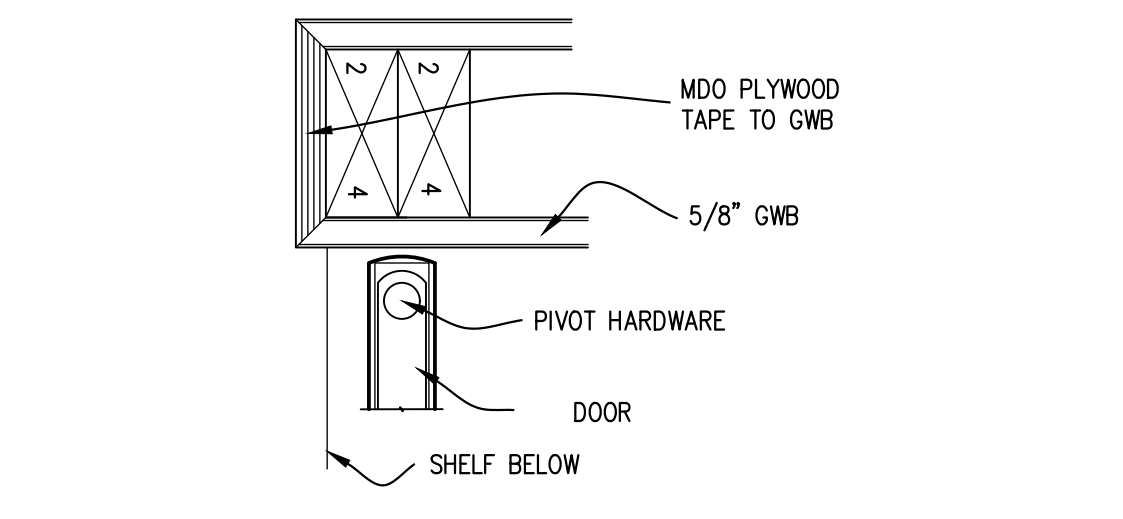
39 THRESHOLD
3" = 1'-0"



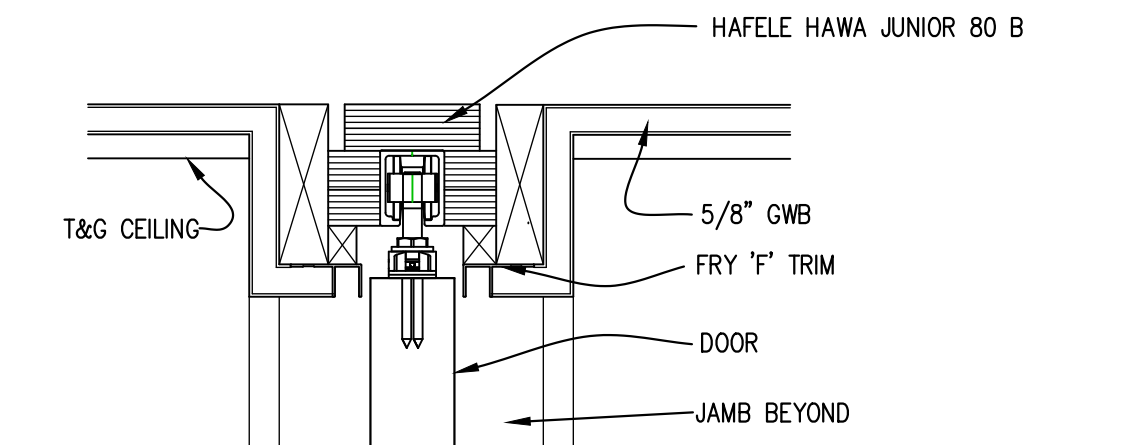
10 JAMB
3" = 1'-0"



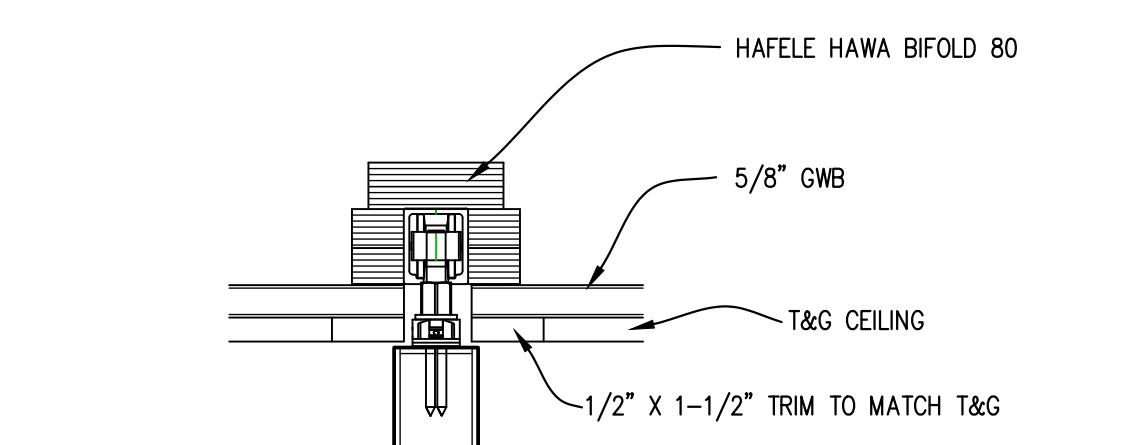
1 HEAD
3" = 1'-0"



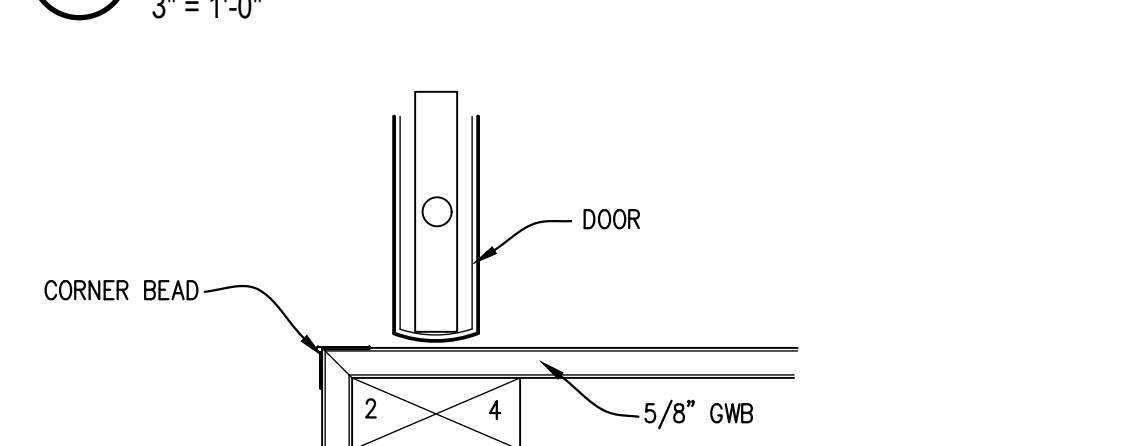
29 JAMB
3" = 1'-0"



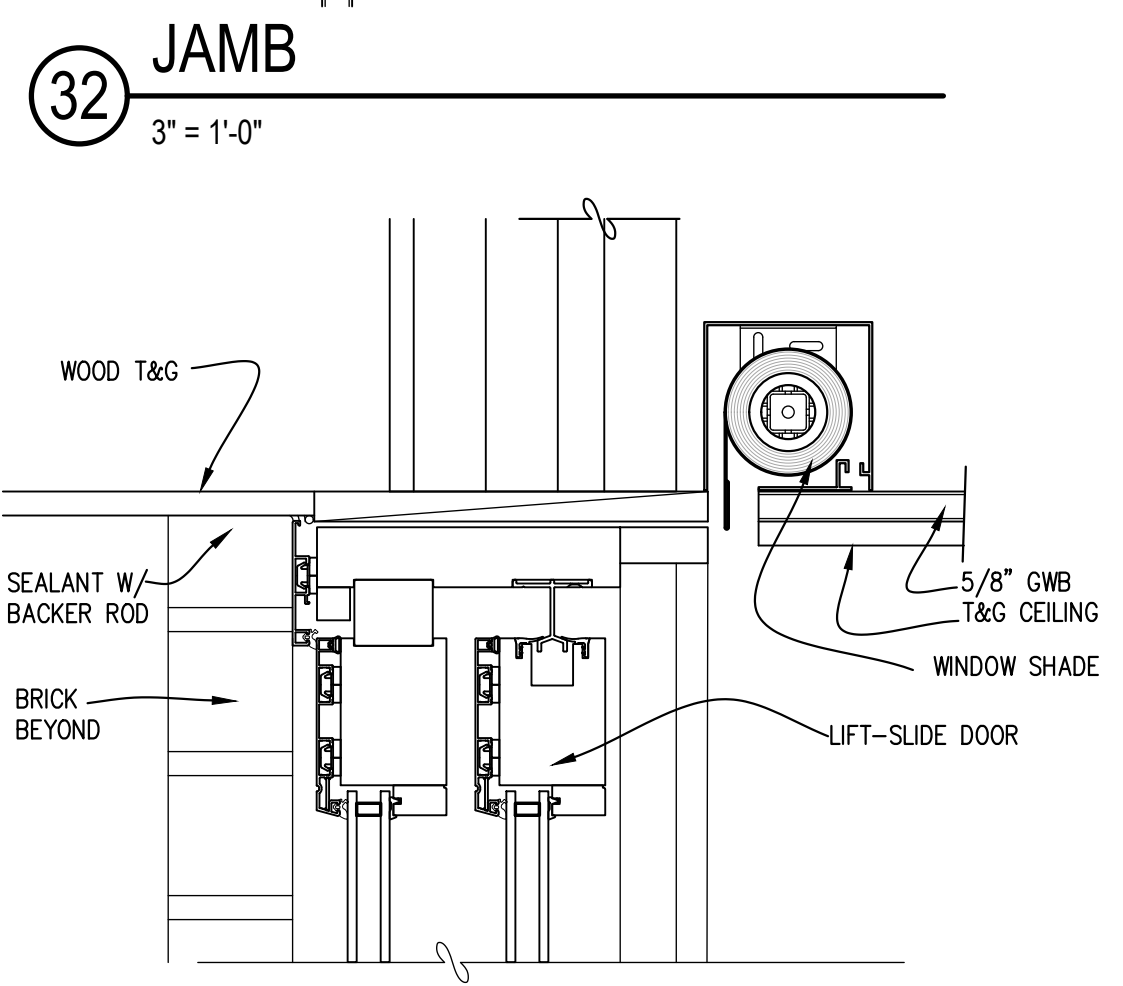
30 HEAD
3" = 1'-0"



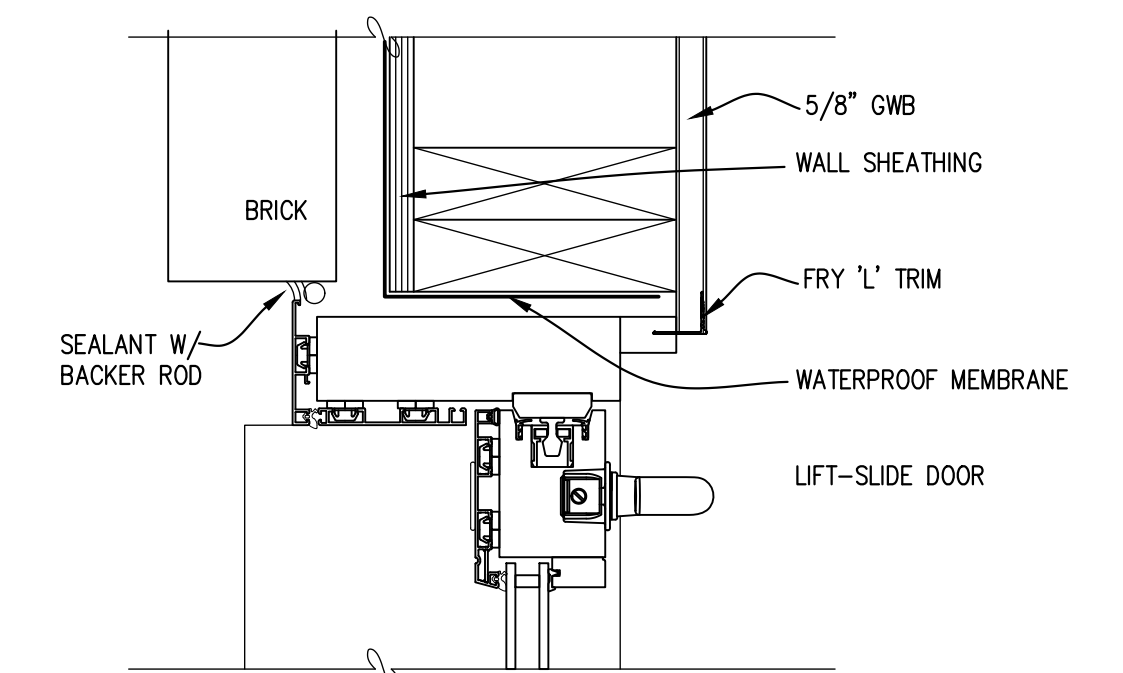
31 HEAD
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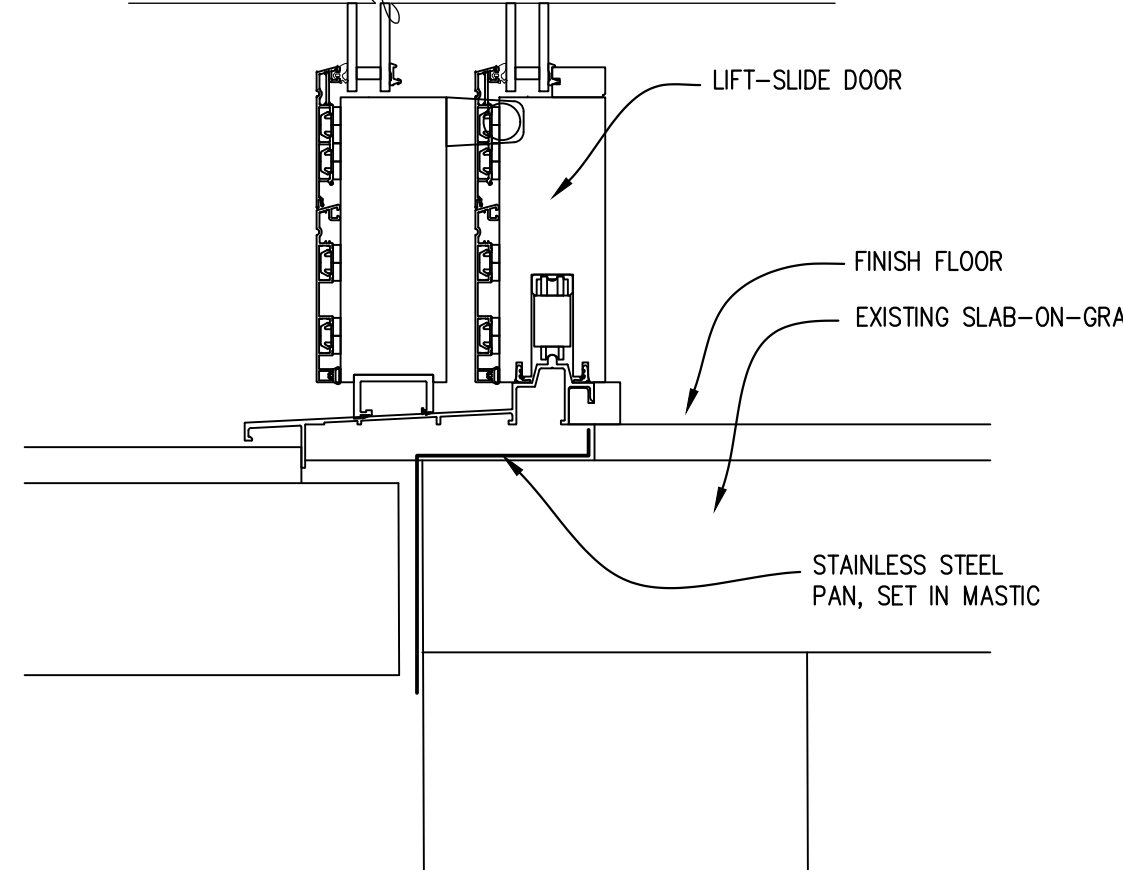
32 JAMB
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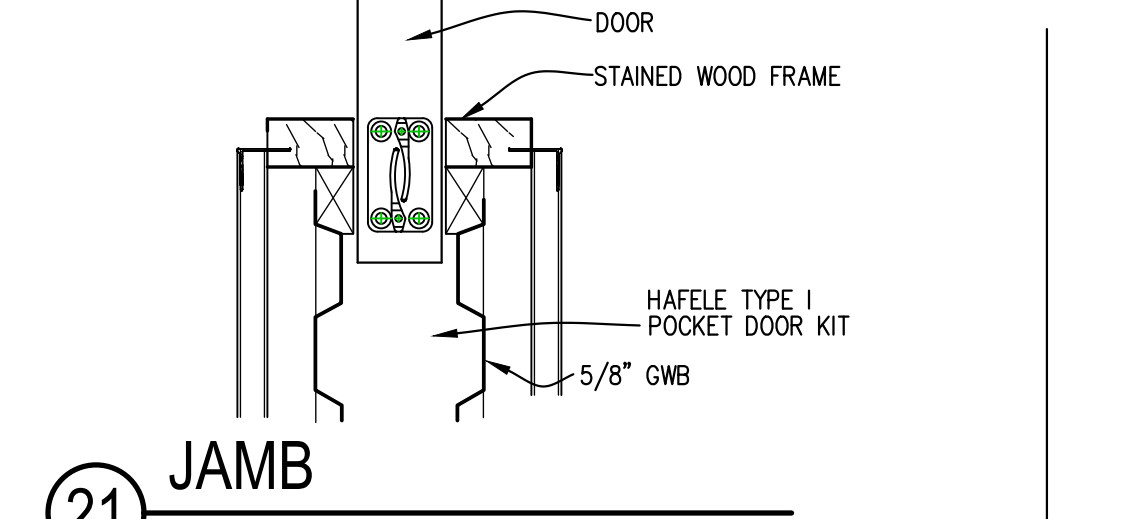
33 HEAD
3" = 1'-0"



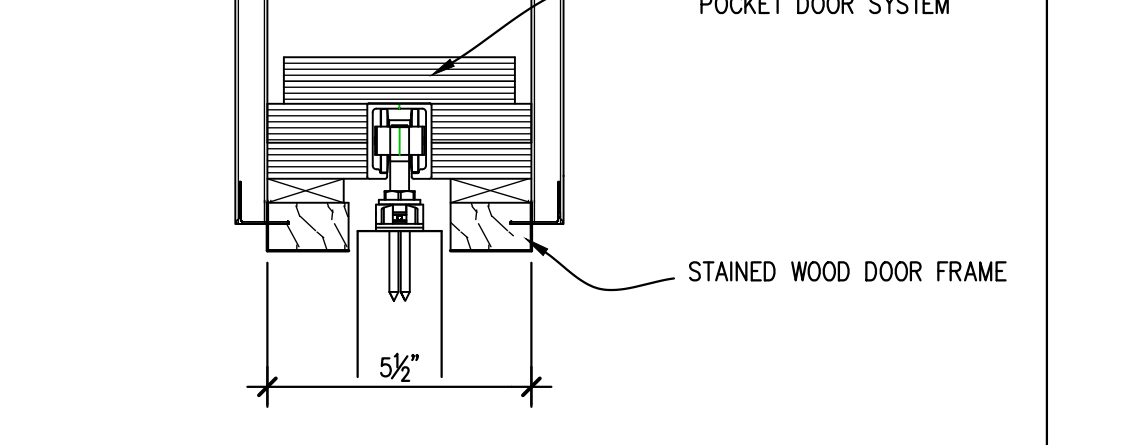
34 JAMB
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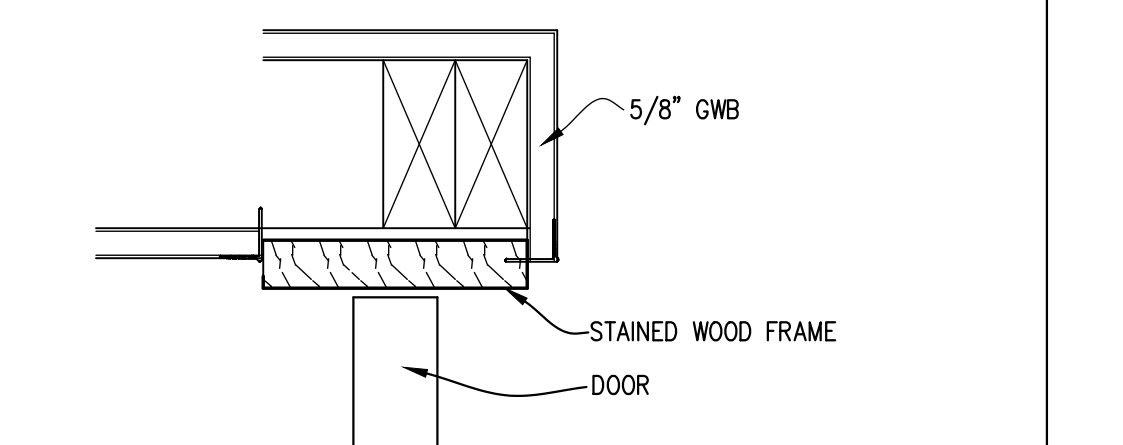
35 SILL
3" = 1'-0"



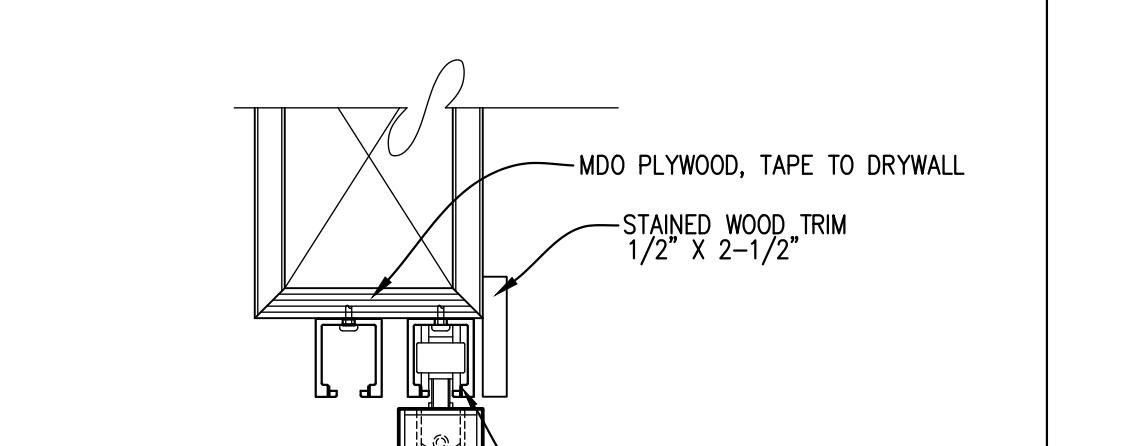
21 JAMB
3" = 1'-0"



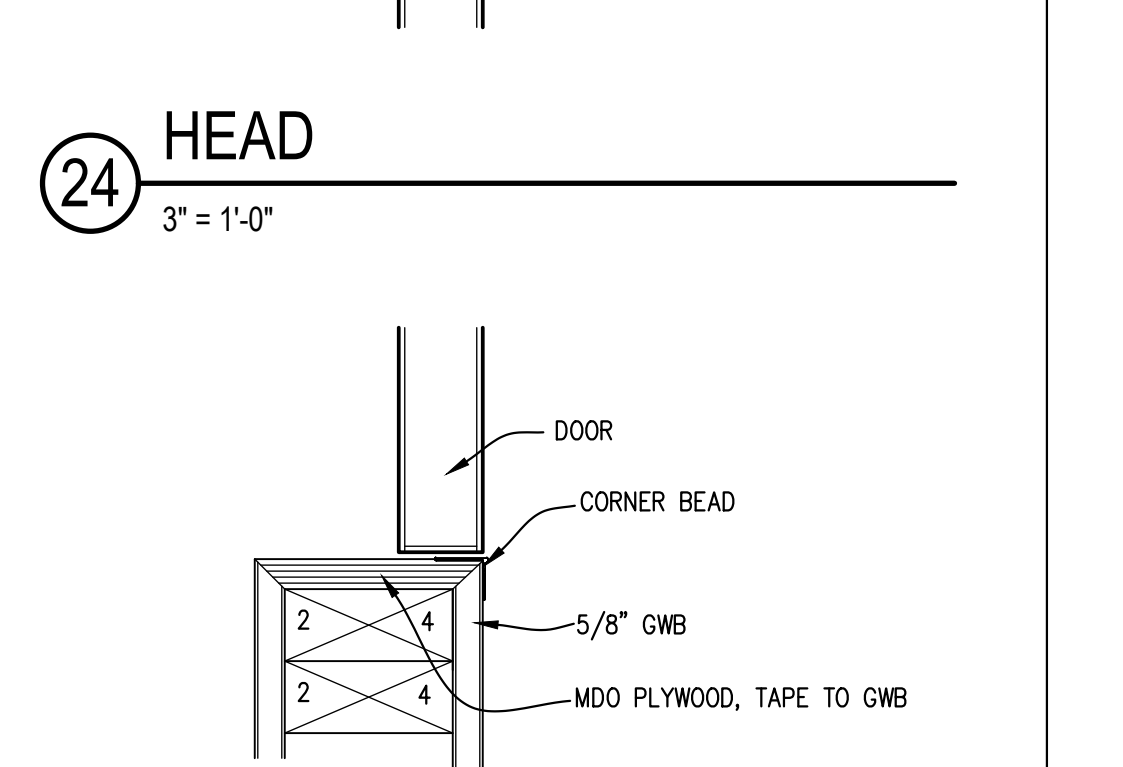
22 HEAD
3" = 1'-0"



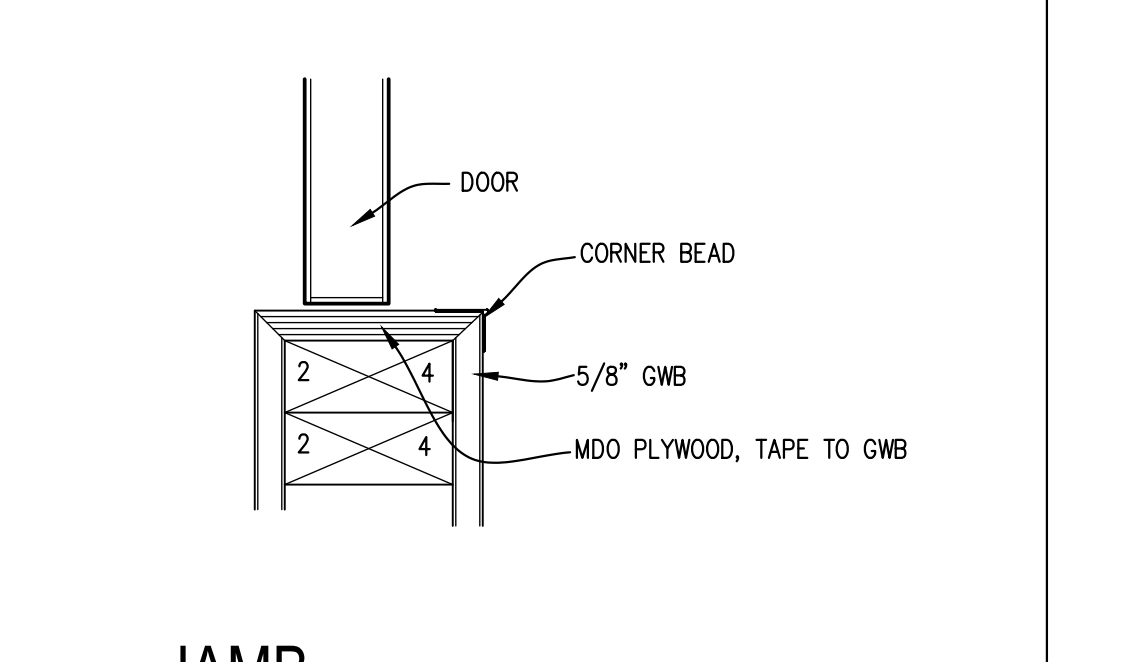
23 JAMB
3" = 1'-0"



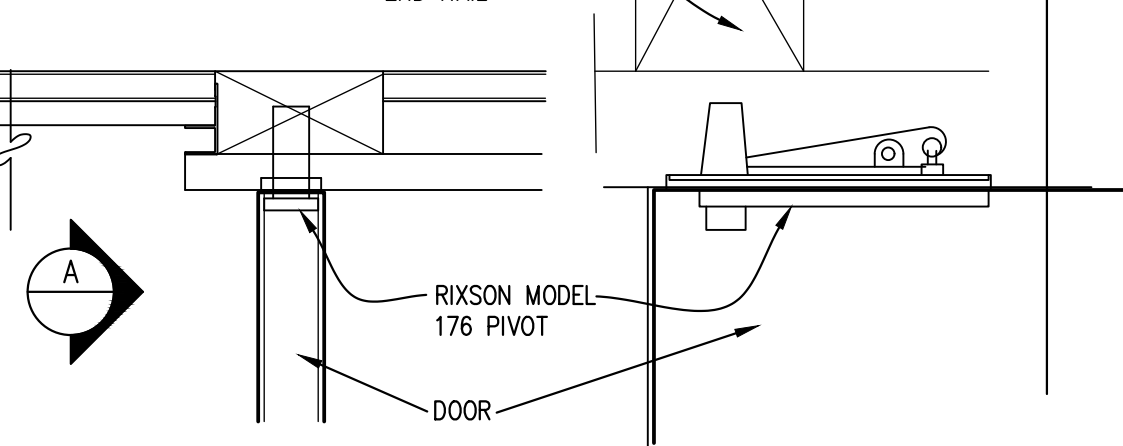
24 HEAD
3" = 1'-0"



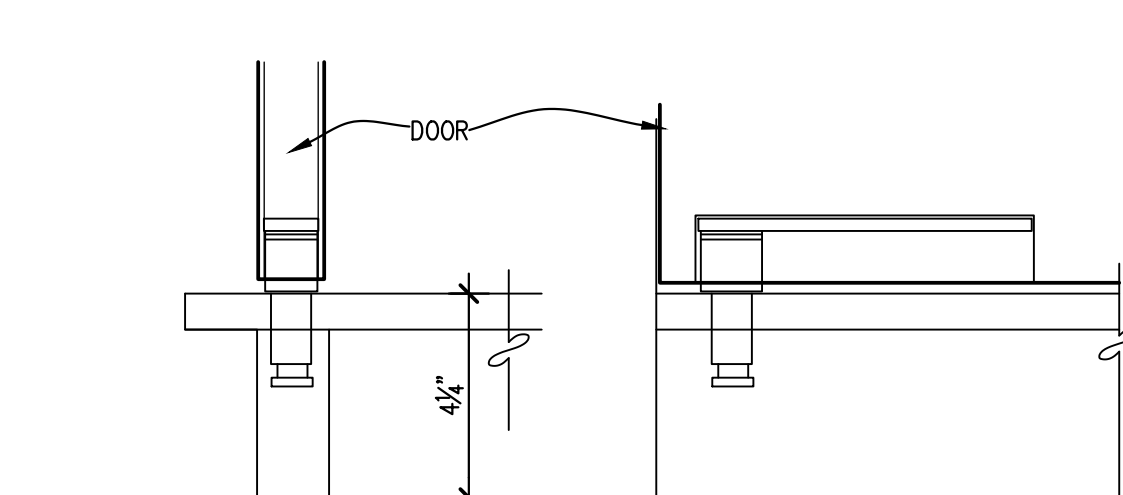
25 JAMB
3" = 1'-0"



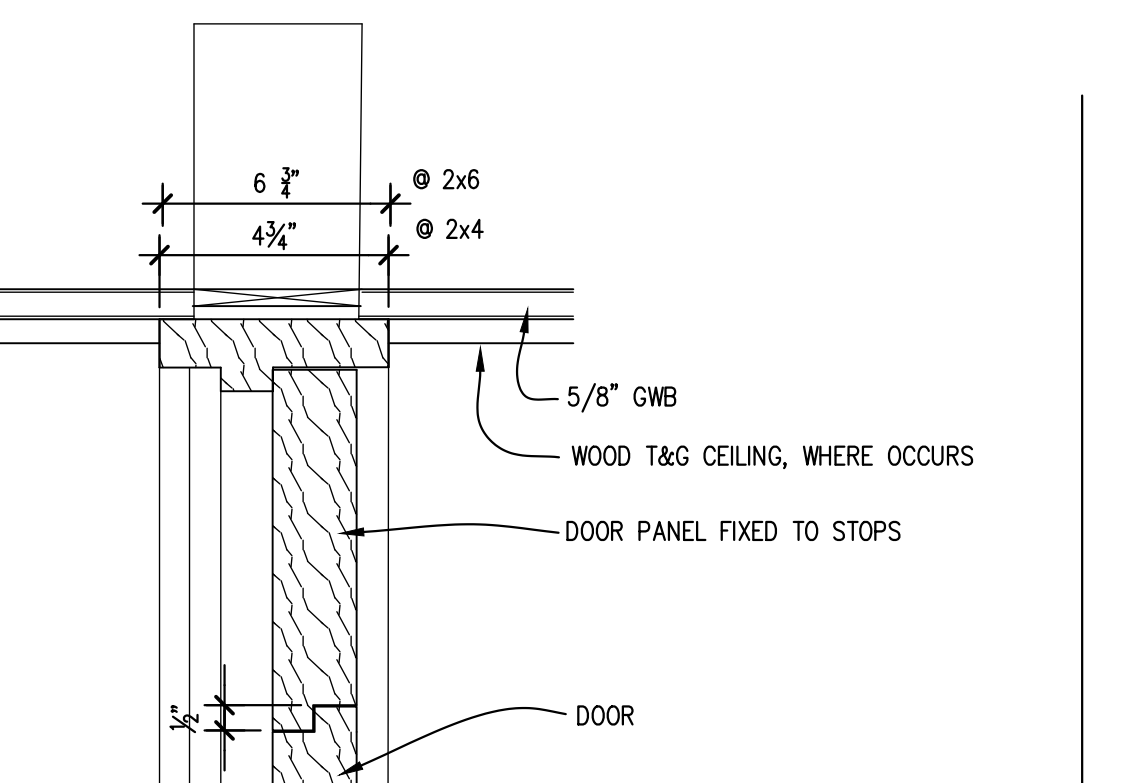
26 JAMB
3" = 1'-0"



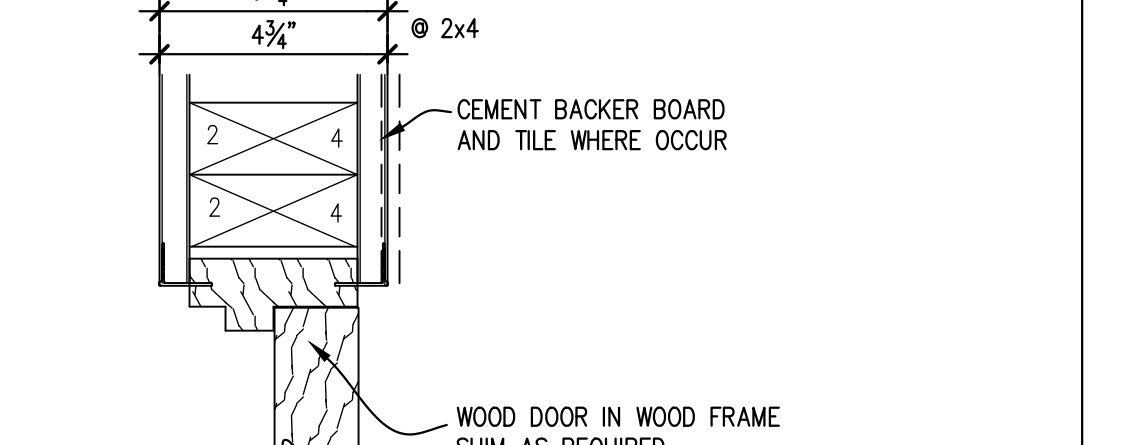
27 HEAD
3" = 1'-0"



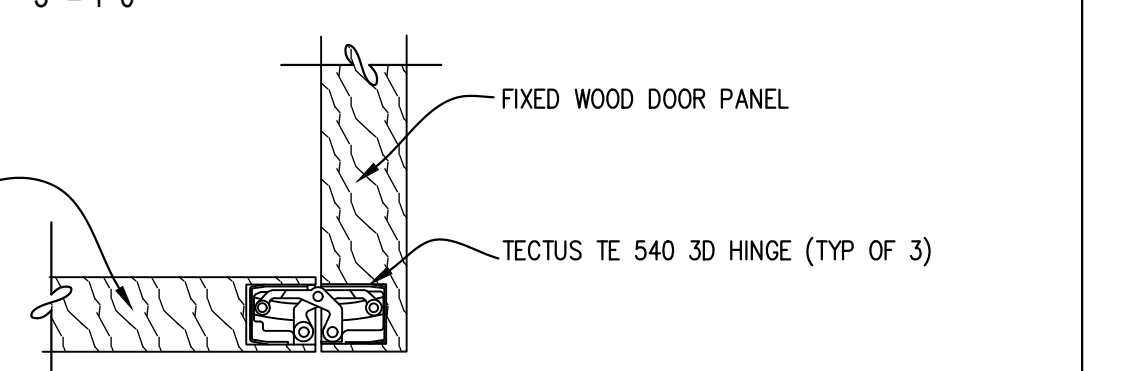
28 SILL
3" = 1'-0"



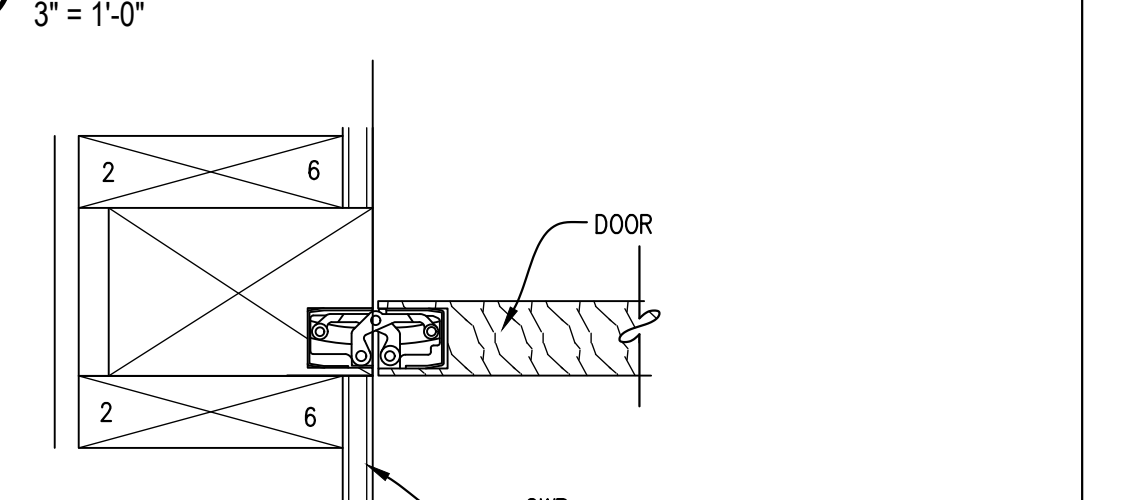
14 HEAD
3" = 1'-0"



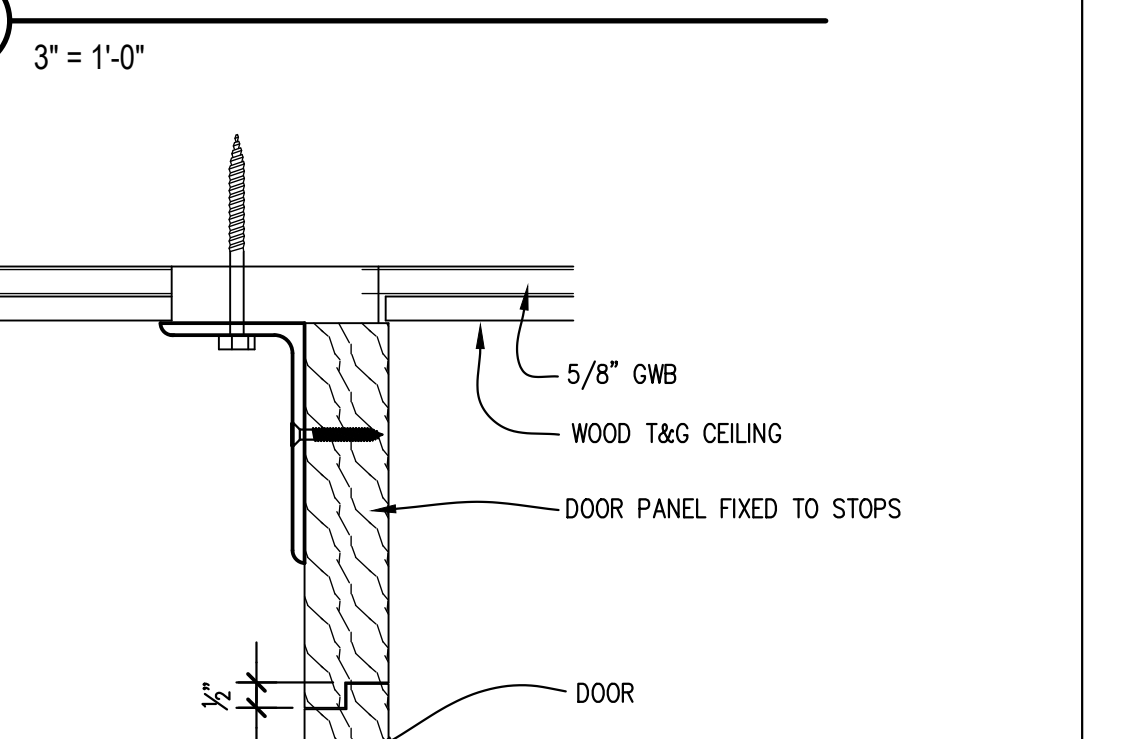
15 JAMB
3" = 1'-0"



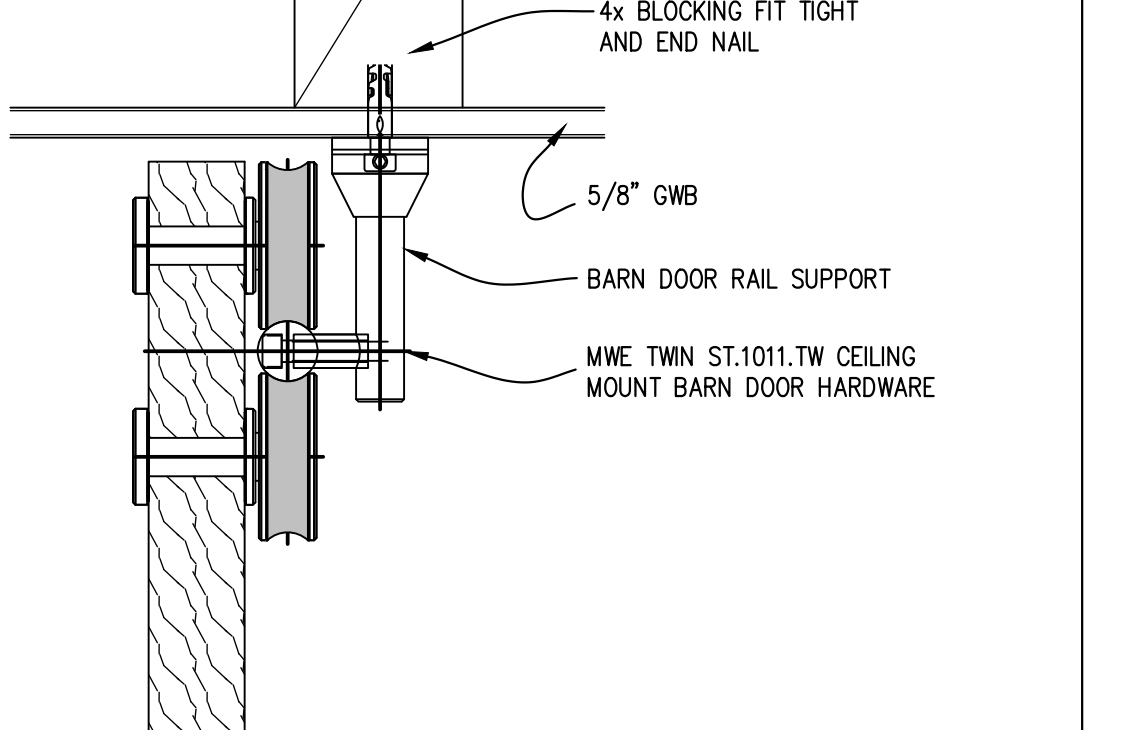
16 JAMB
3" = 1'-0"



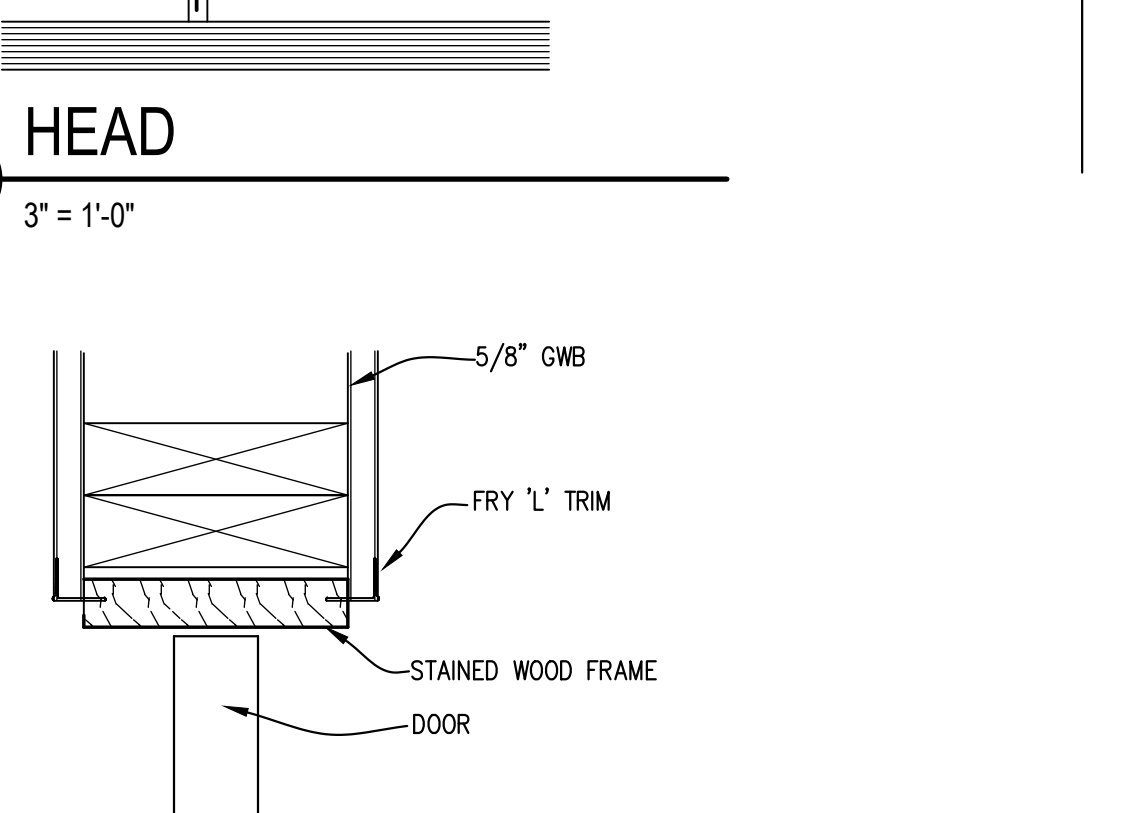
17 JAMB
3" = 1'-0"



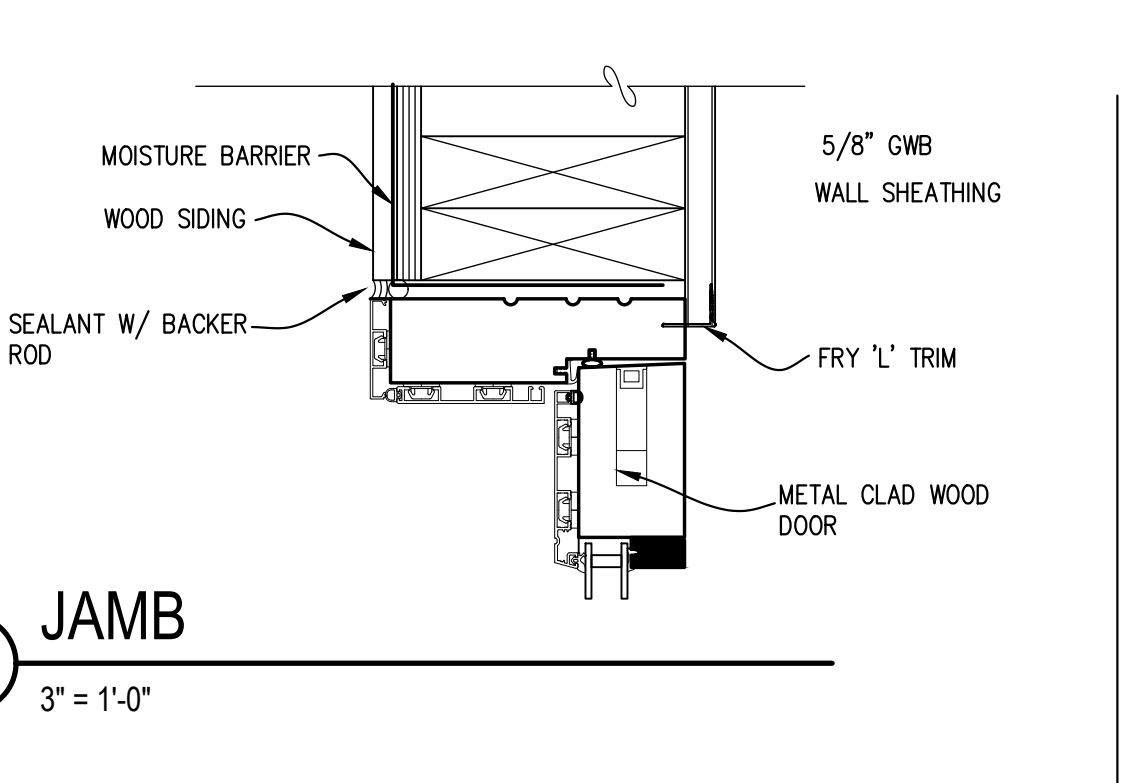
18 HEAD
3" = 1'-0"



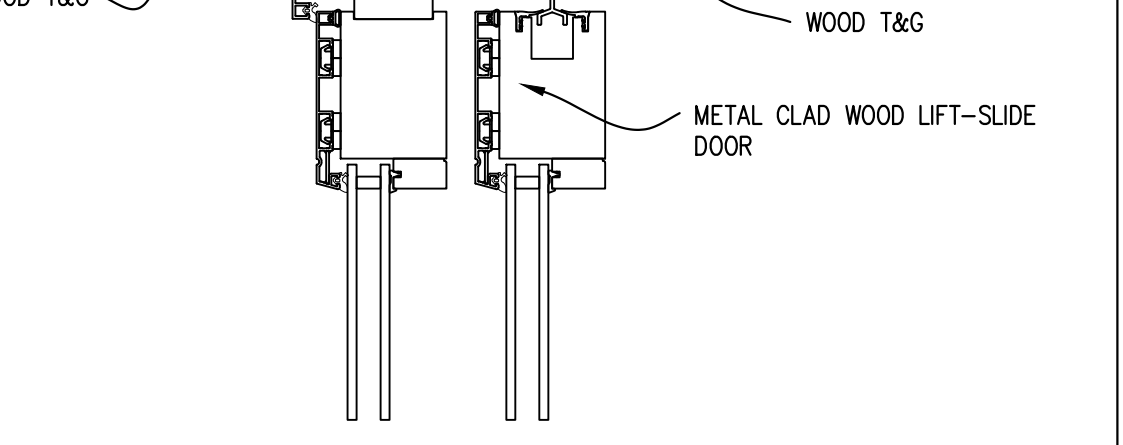
19 HEAD
3" = 1'-0"



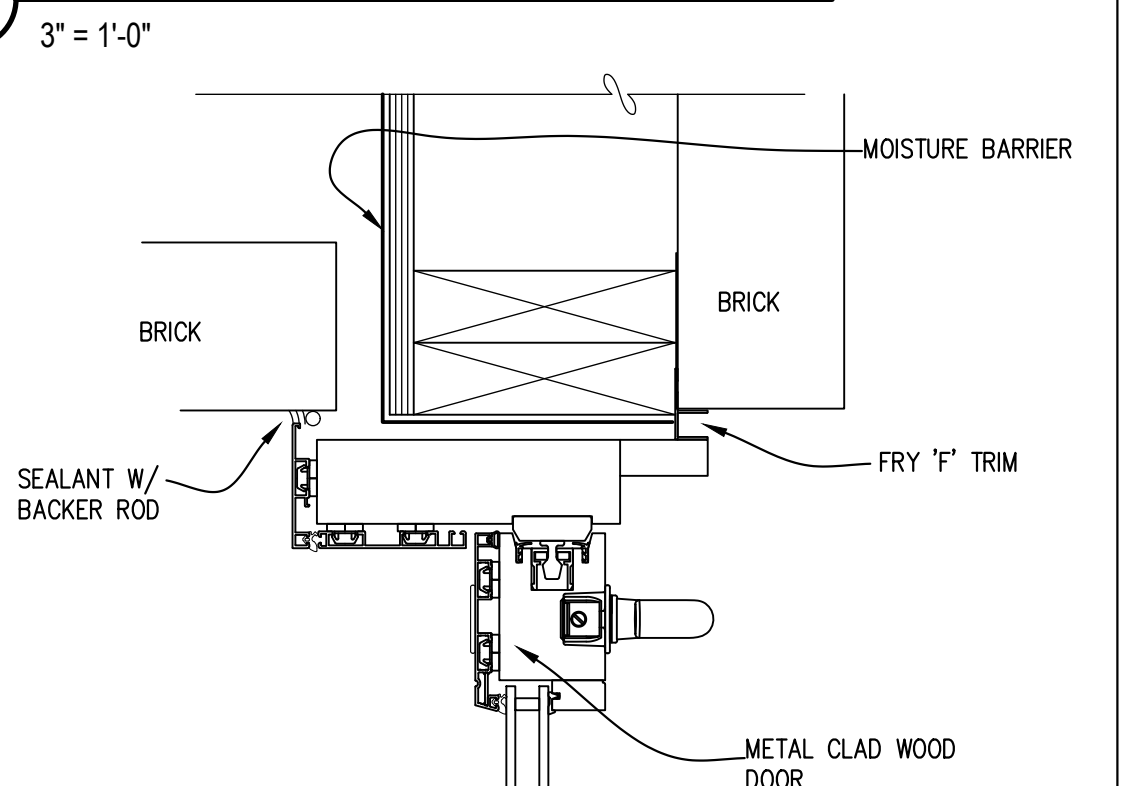
20 JAMB
3" = 1'-0"



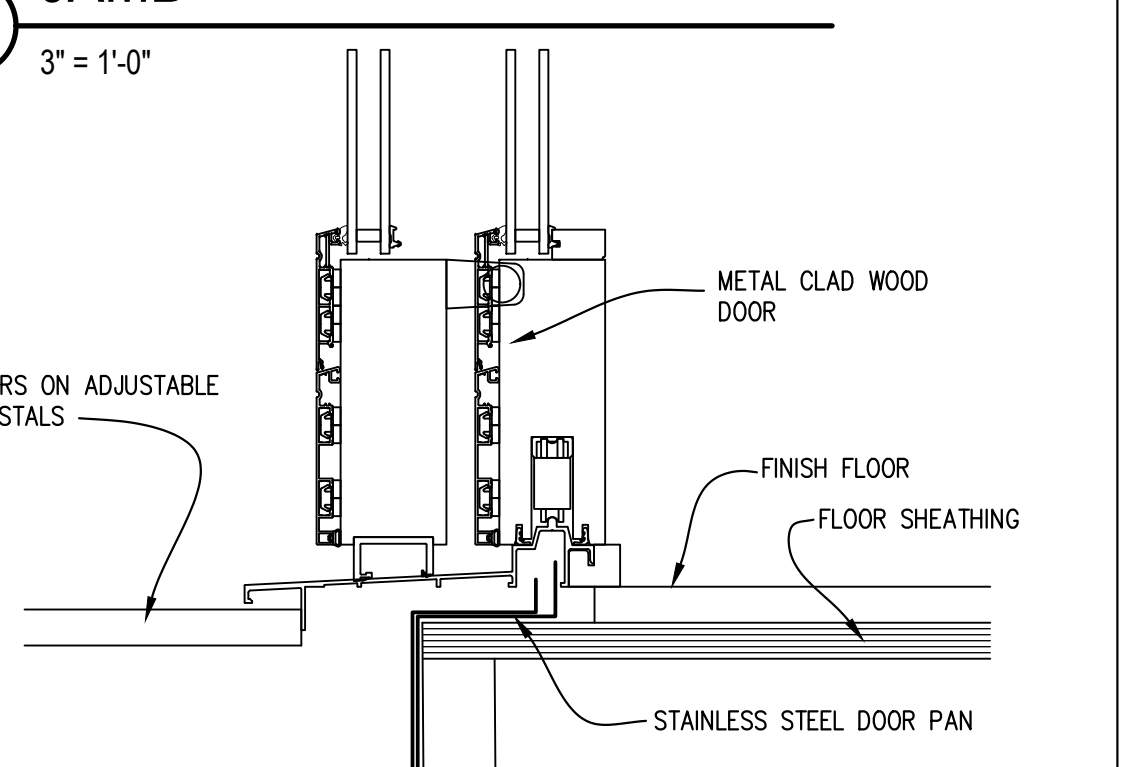
8 JAMB
3" = 1'-0"



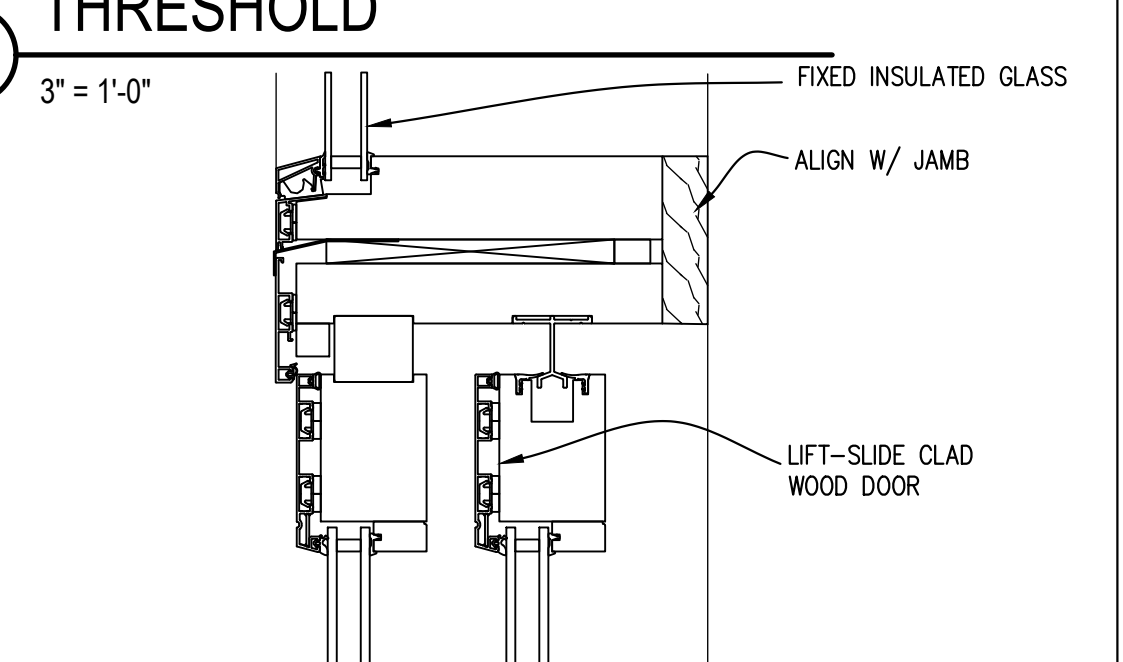
9 HEAD
3" = 1'-0"



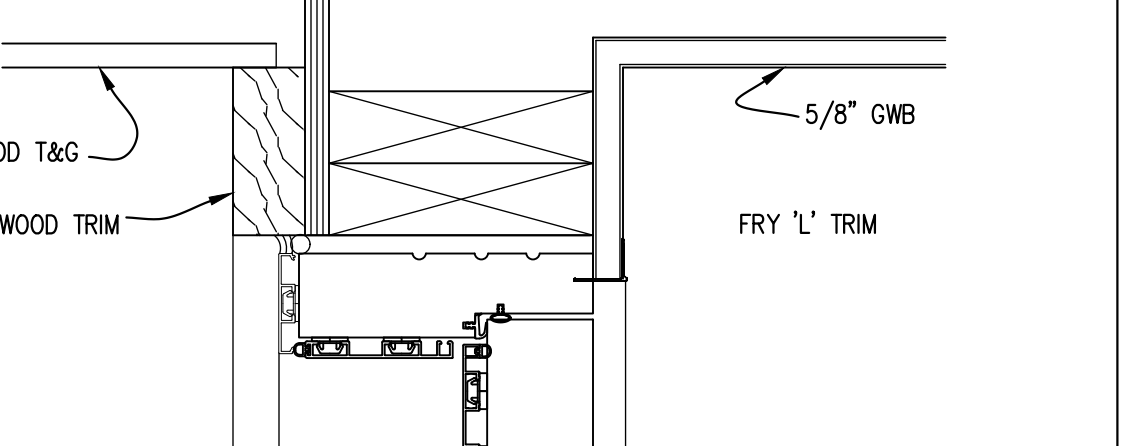
10 JAMB
3" = 1'-0"



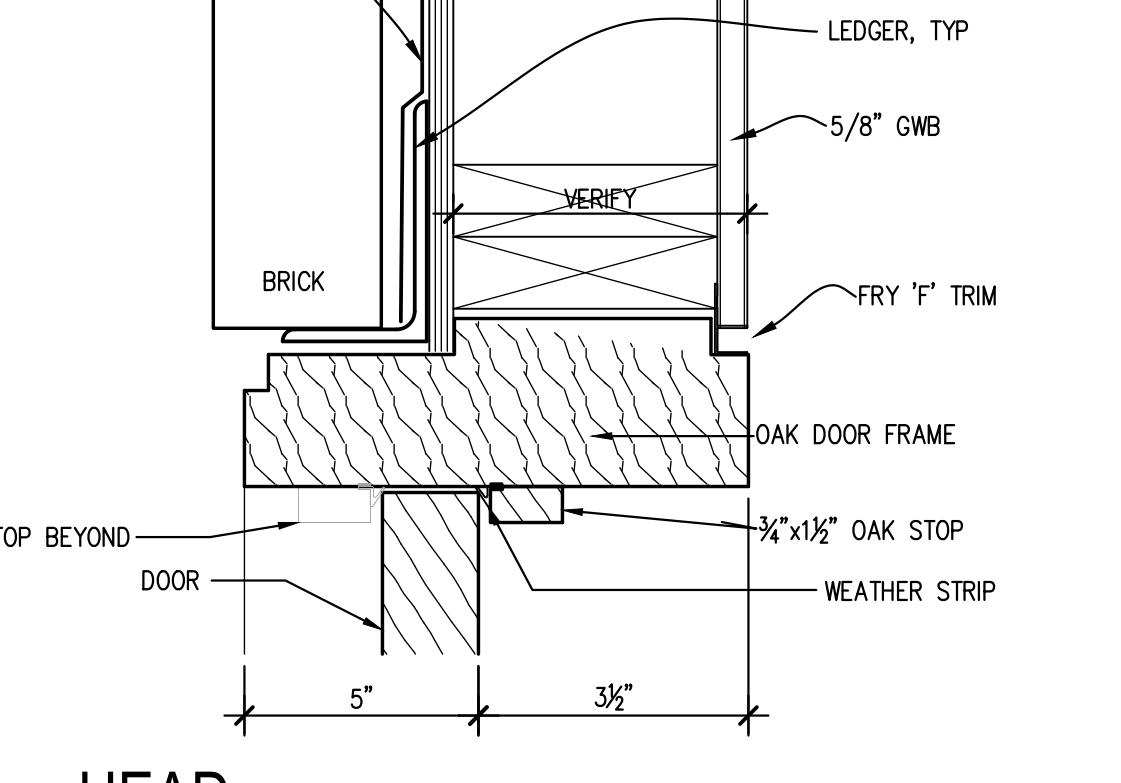
11 THRESHOLD
3" = 1'-0"



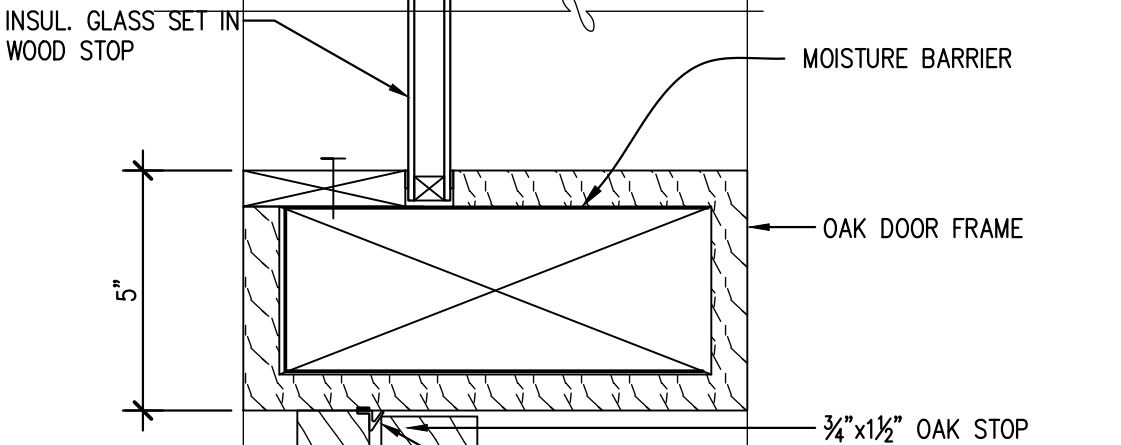
12 HEAD
3" = 1'-0"



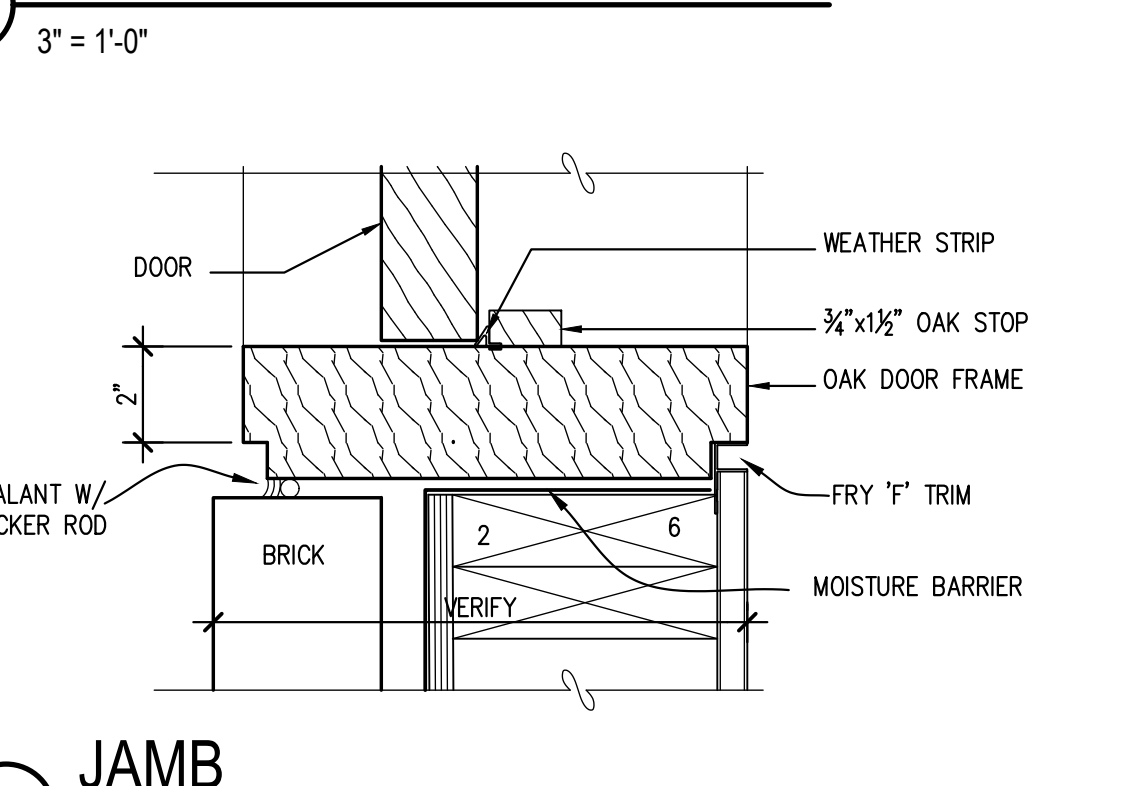
13 HEAD/JAMB SIM.
3" = 1'-0"



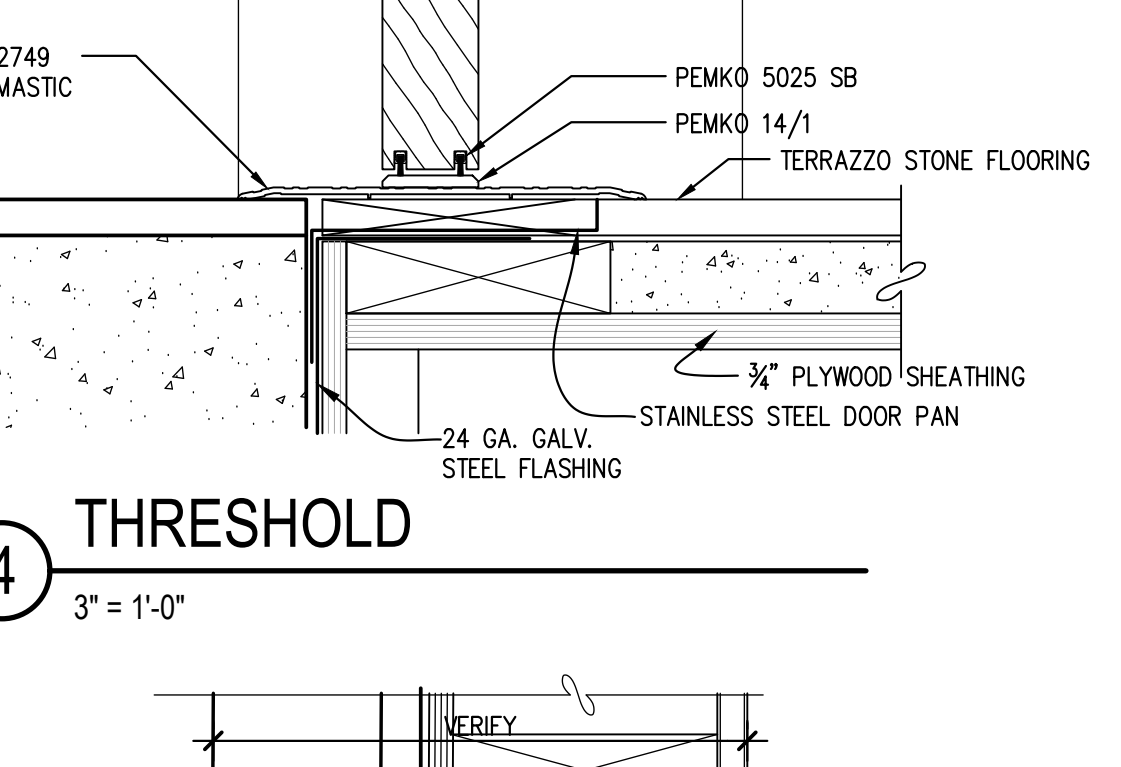
1 HEAD
3" = 1'-0"



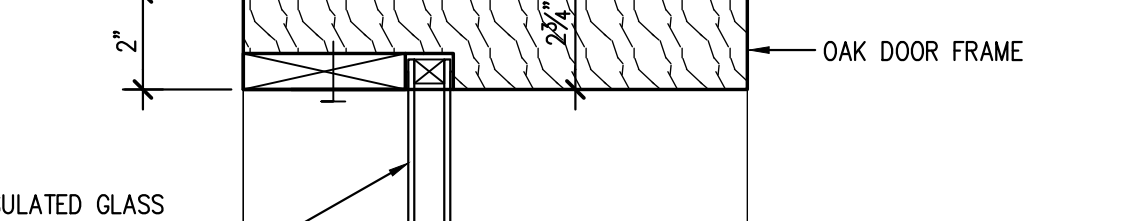
2 JAMB
3" = 1'-0"



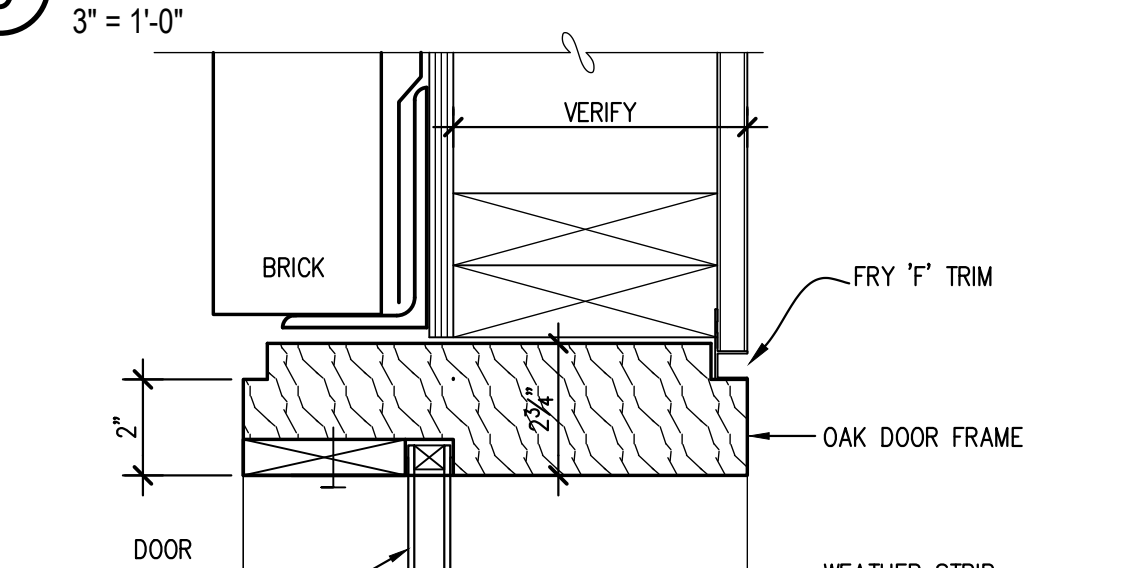
3 JAMB
3" = 1'-0"



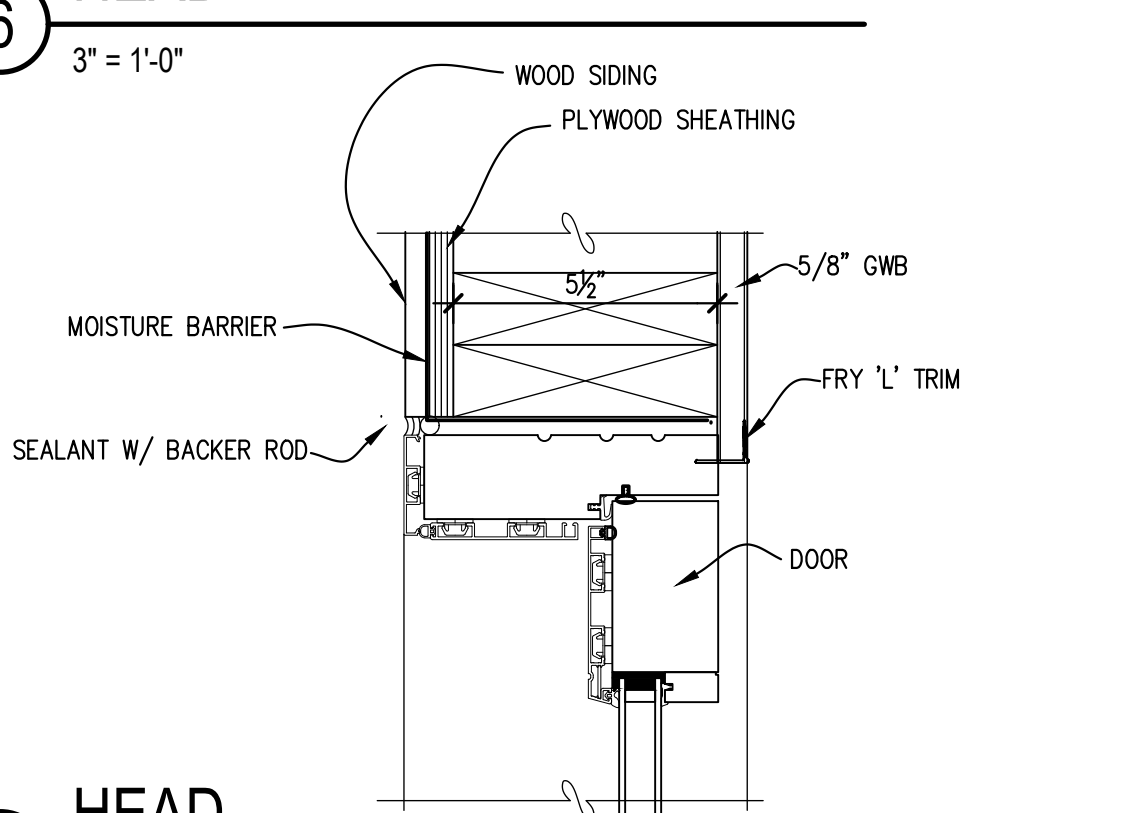
4 THRESHOLD
3" = 1'-0"



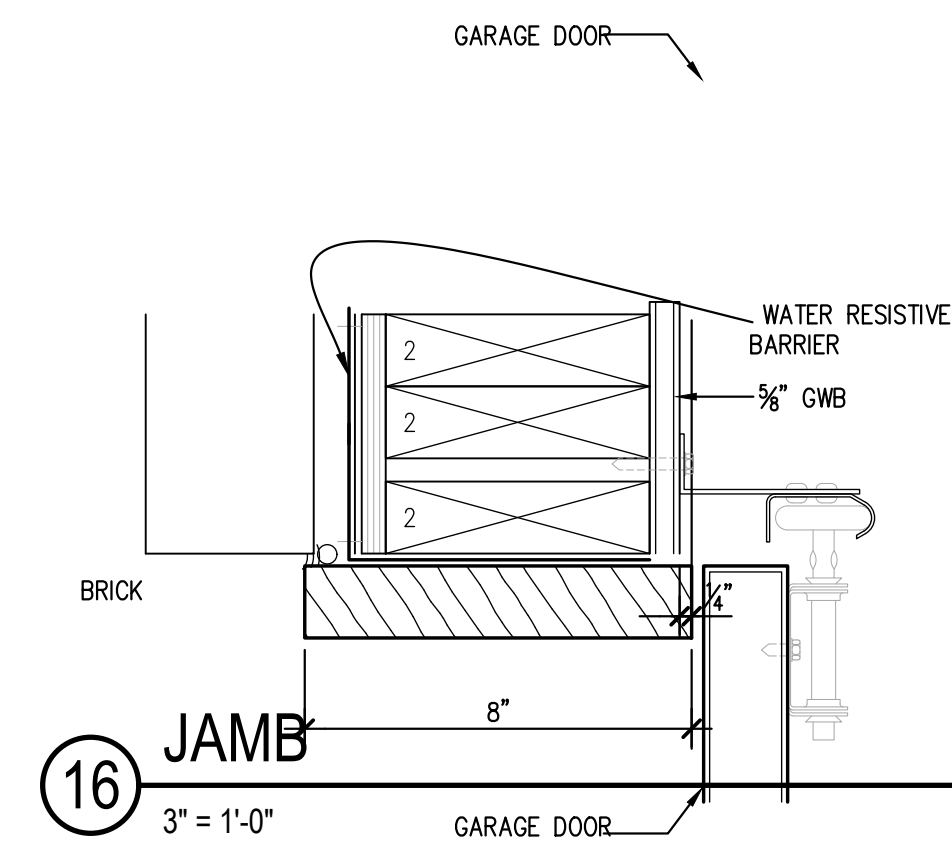
5 JAMB
3" = 1'-0"



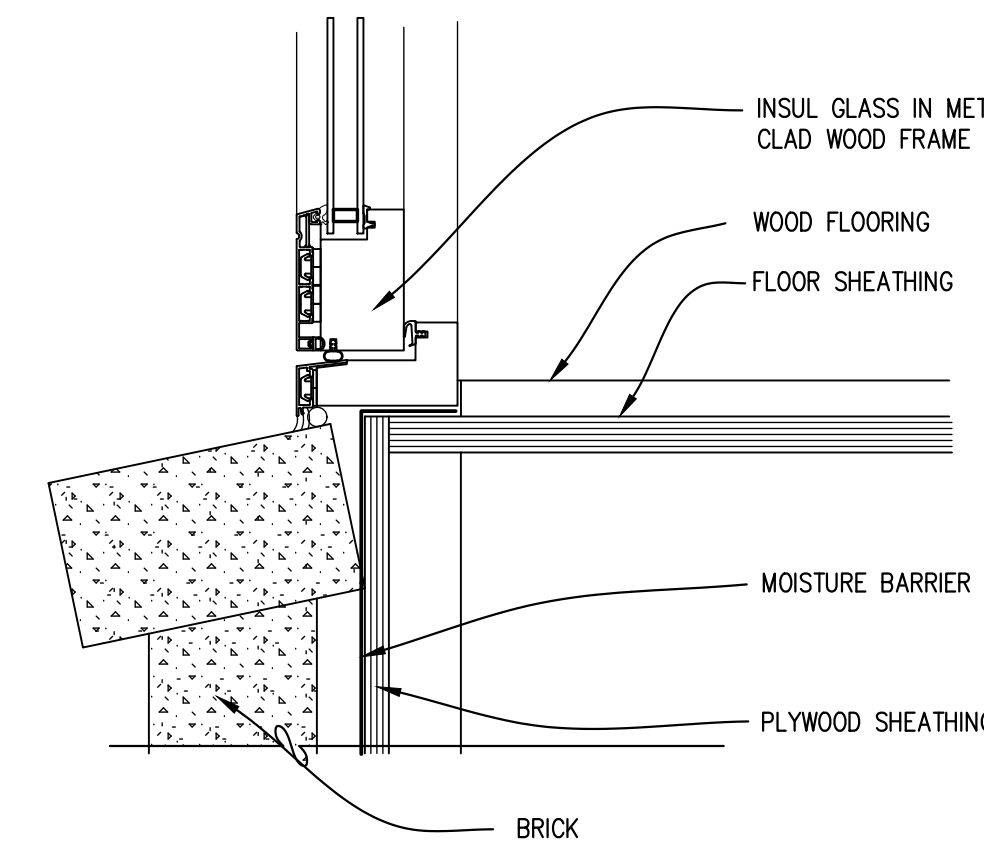
6 HEAD
3" = 1'-0"



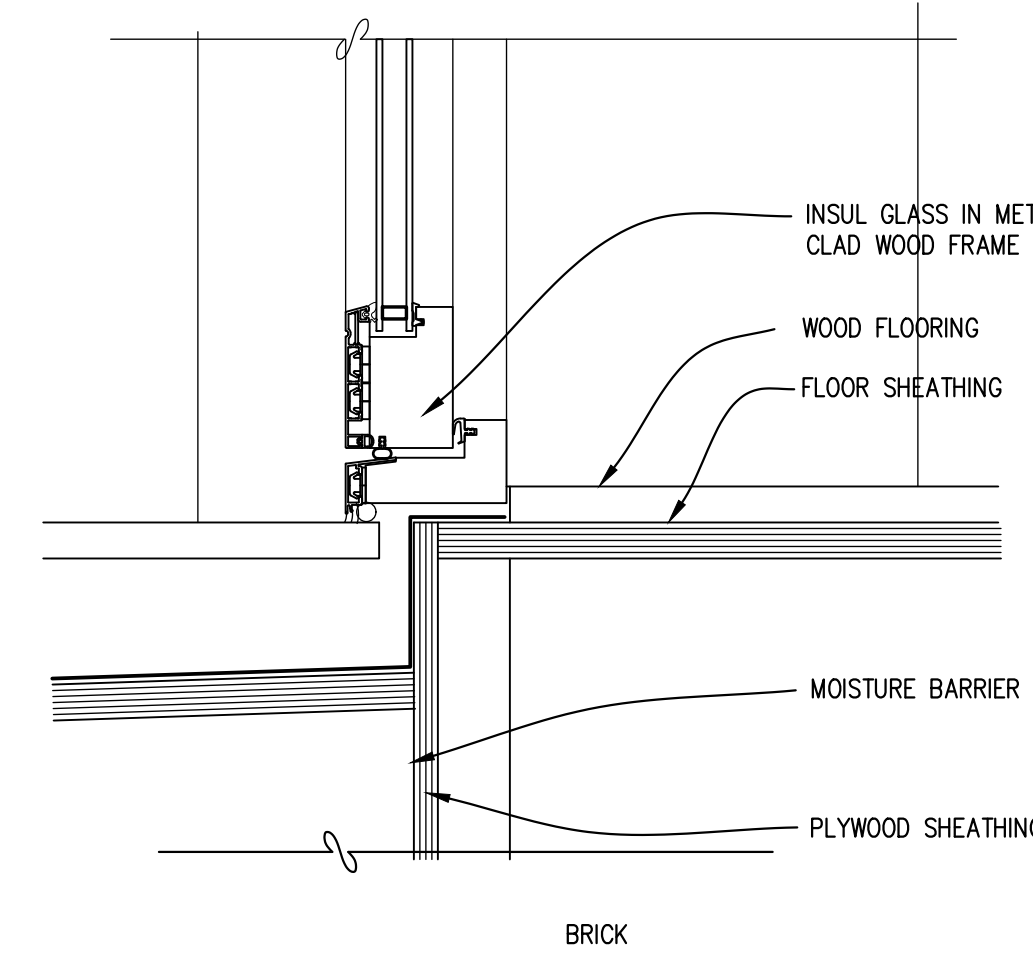
7 HEAD
3" = 1'-0"



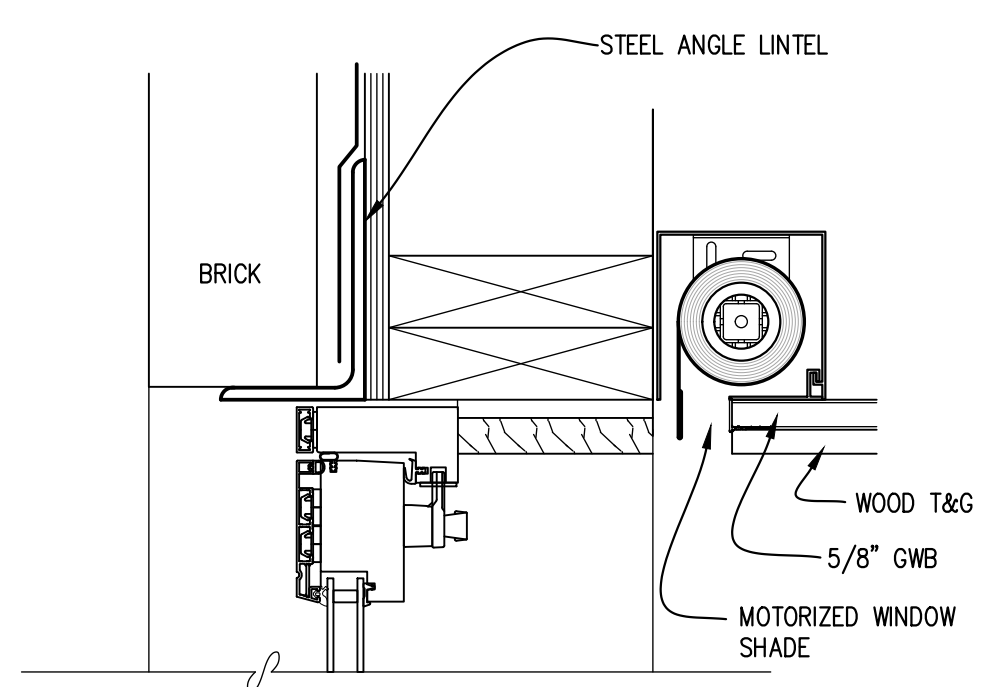
11 HEAD
3" = 1'-0"



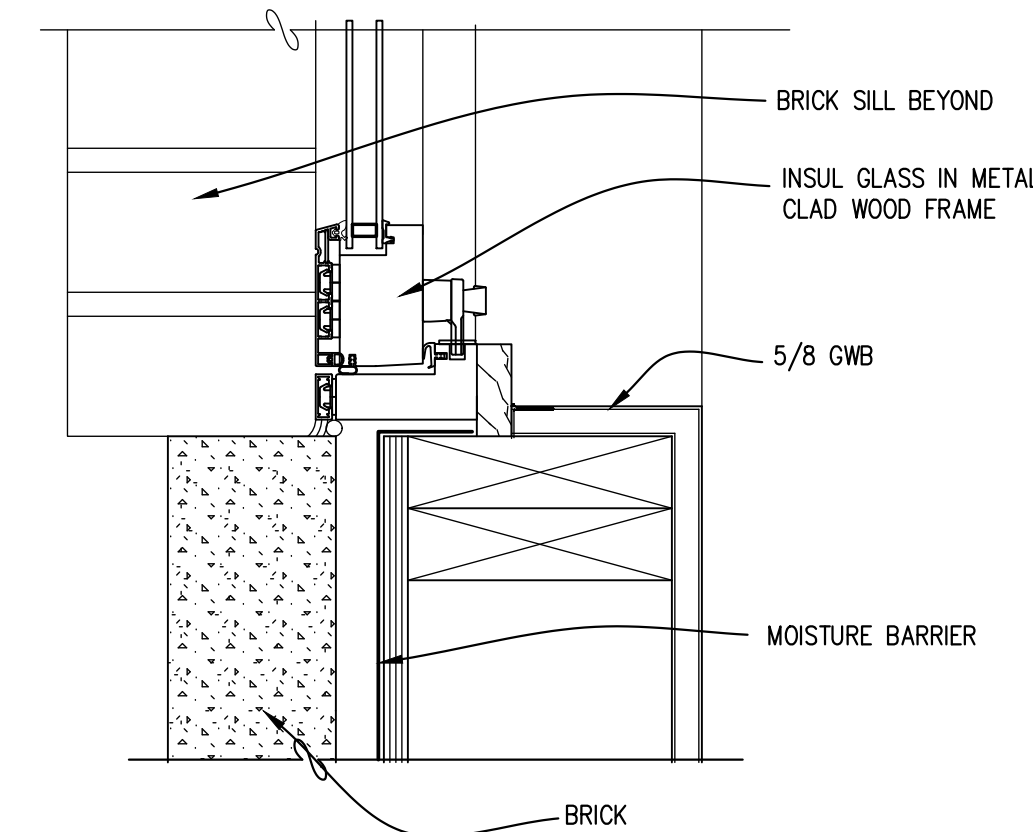
12 SILL
3" = 1'-0"



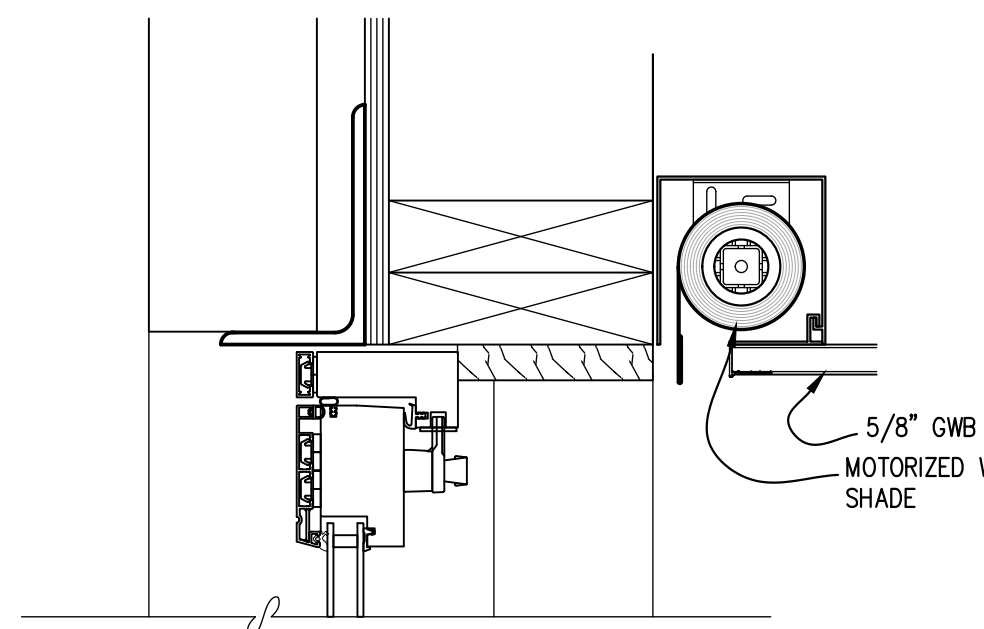
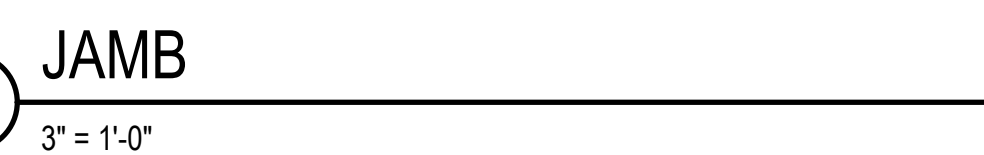
13 SILL
3" = 1'-0"



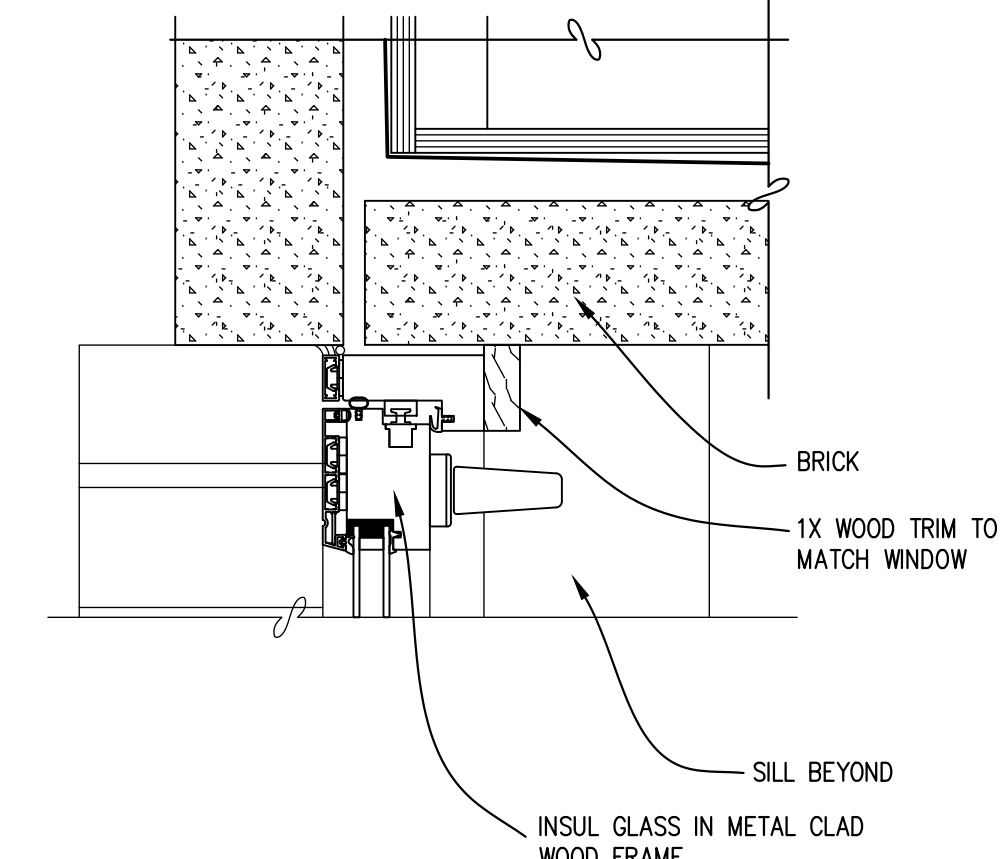
14 HEAD
3" = 1'-0"



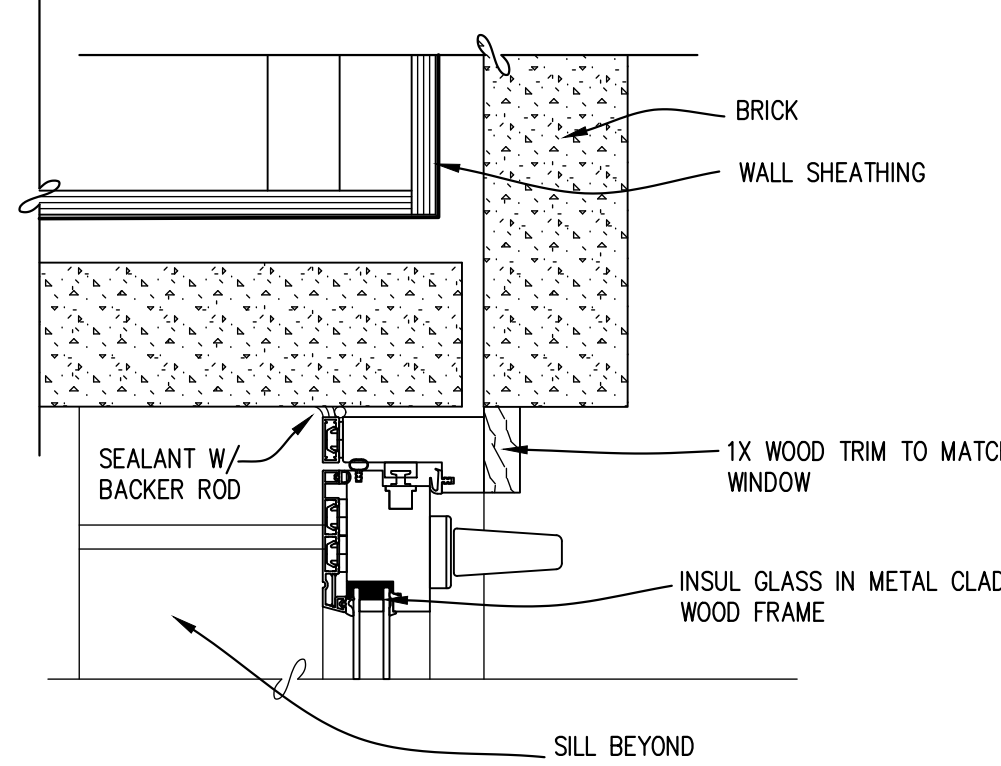
15 JAMB
3" = 1'-0"



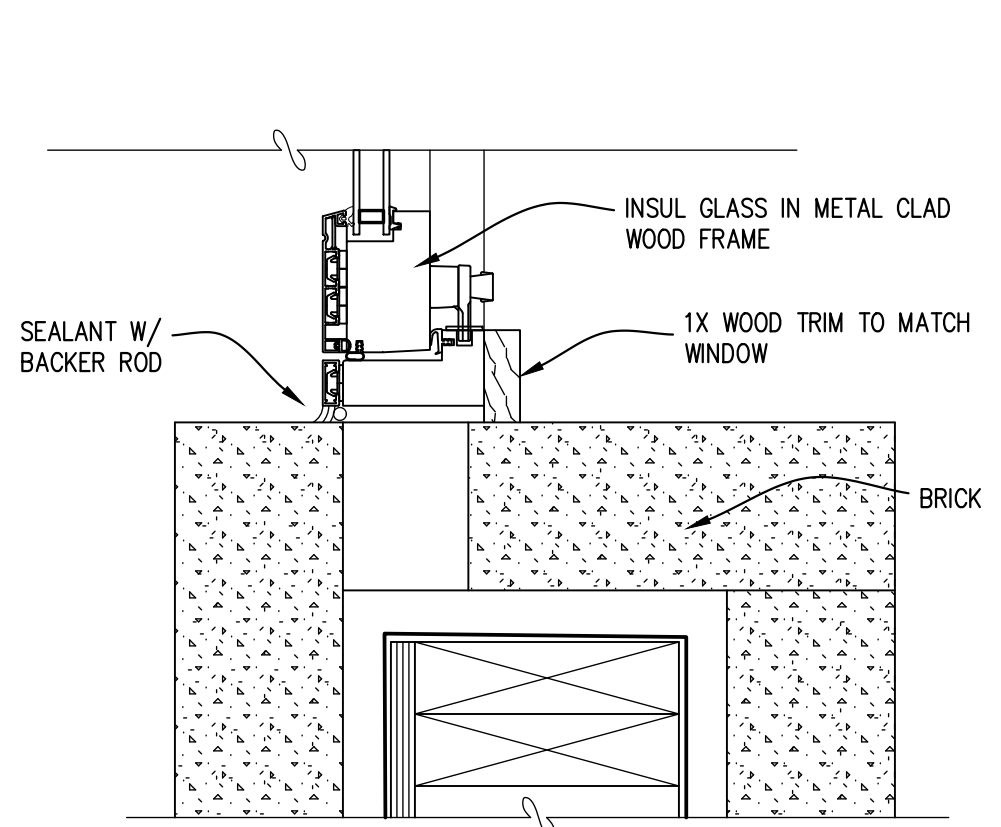
6 HEAD
3" = 1'-0"



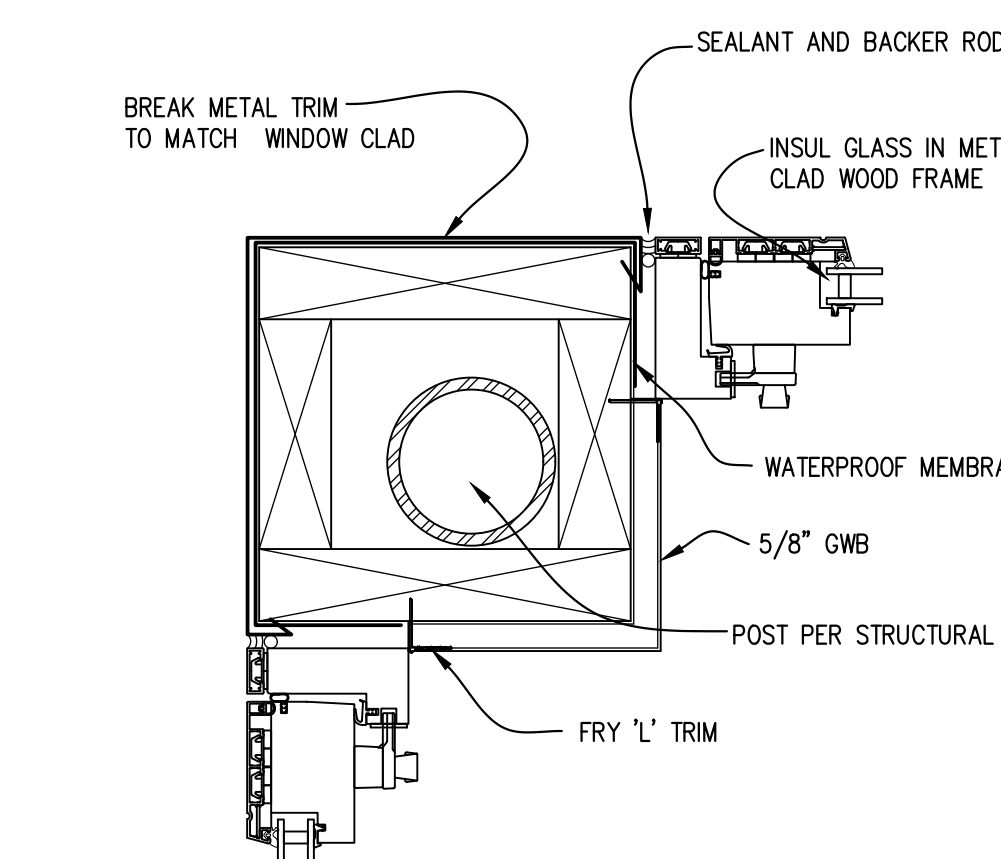
7 JAMB
3" = 1'-0"



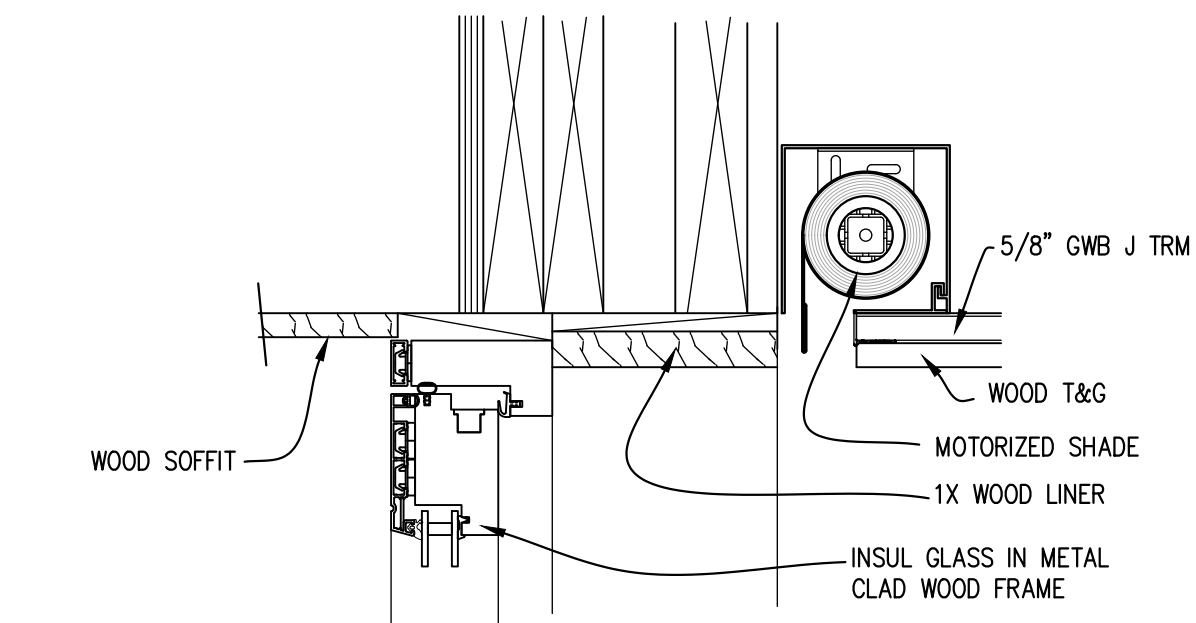
8 JAMB
3" = 1'-0"



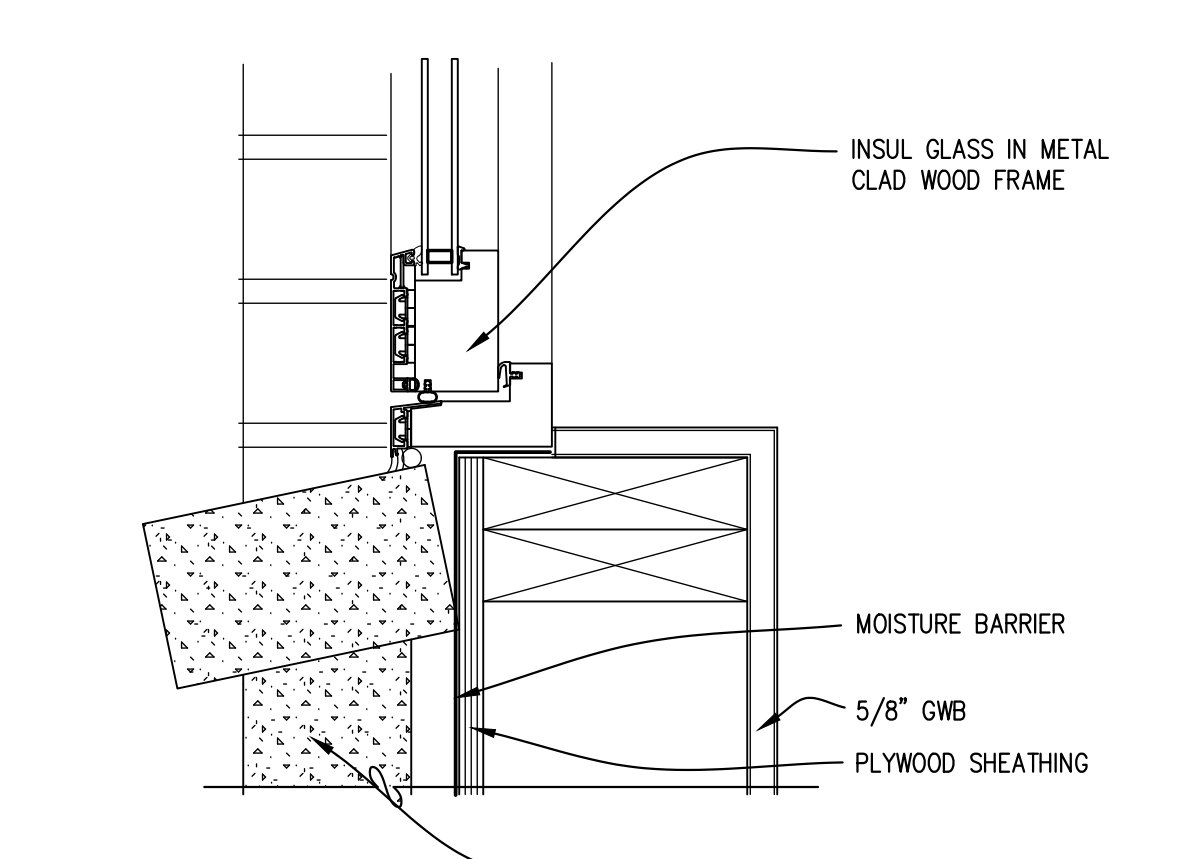
9 JAMB
3" = 1'-0"



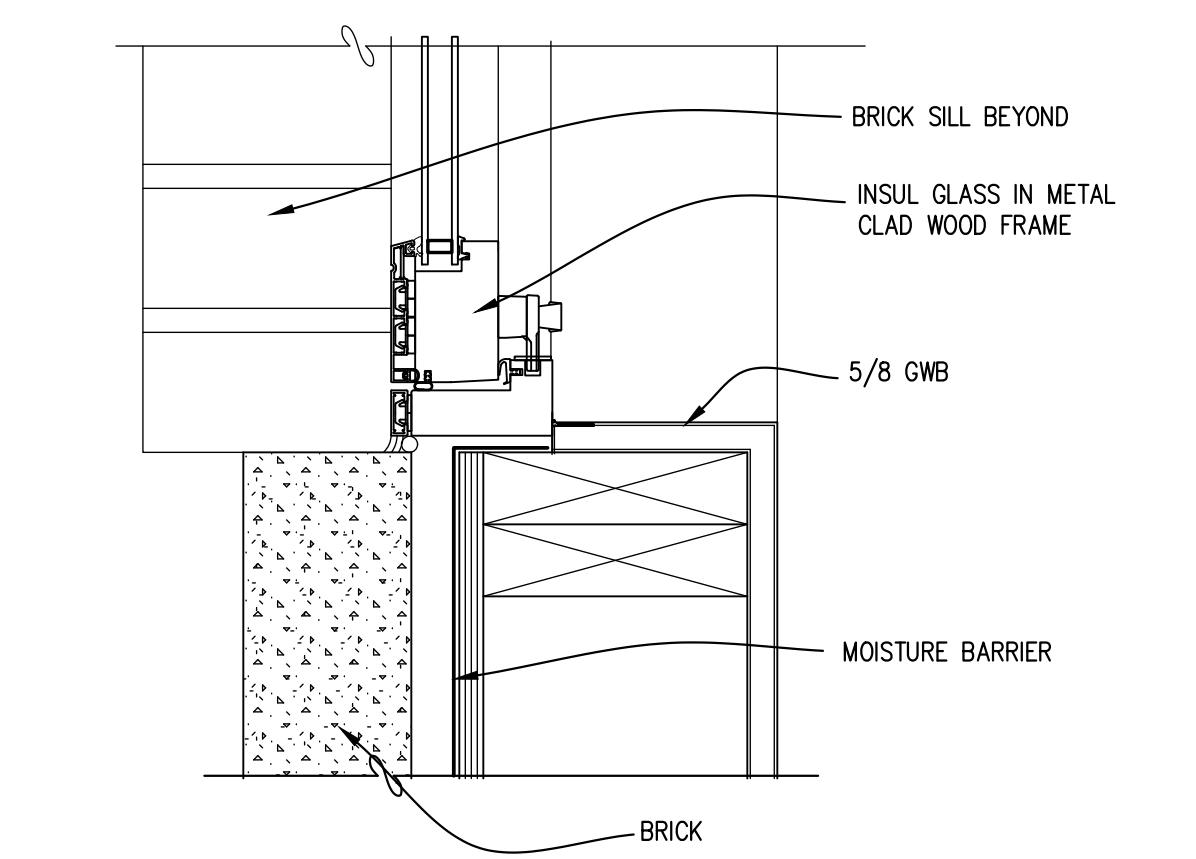
10 JAMB
3" = 1'-0"



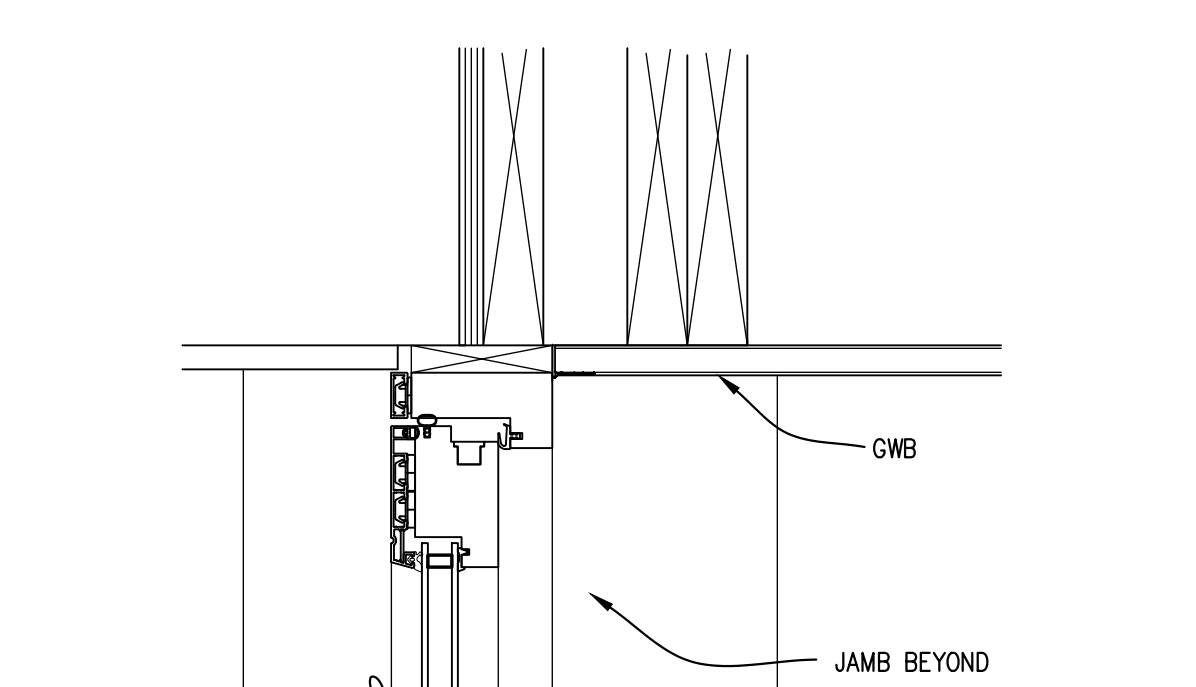
1 HEAD
3" = 1'-0"



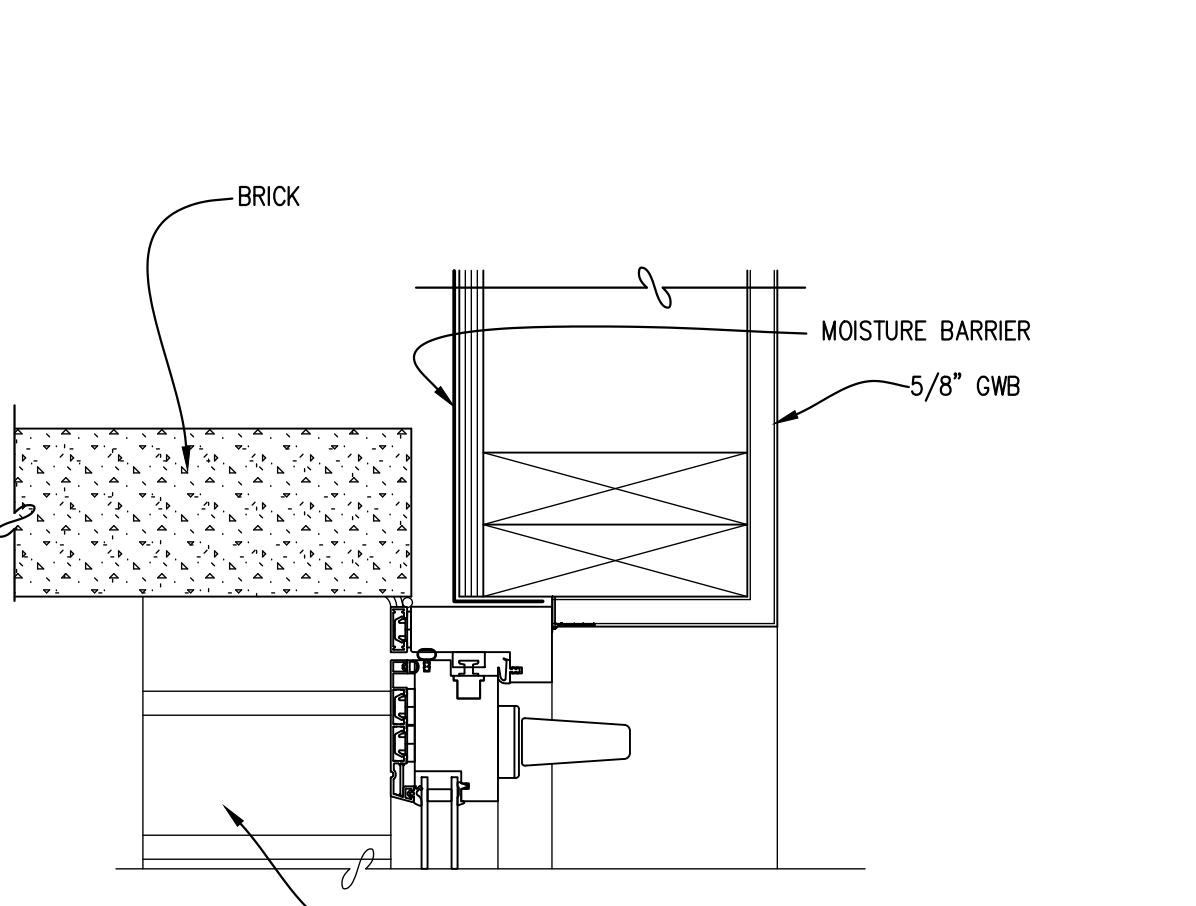
2 SILL
3" = 1'-0"



3 JAMB
3" = 1'-0"

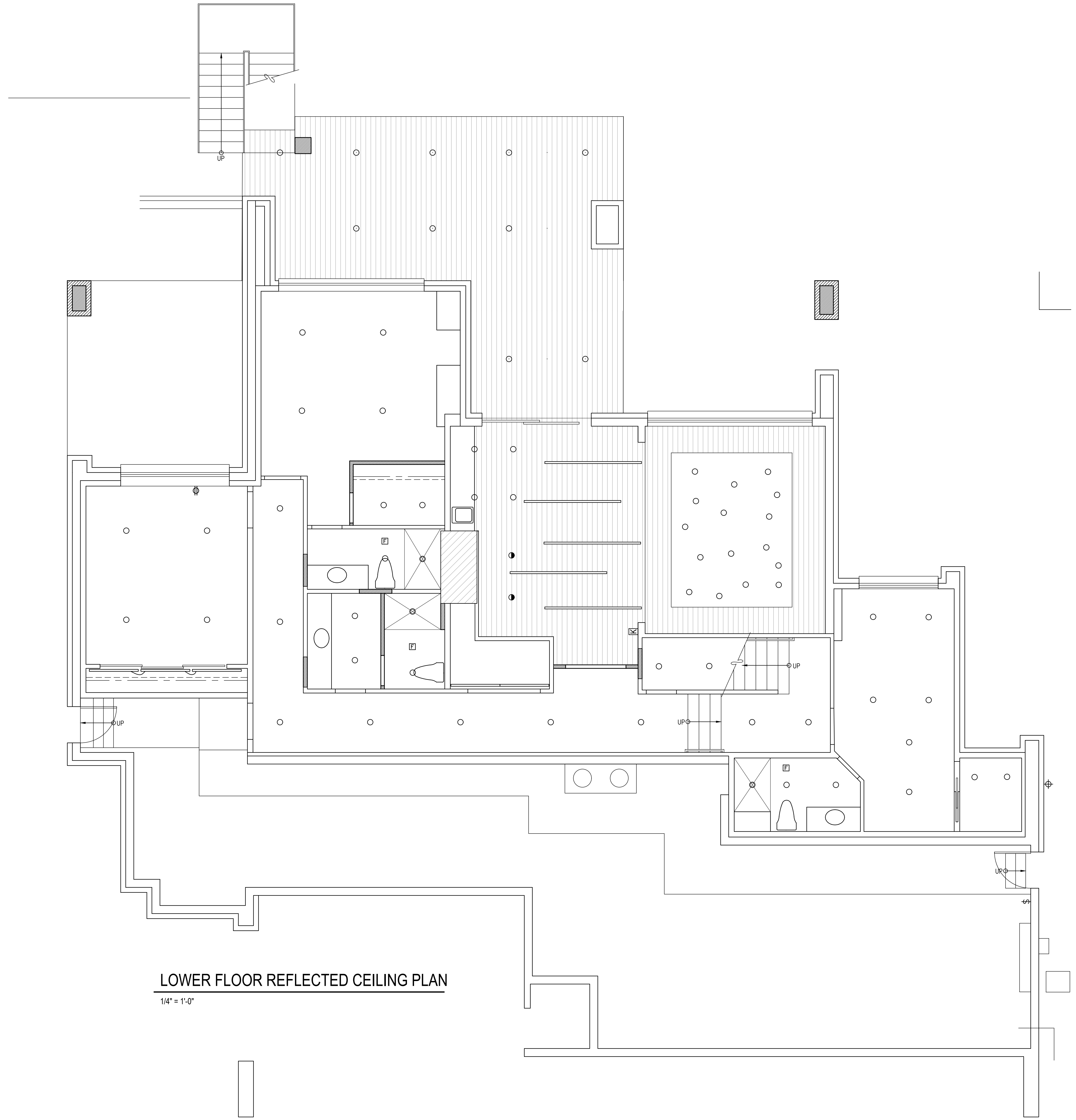


4 HEAD
3" = 1'-0"



5 JAMB
3" = 1'-0"





LOWER FLOOR REFLECTED CEILING PLAN
 1/4" = 1'-0"

Xref C:\Users\Eric\Desktop\X-GRID.dwg

9/28/23 PRICING SET		
No.	Date	Revision

Xref C:\Users\Eric\Desktop\X-GRID.dwg



MAIN FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"

HONG AND KAO RESIDENCE
5425 W. MERCER WAY
MERCER ISLAND, WA 98040

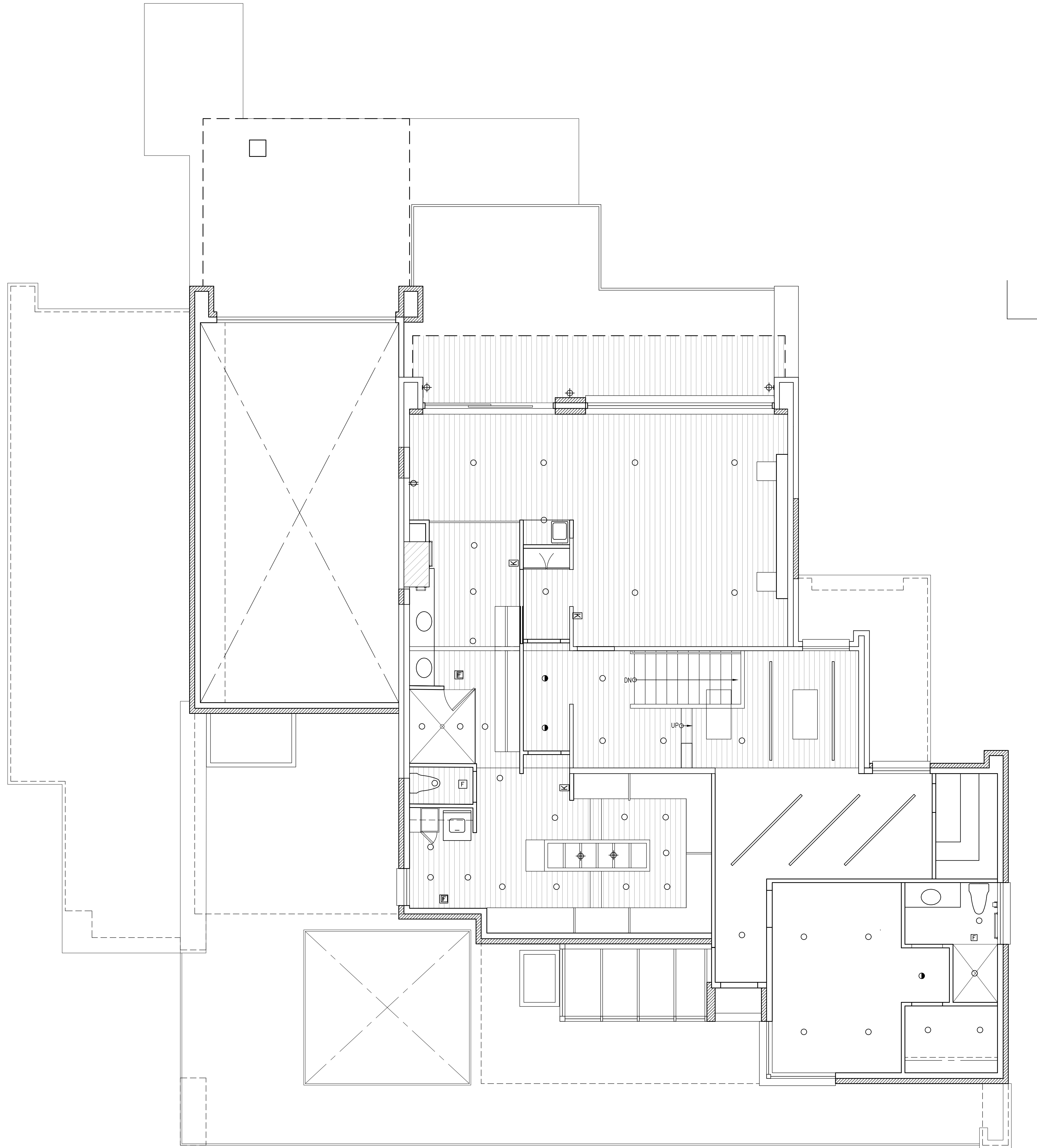
MAIN FLOOR
RCP

Sheet No. 4.7
Project No. 2222
Date: 9/8/23

9/28/23 PRICING SET
No. Date Revision

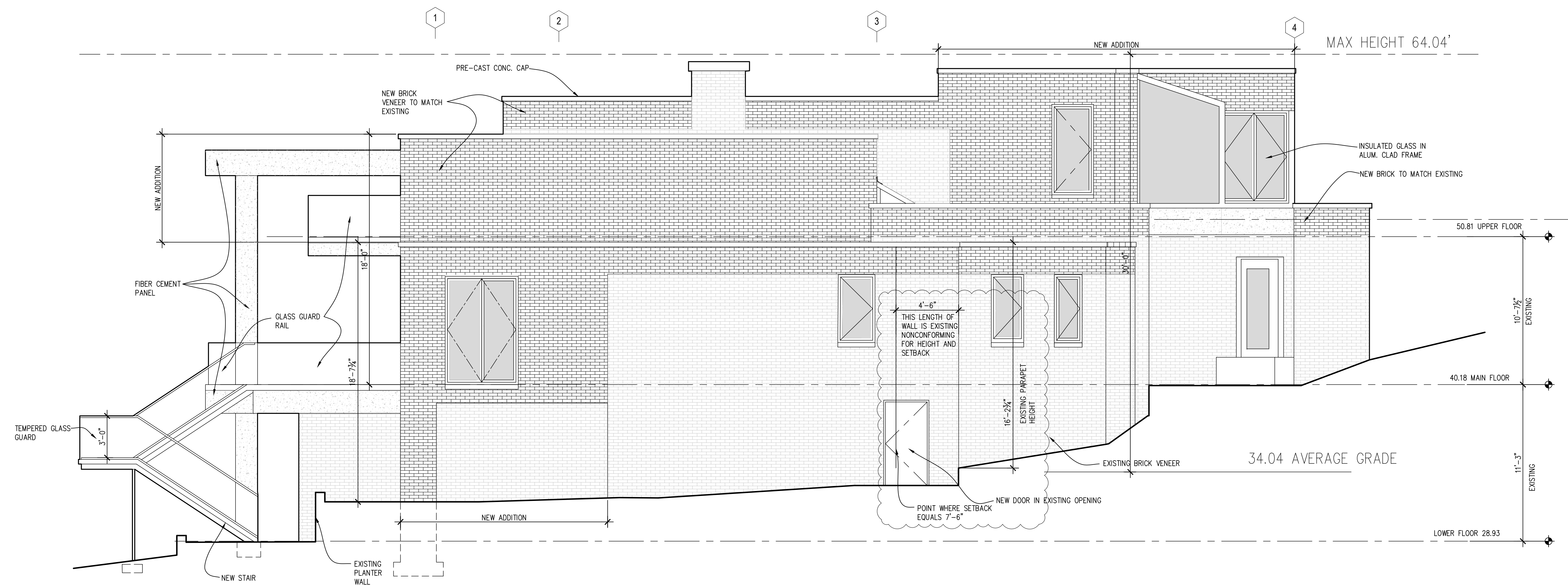
CHESMORE|BUCK
Architecture
27 100TH AVENUE NE, SUITE 100
BELLEVUE, WA 98004
FAX: 425-679-0804
PHONE: 425-679-0907

Xref C:\Users\Eric\Desktop\X-GRID.dwg



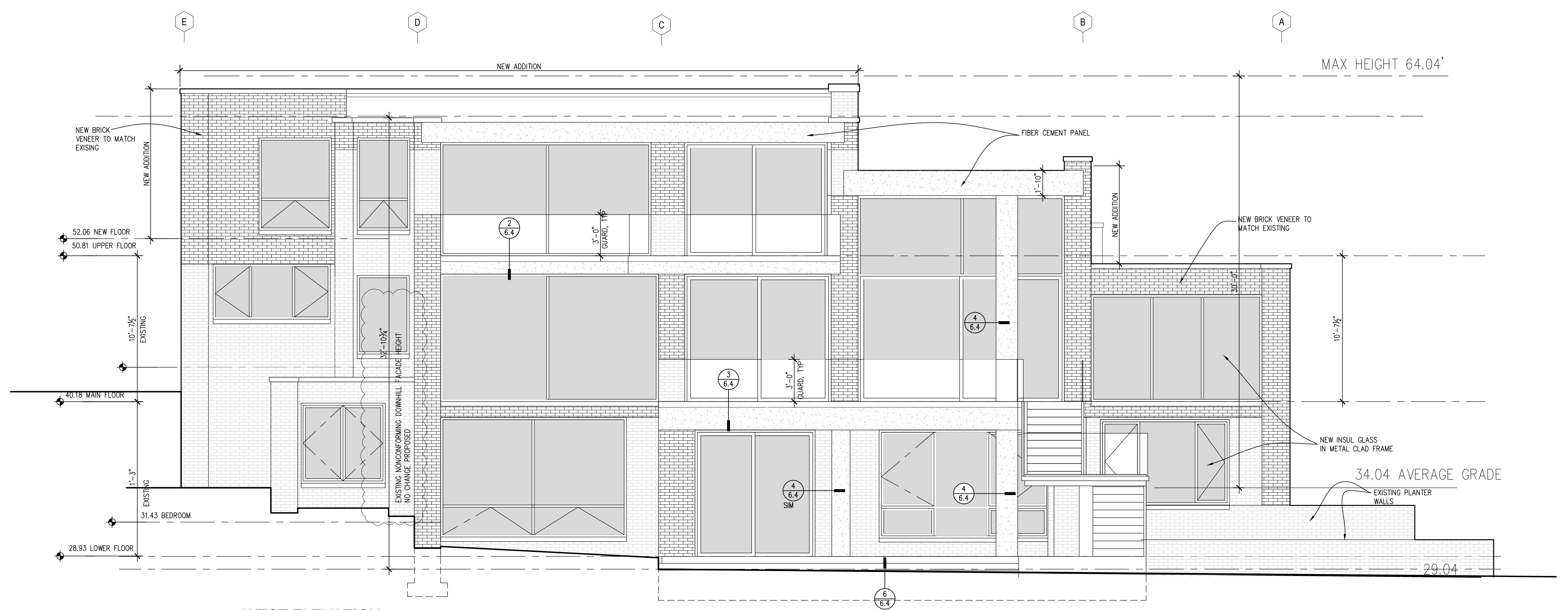
UPPER FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"



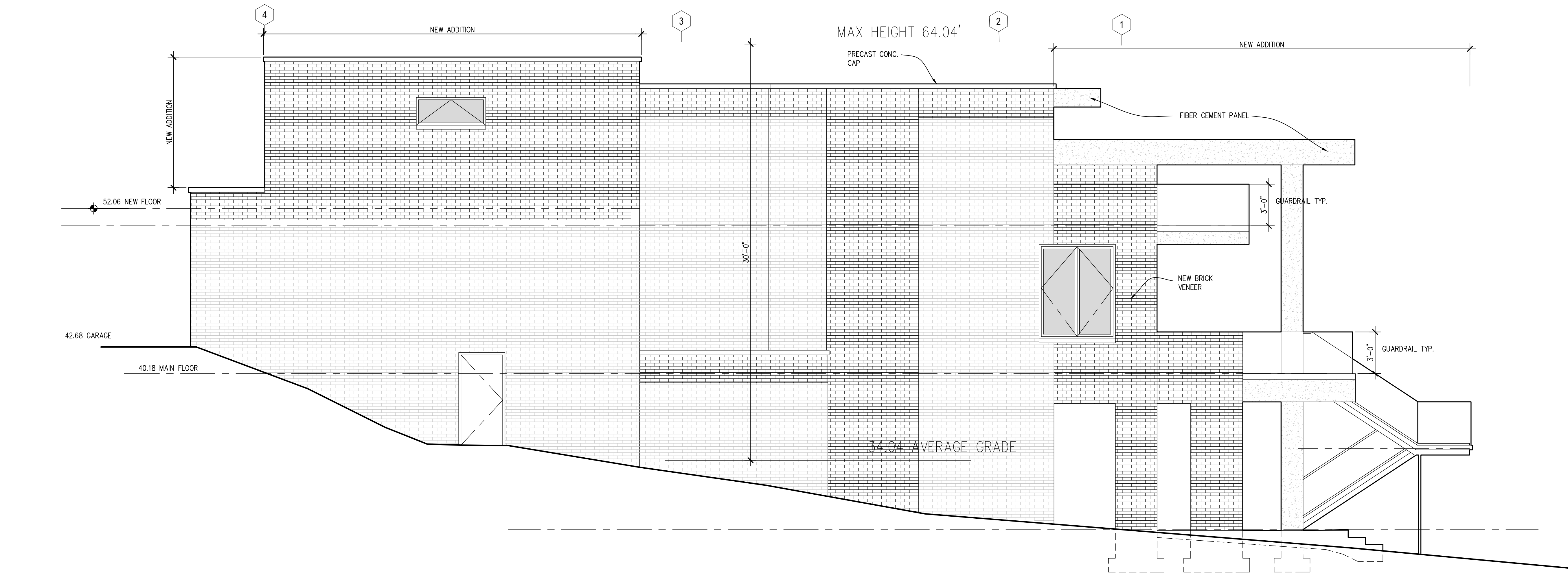
SOUTH ELEVATION

1/4" = 1'-0"



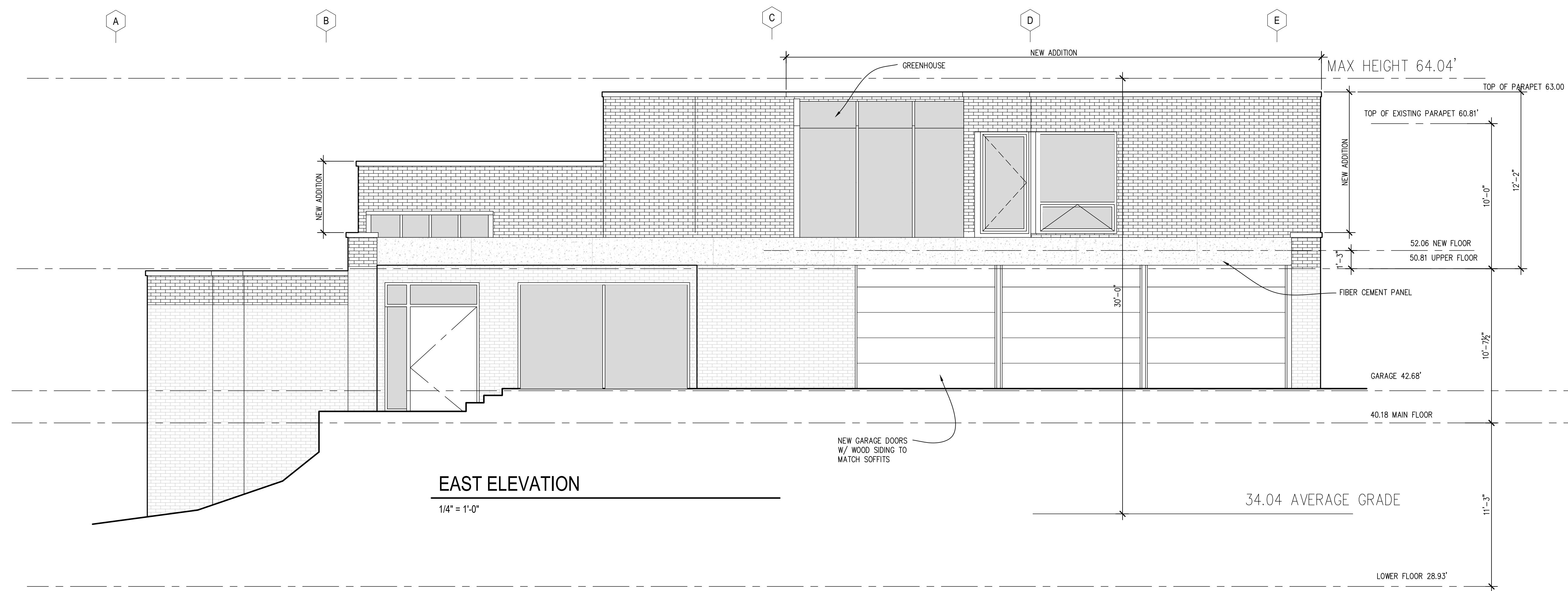
WEST ELEVATION

1/4" = 1'-0"



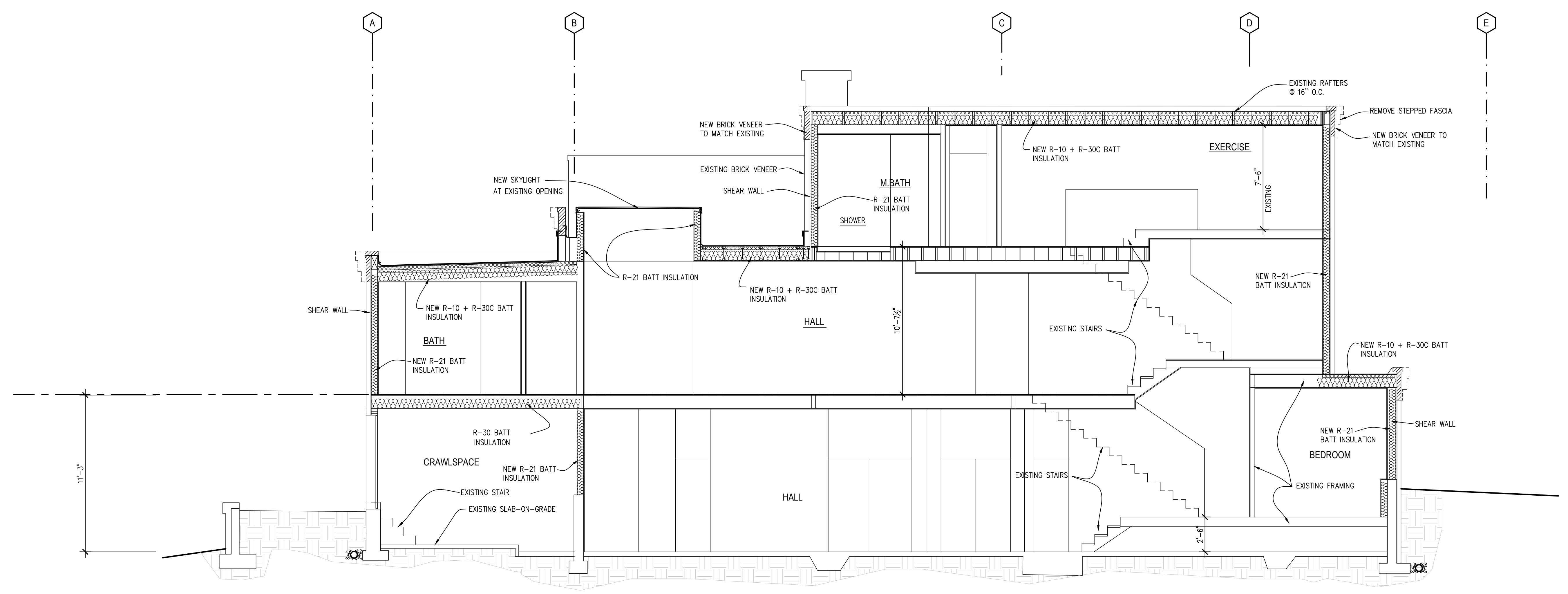
NORTH ELEVATION

1/4" = 1'-0"

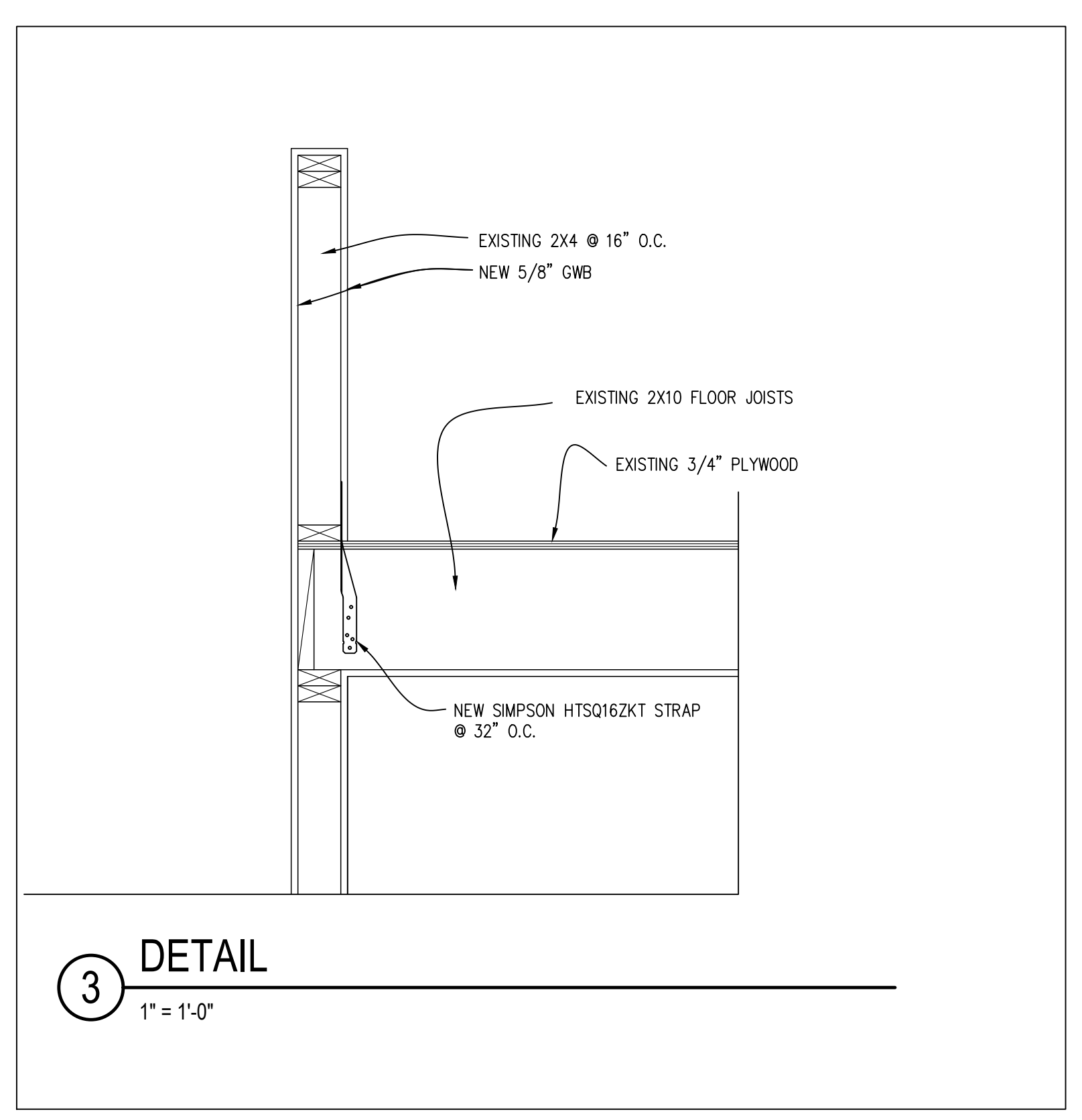


EAST ELEVATION

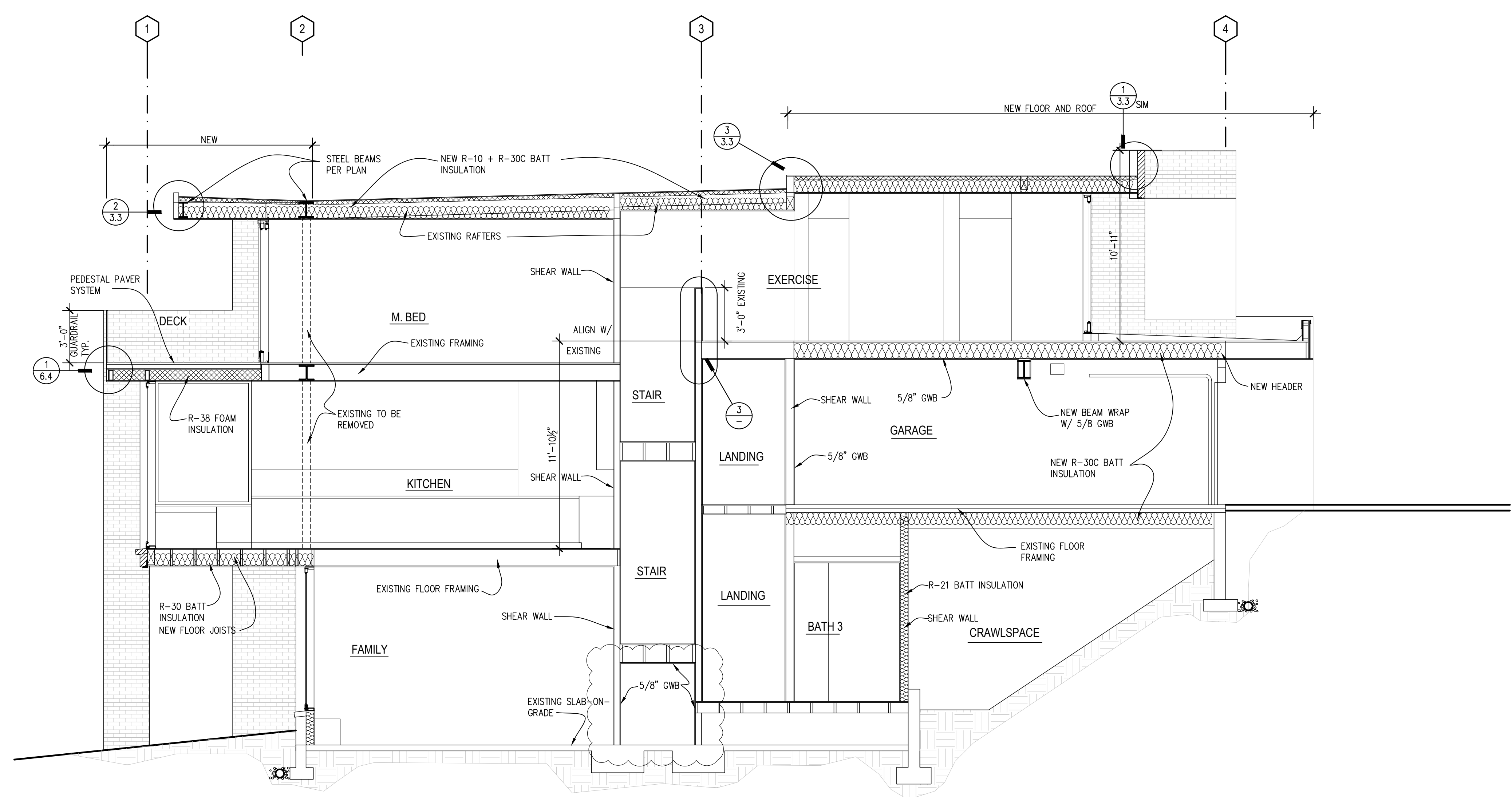
1/4" = 1'-0"



1 BUILDING SECTION
 1/4" = 1'-0"

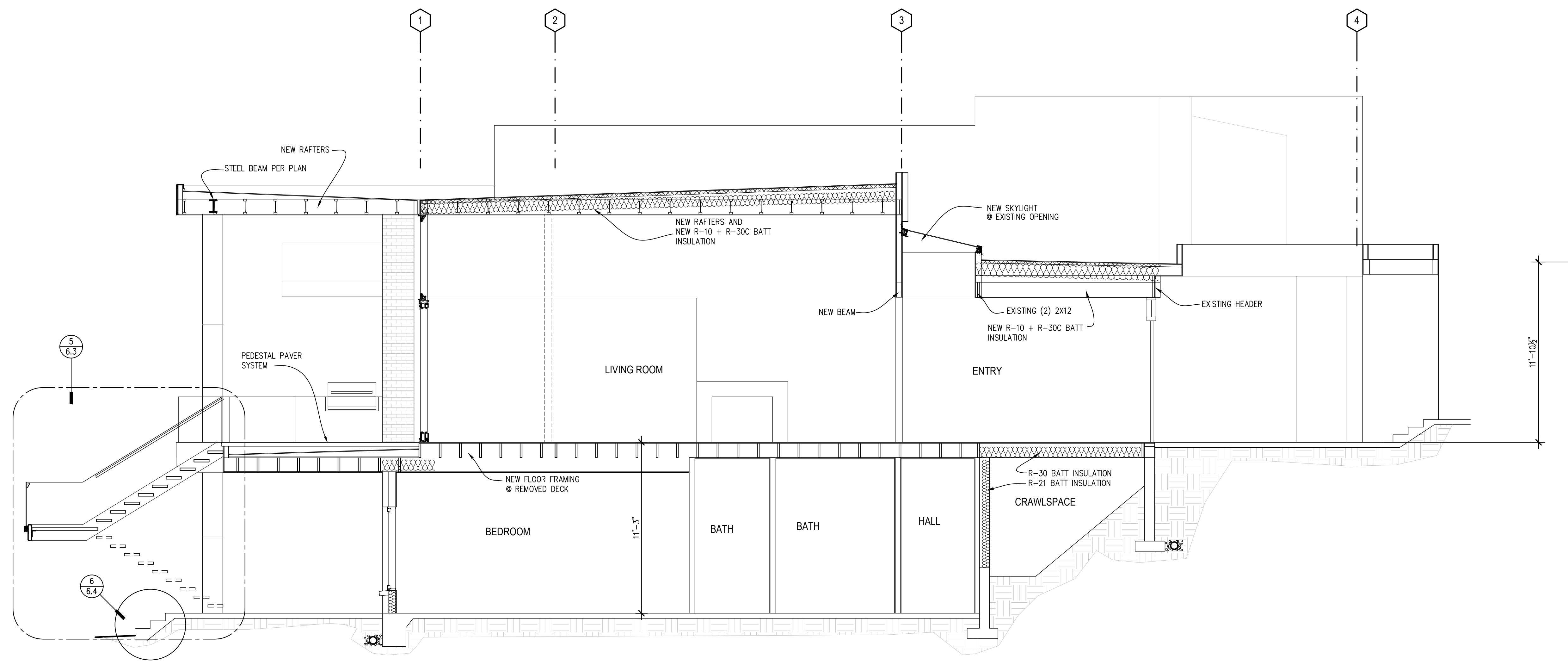


3 DETAIL
 1" = 1'-0"

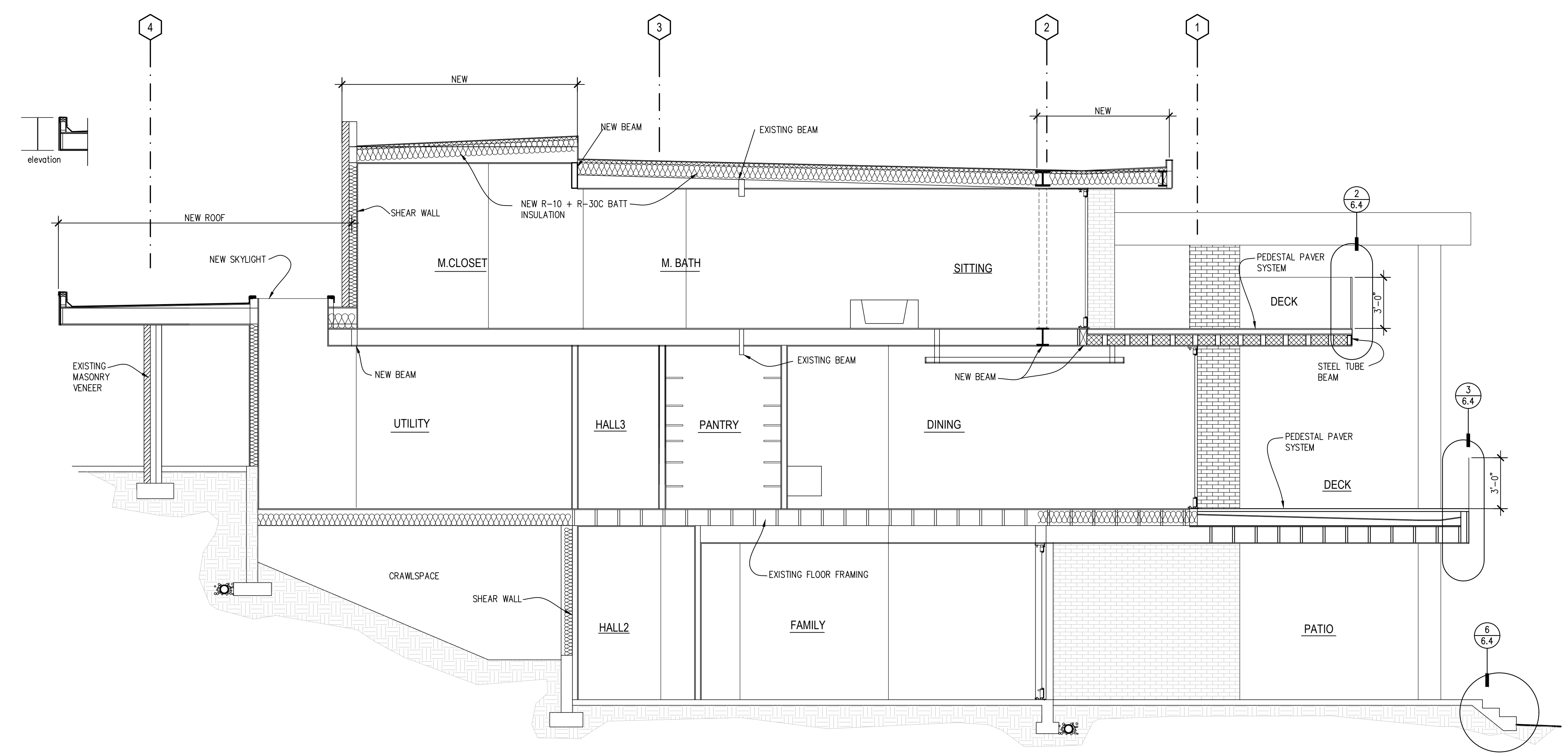


2 BUILDING SECTION
 1/4" = 1'-0"

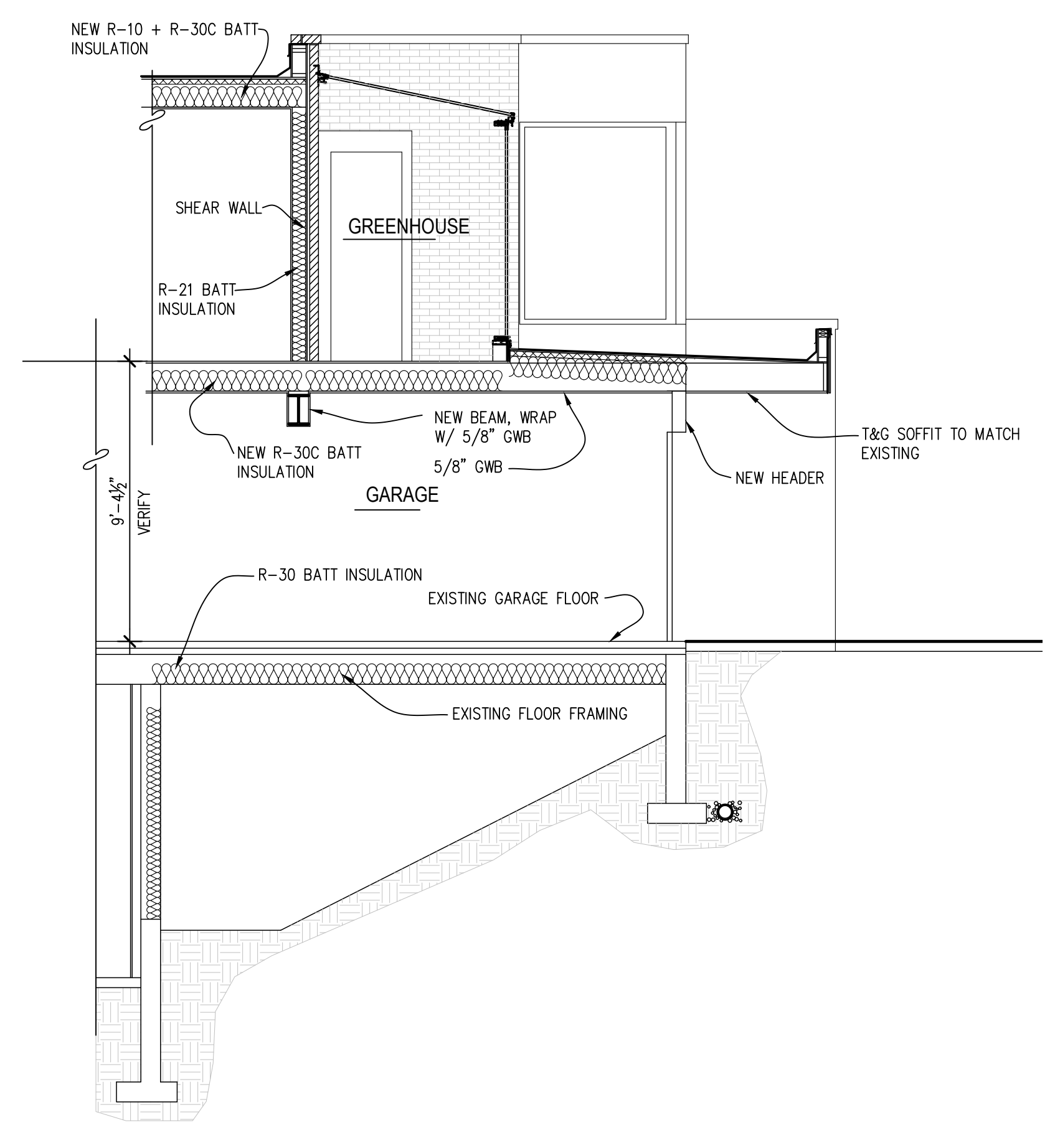
9/28/23 PRICING SET
 No. Date Revision



1 BUILDING SECTION
 1/4" = 1'-0"

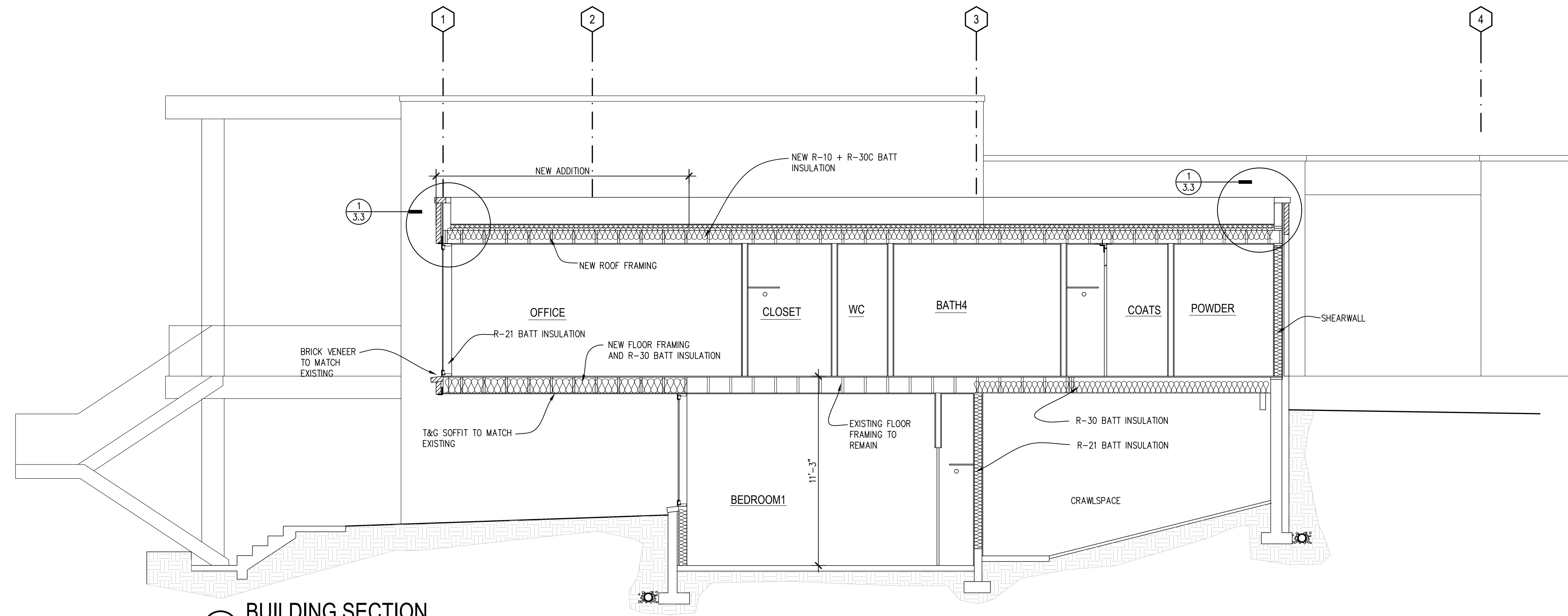


3 BUILDING SECTION
 1/4" = 1'-0"

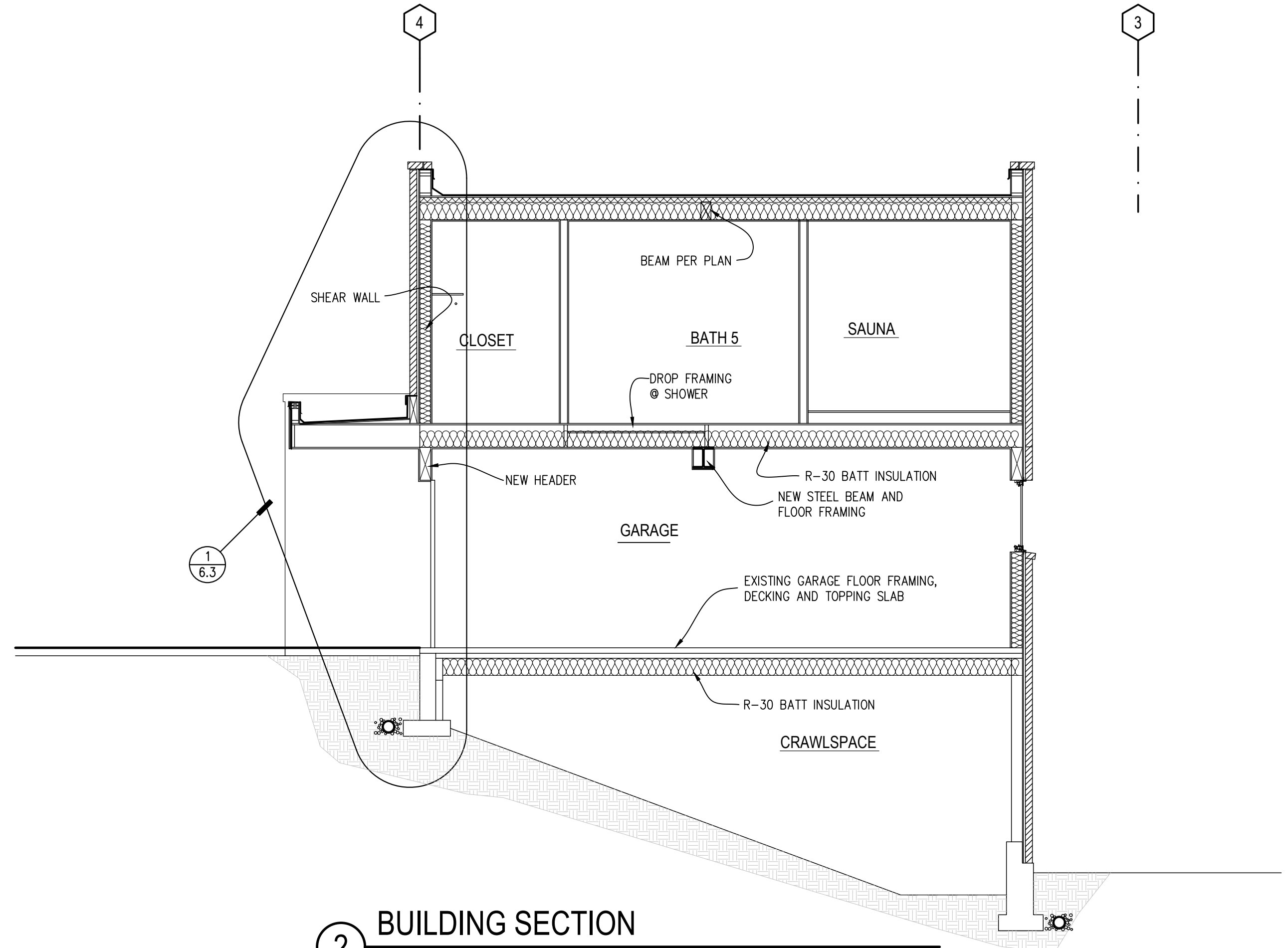


2 BUILDING SECTION
 1/4" = 1'-0"

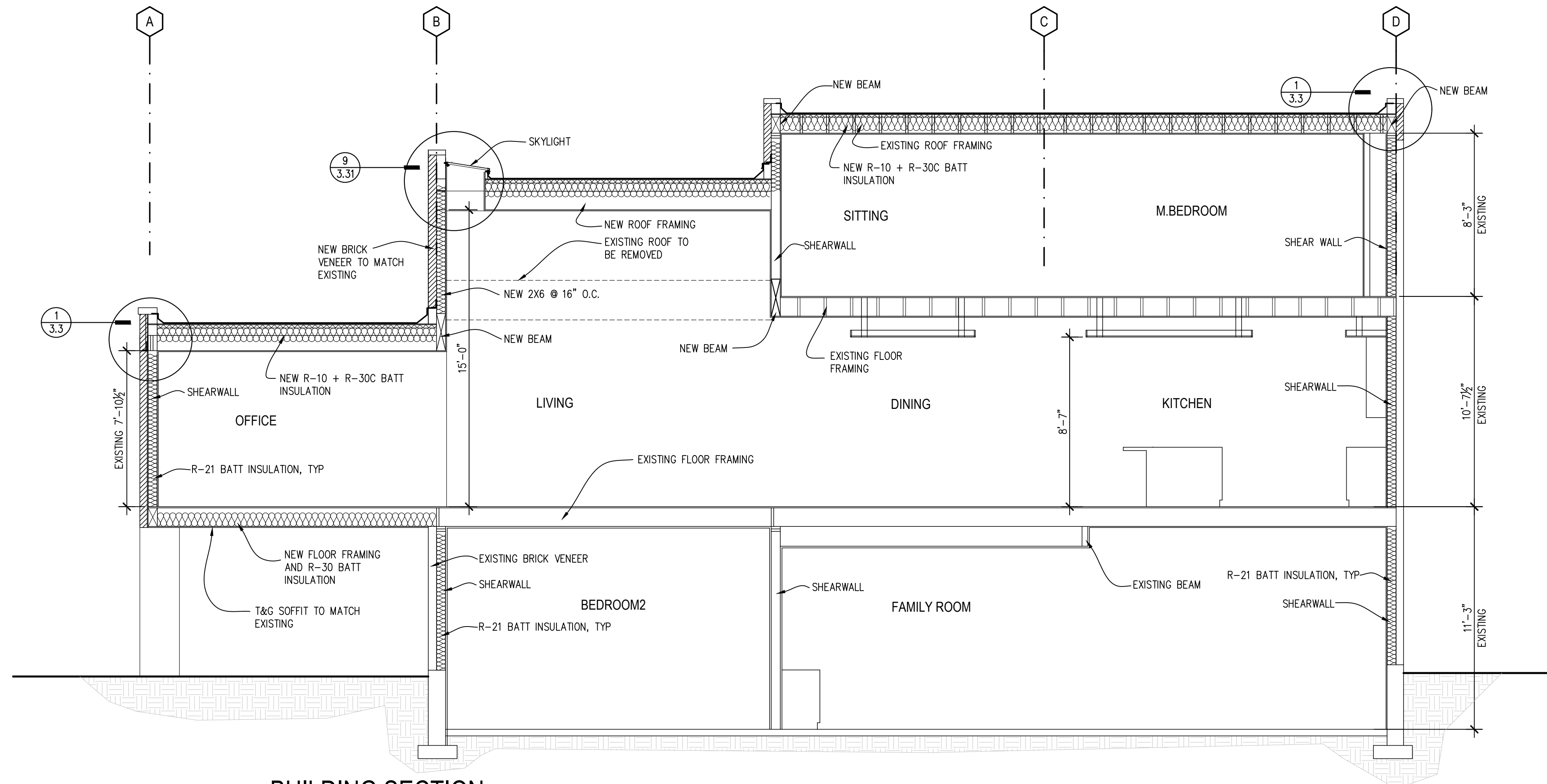
9/28/23 PRICING SET
 No. Date Revision



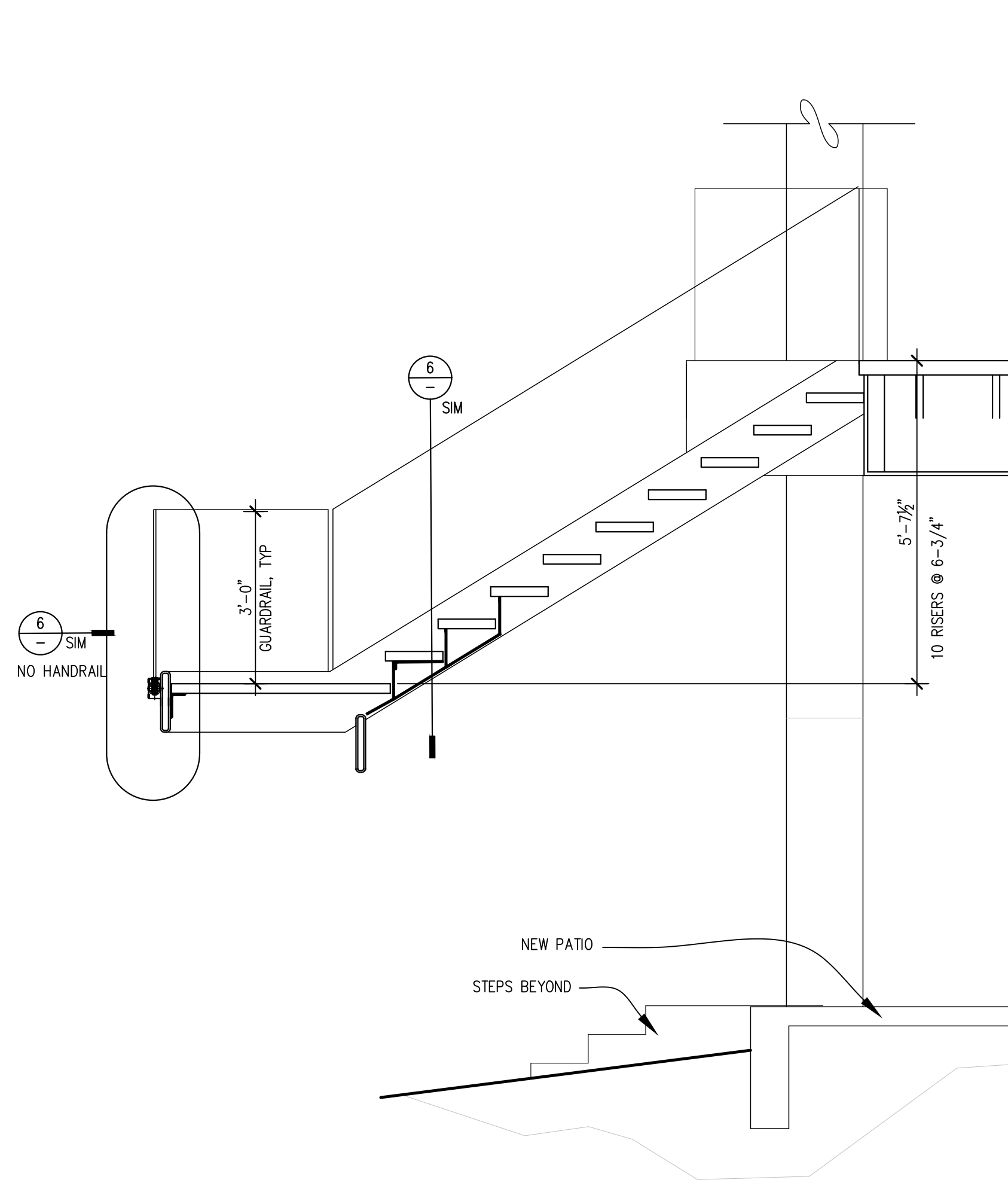
1 BUILDING SECTION
1/4" = 1'-0"



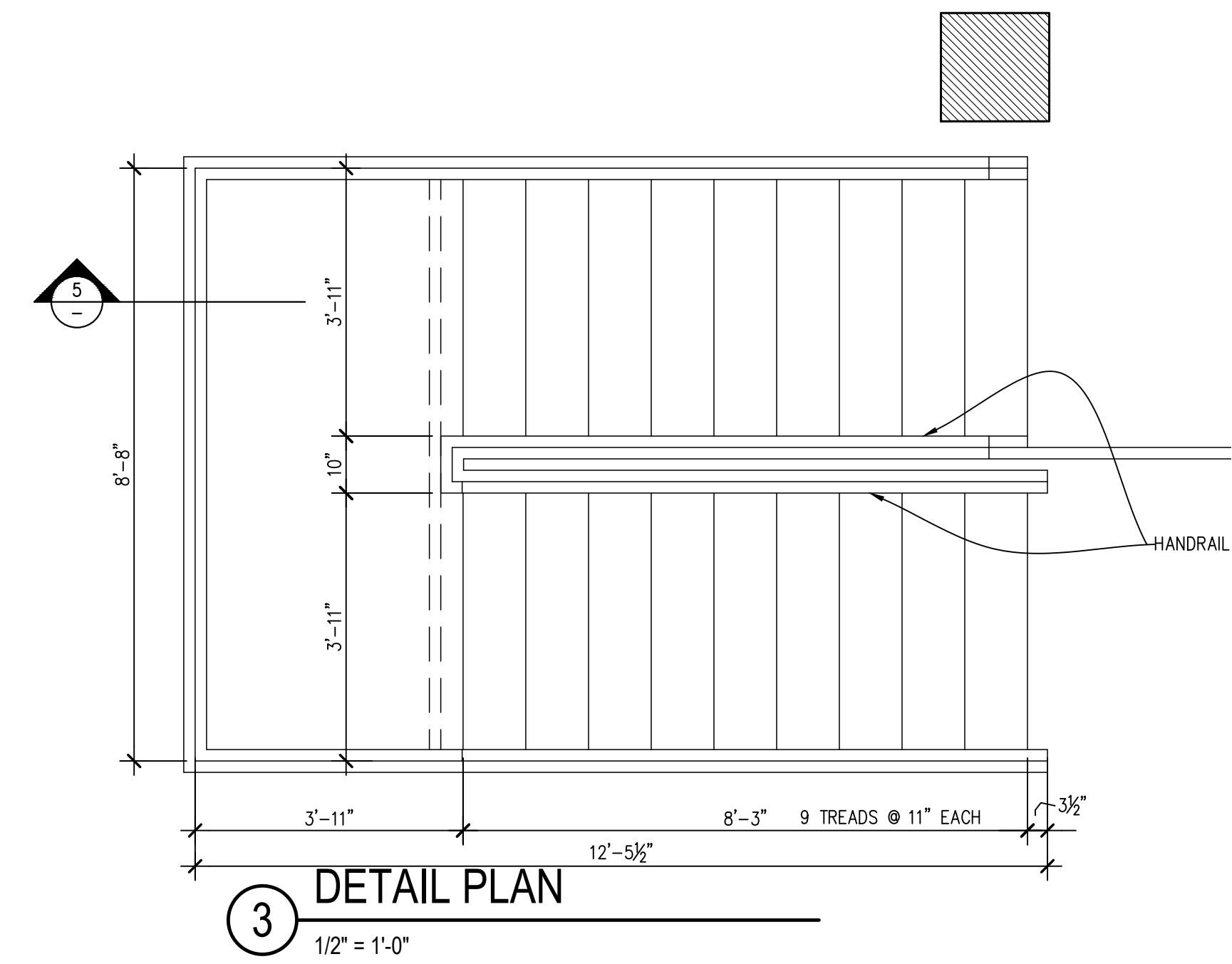
2 BUILDING SECTION
1/4" = 1'-0"



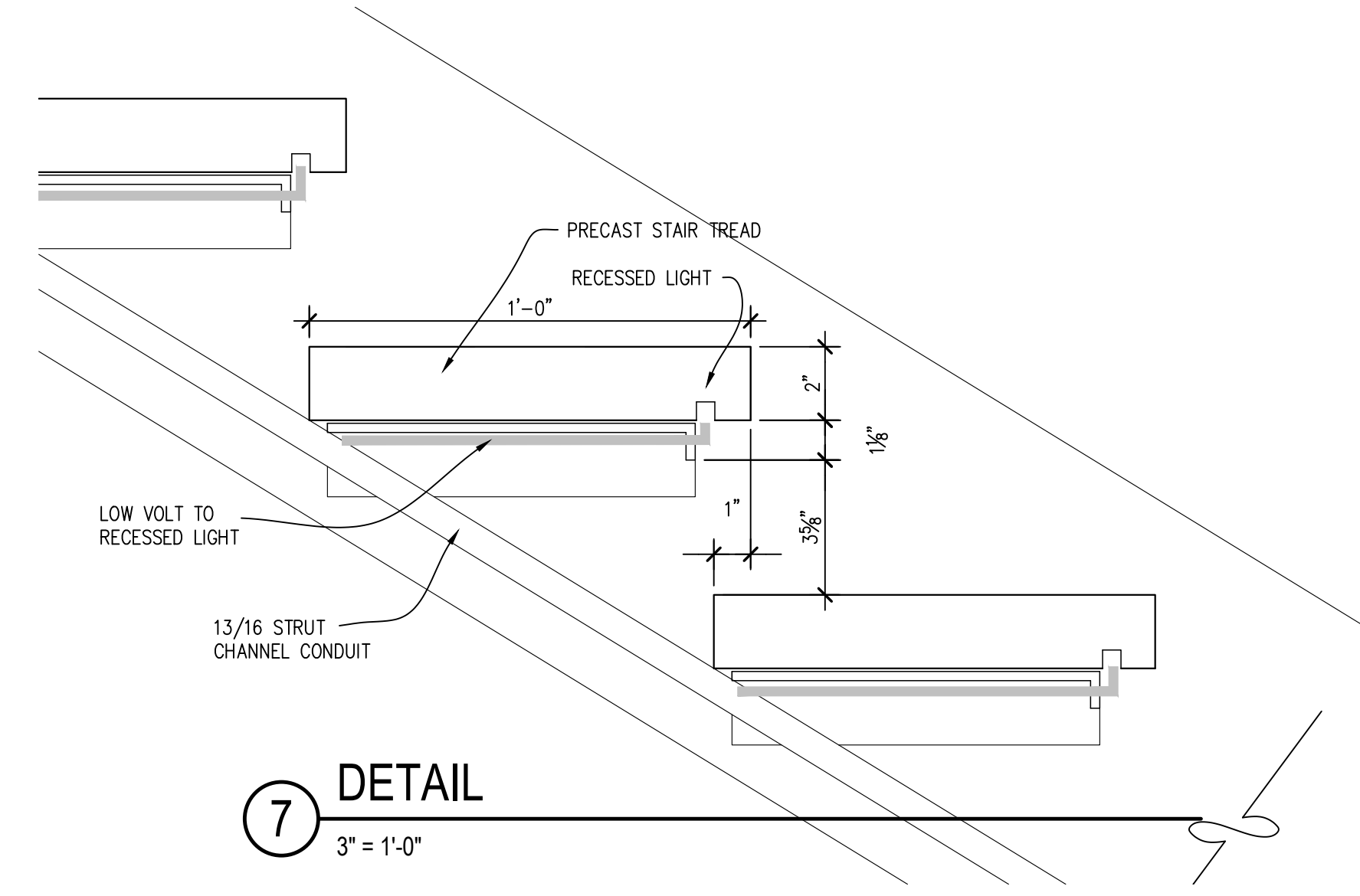
3 BUILDING SECTION
1/4" = 1'-0"



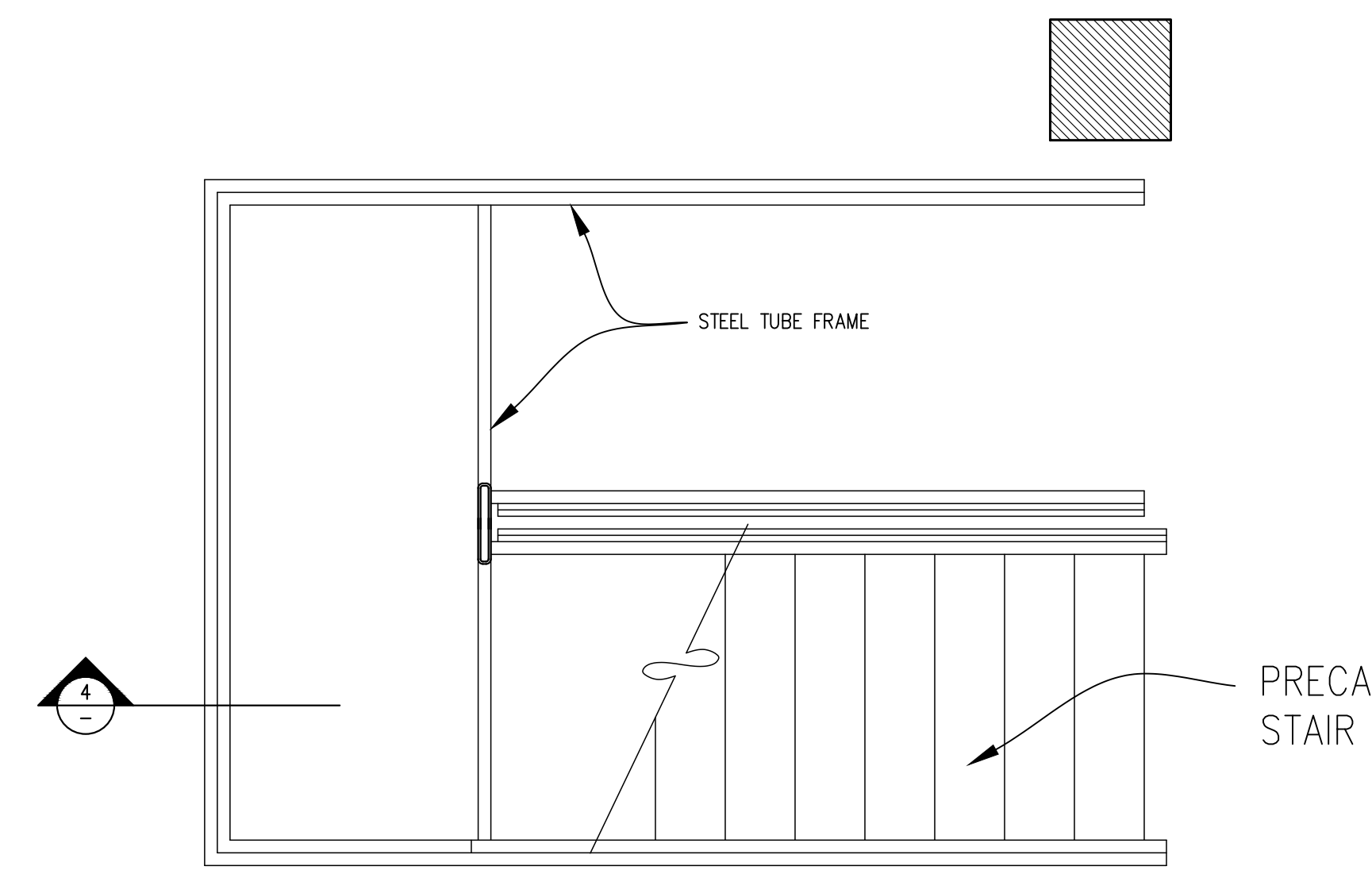
5 DETAIL PLAN
1/2" = 1'-0"



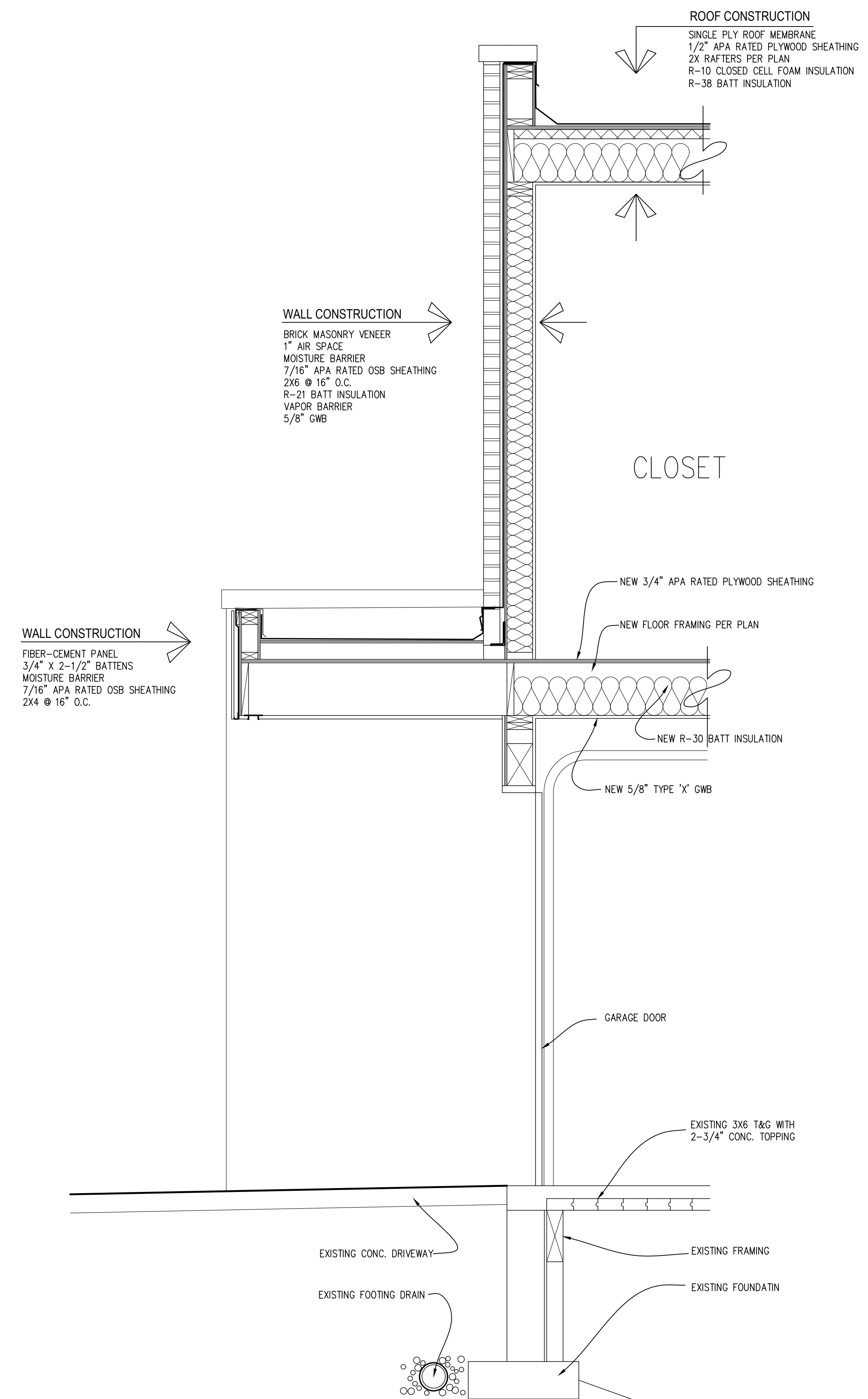
3 DETAIL PLAN
1/2" = 1'-0"



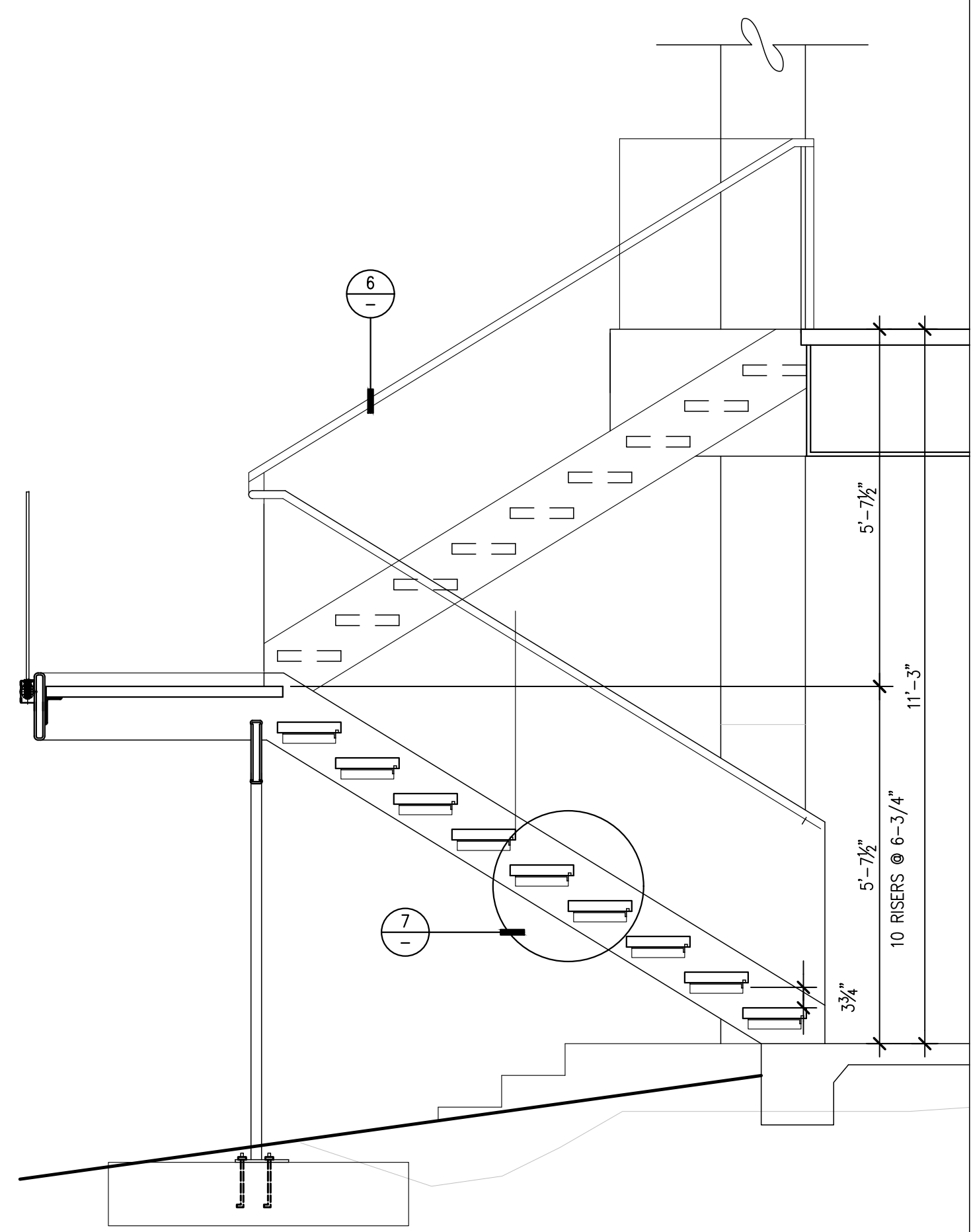
7 DETAIL
3" = 1'-0"



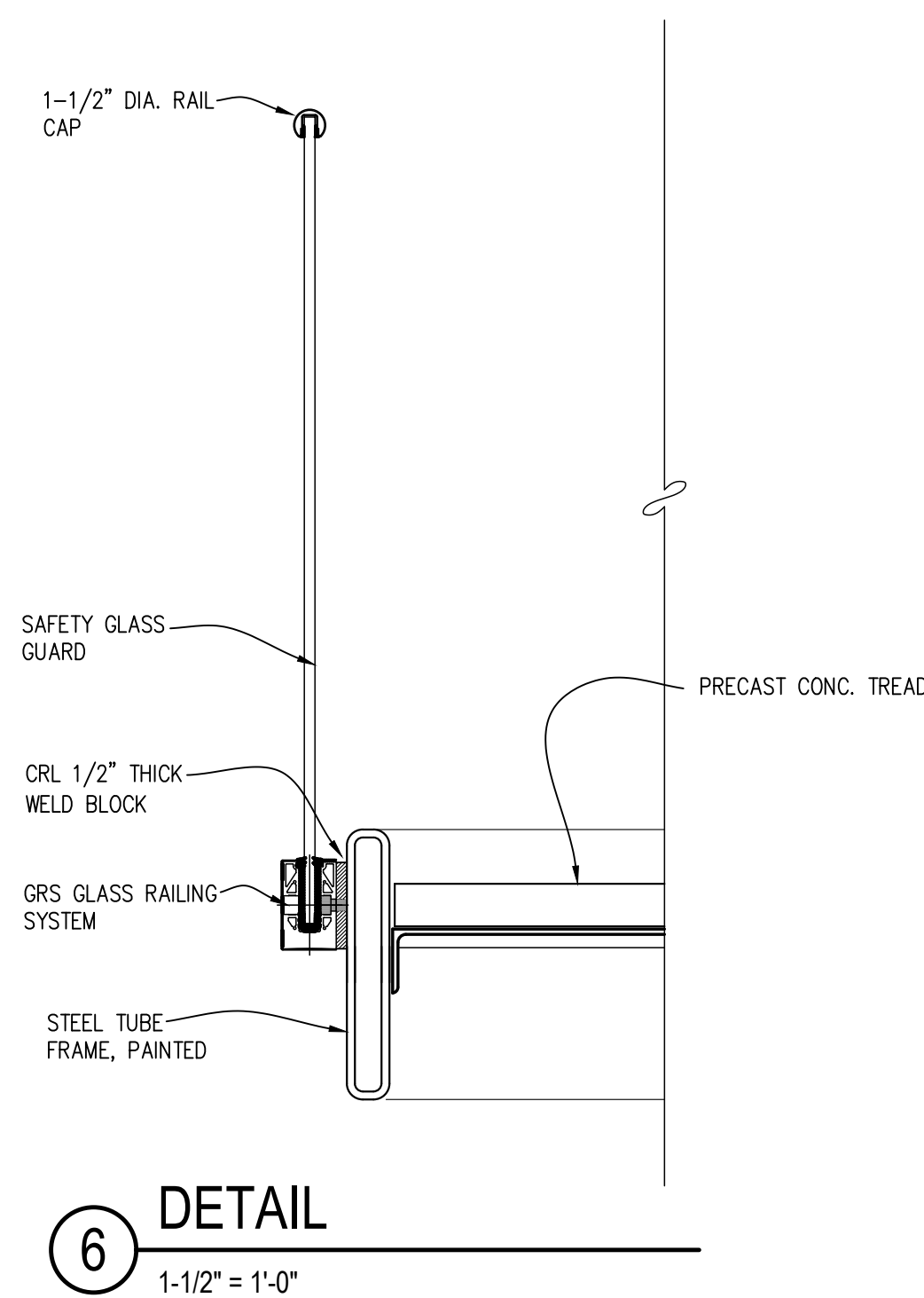
2 DETAIL PLAN
1/2" = 1'-0"



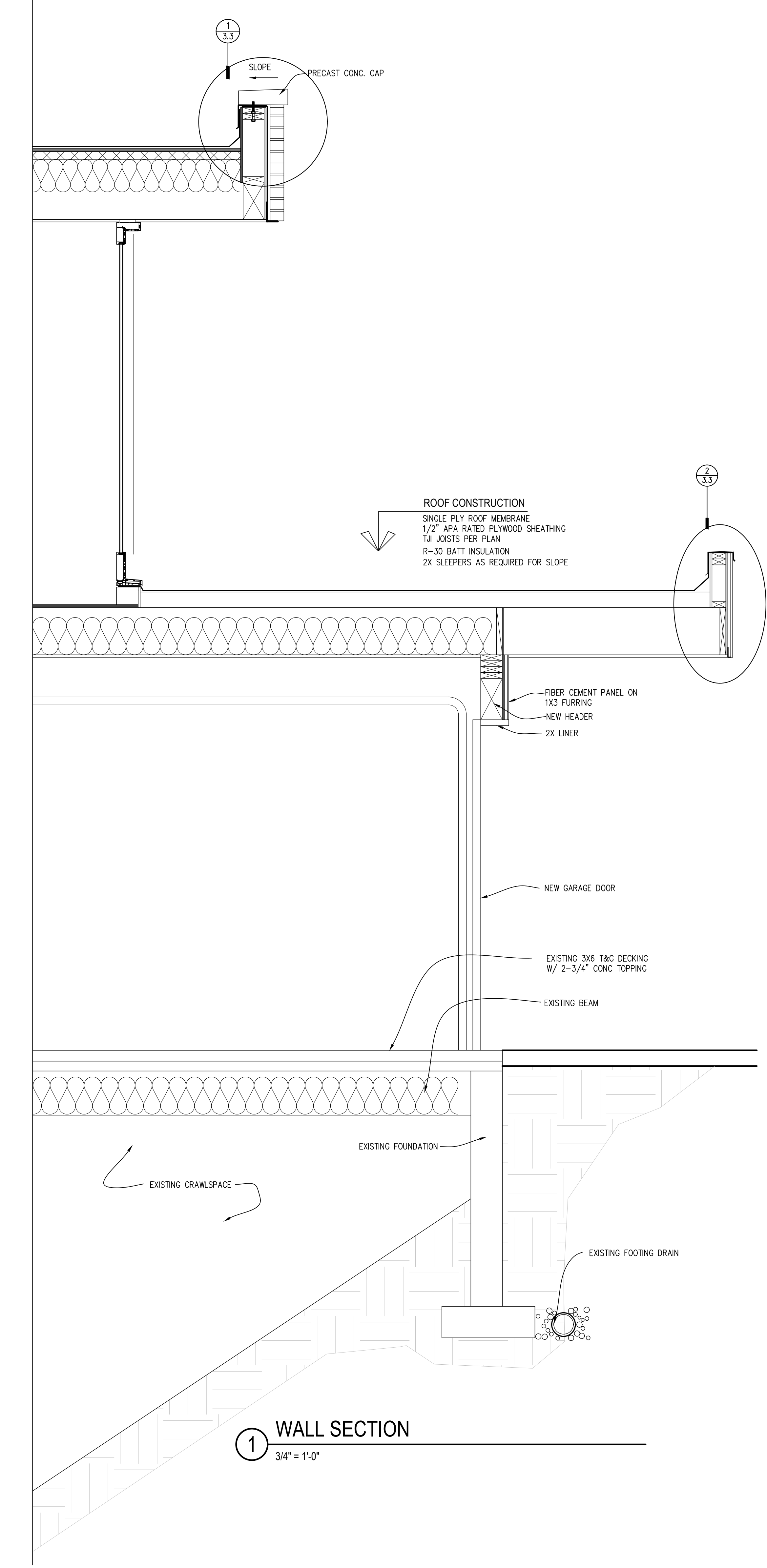
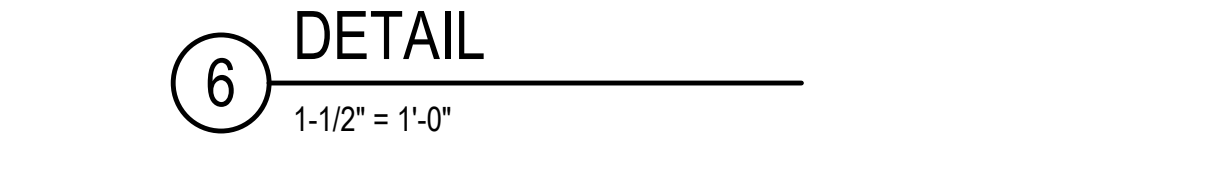
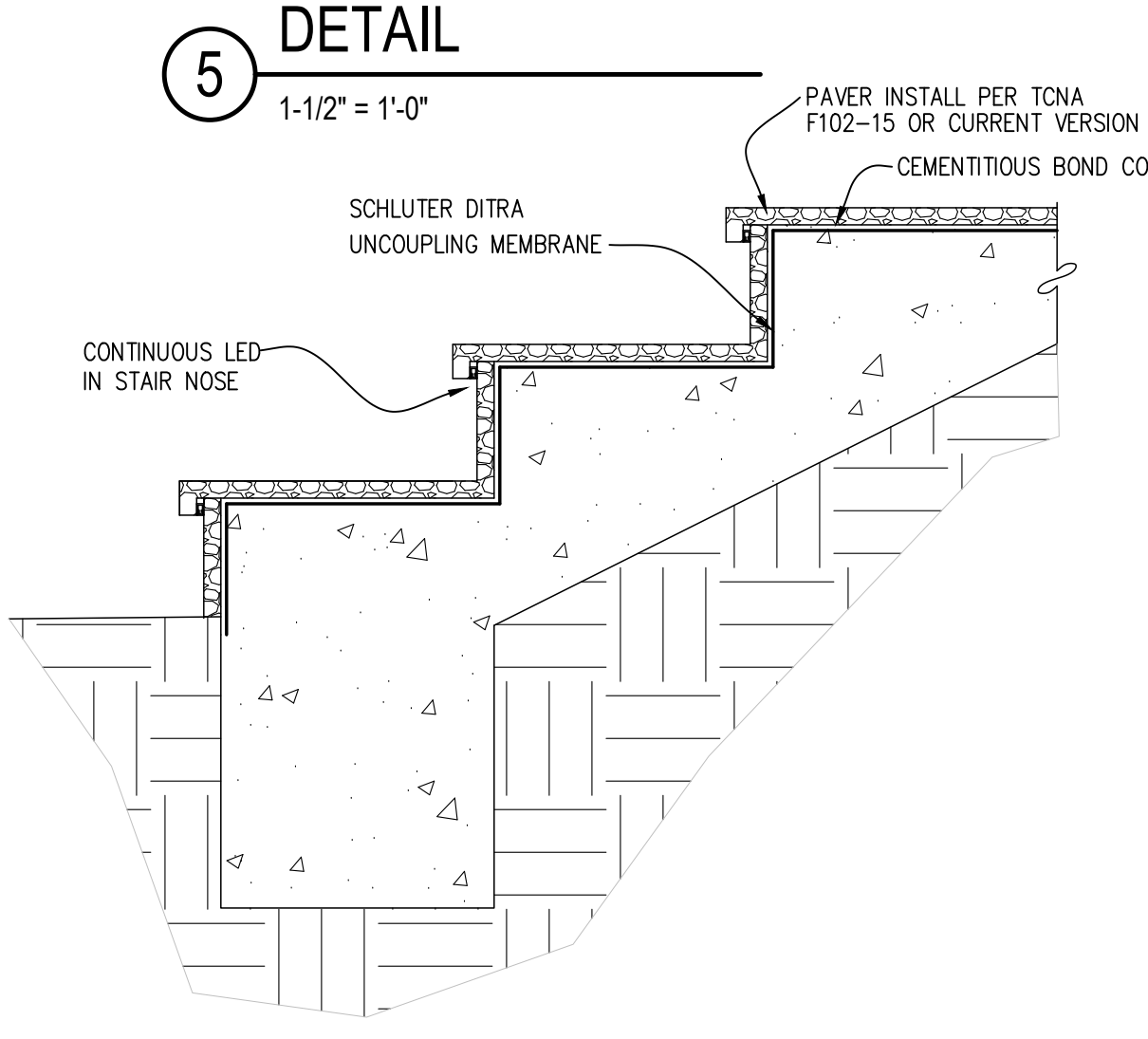
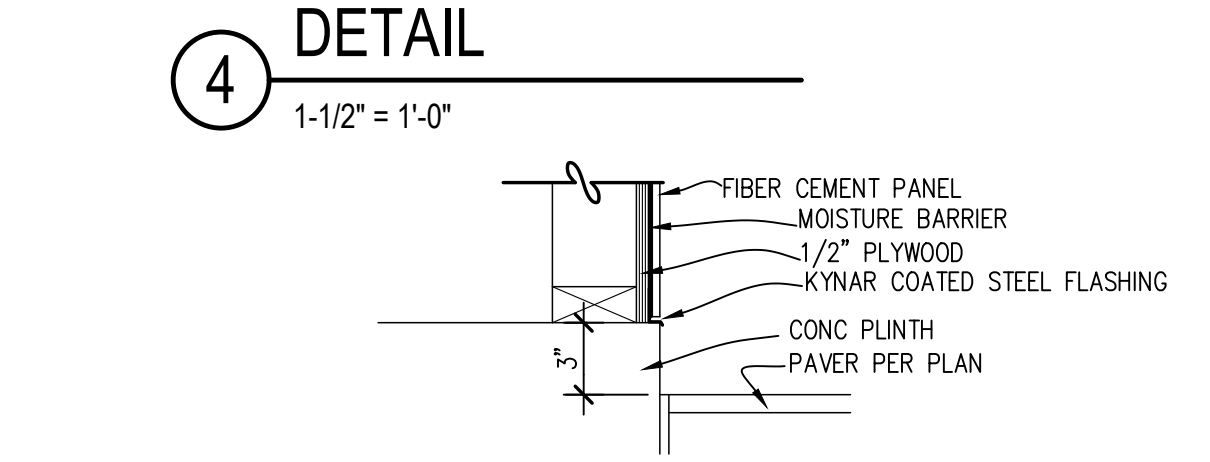
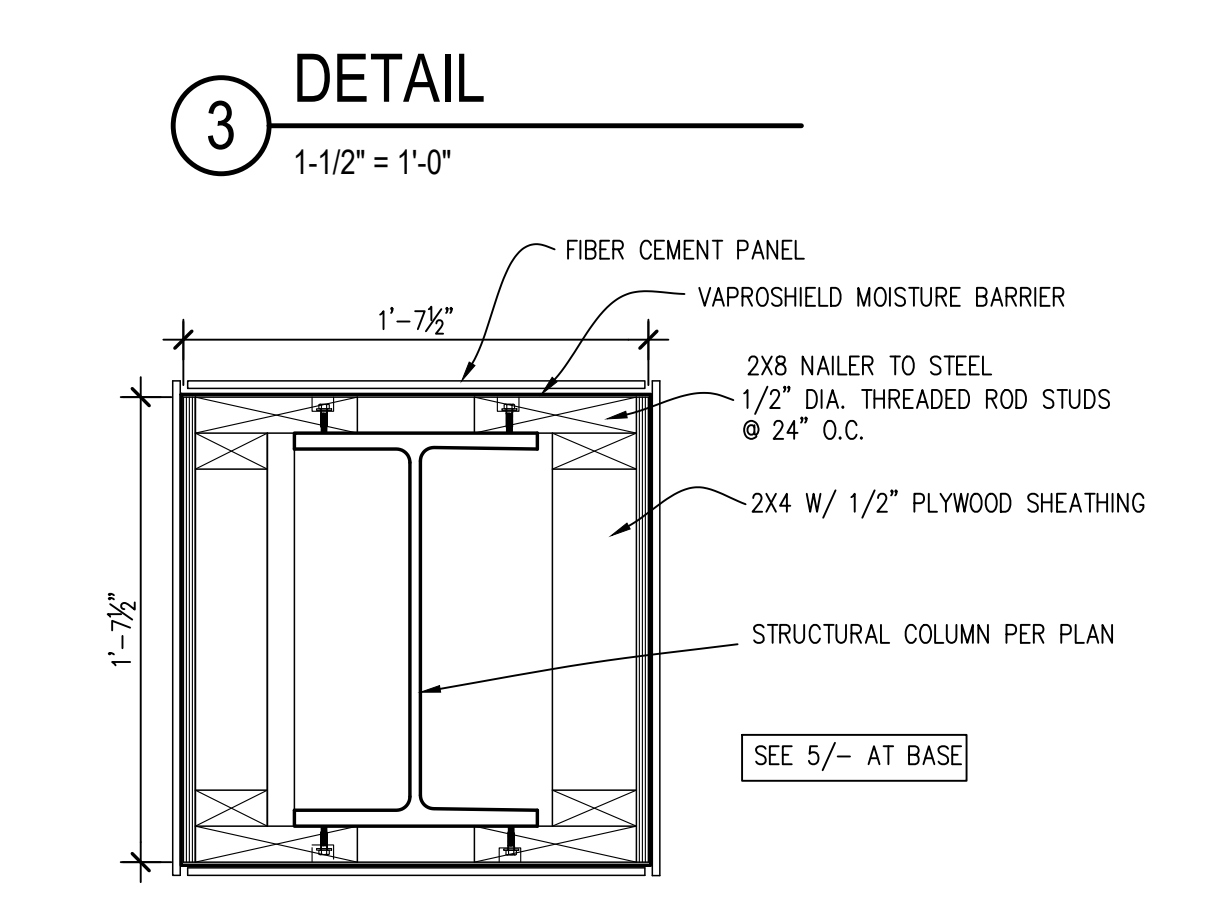
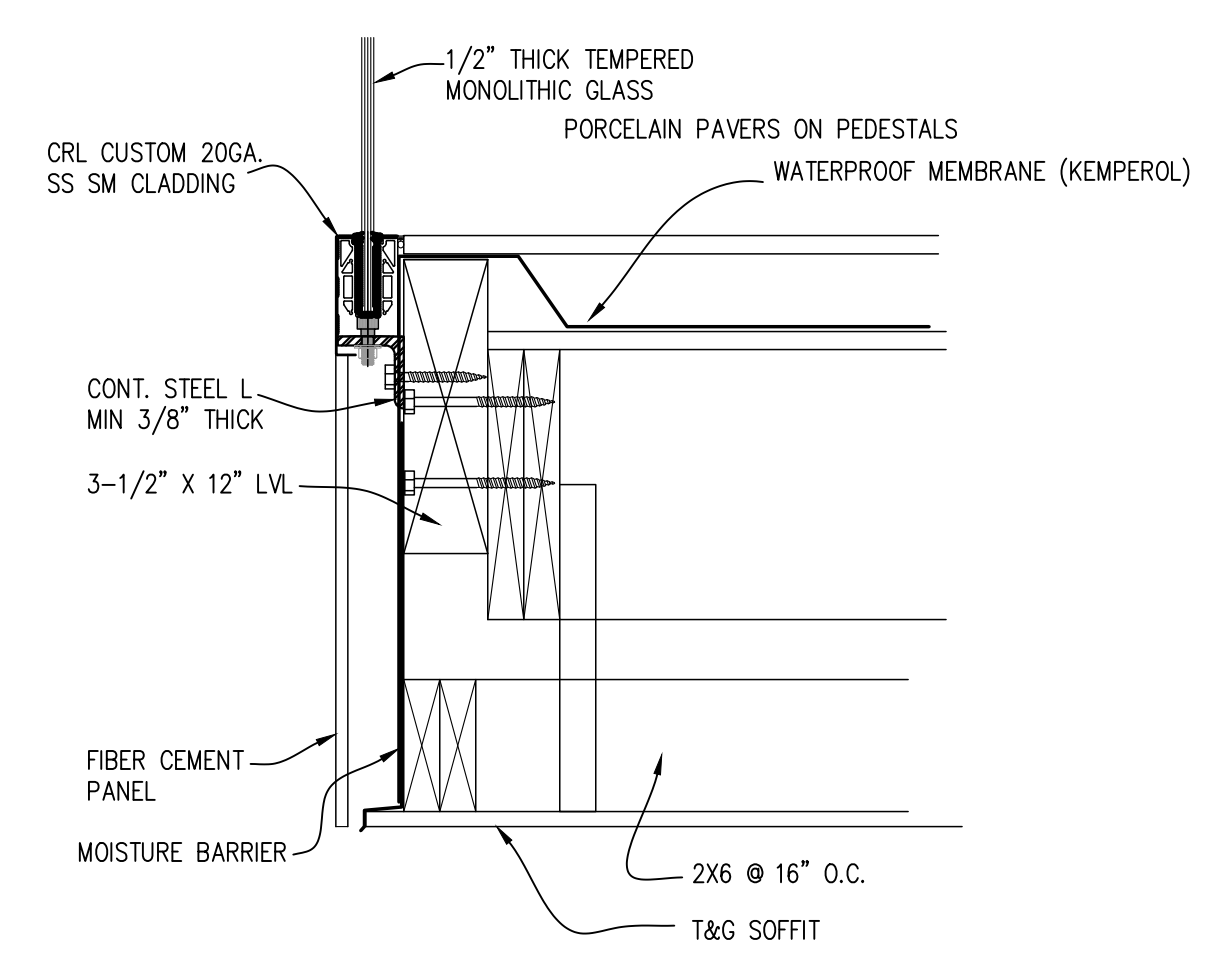
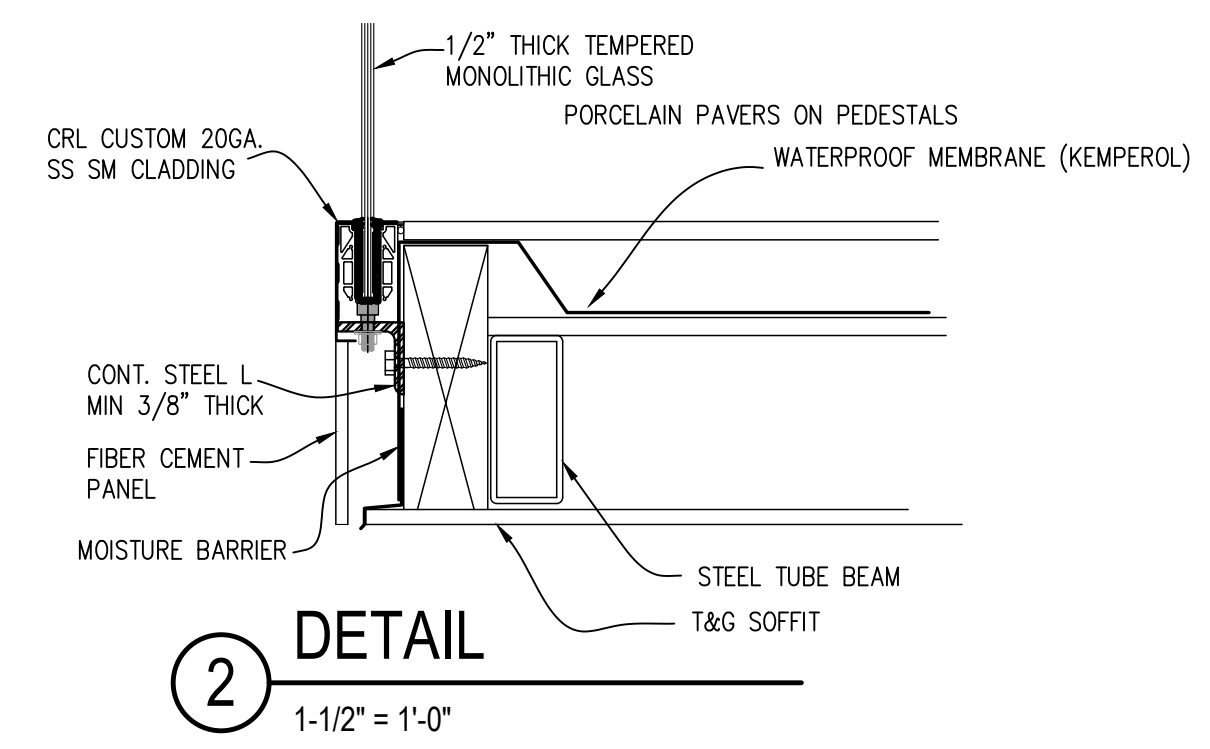
1 WALL SECTION
3/4" = 1'-0"

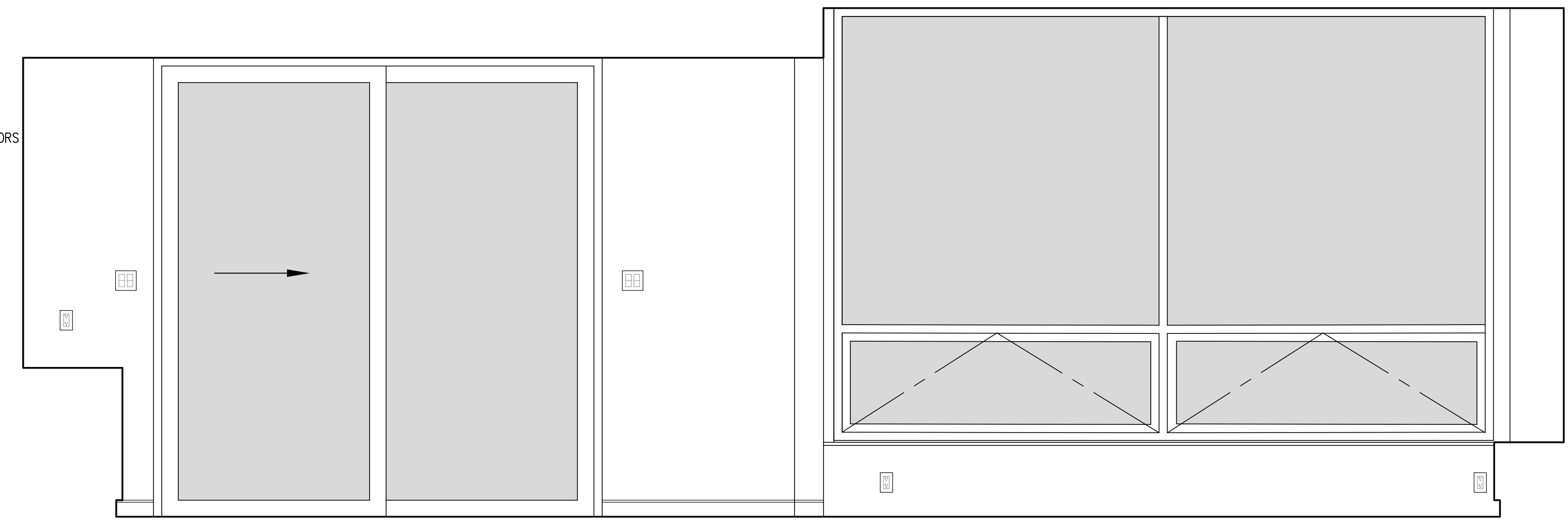
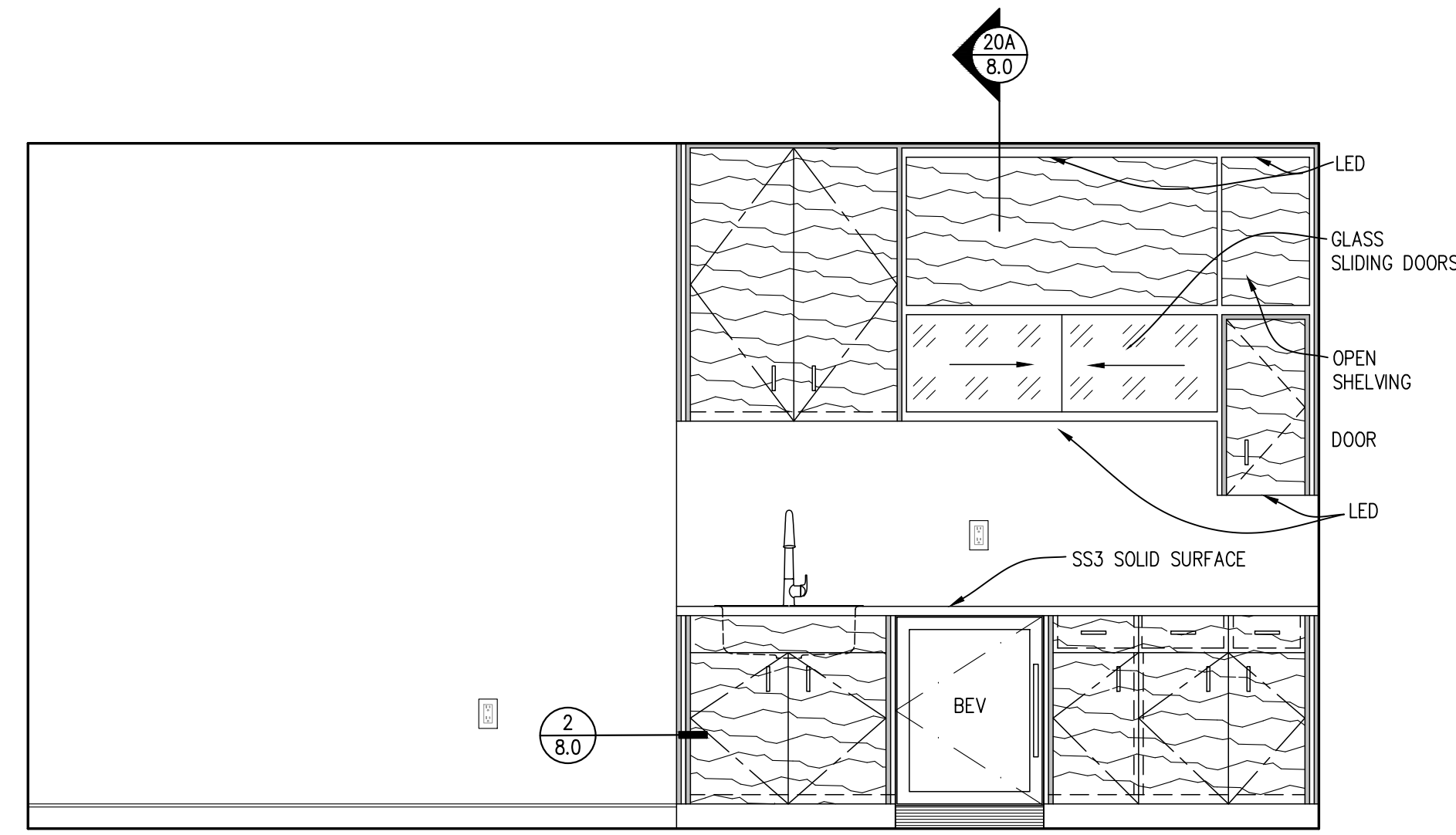


4 DETAIL PLAN
1/2" = 1'-0"



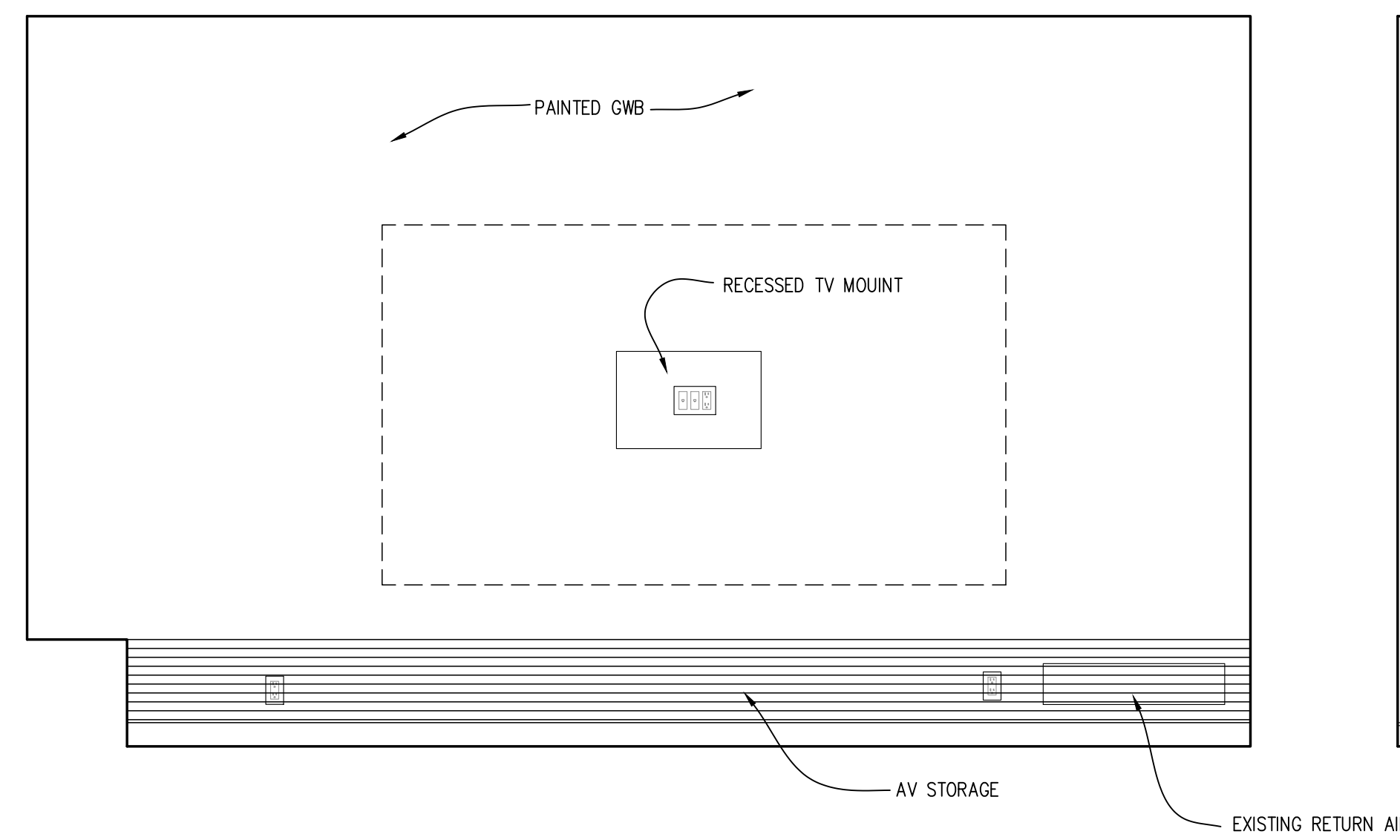
6 DETAIL
1-1/2" = 1'-0"



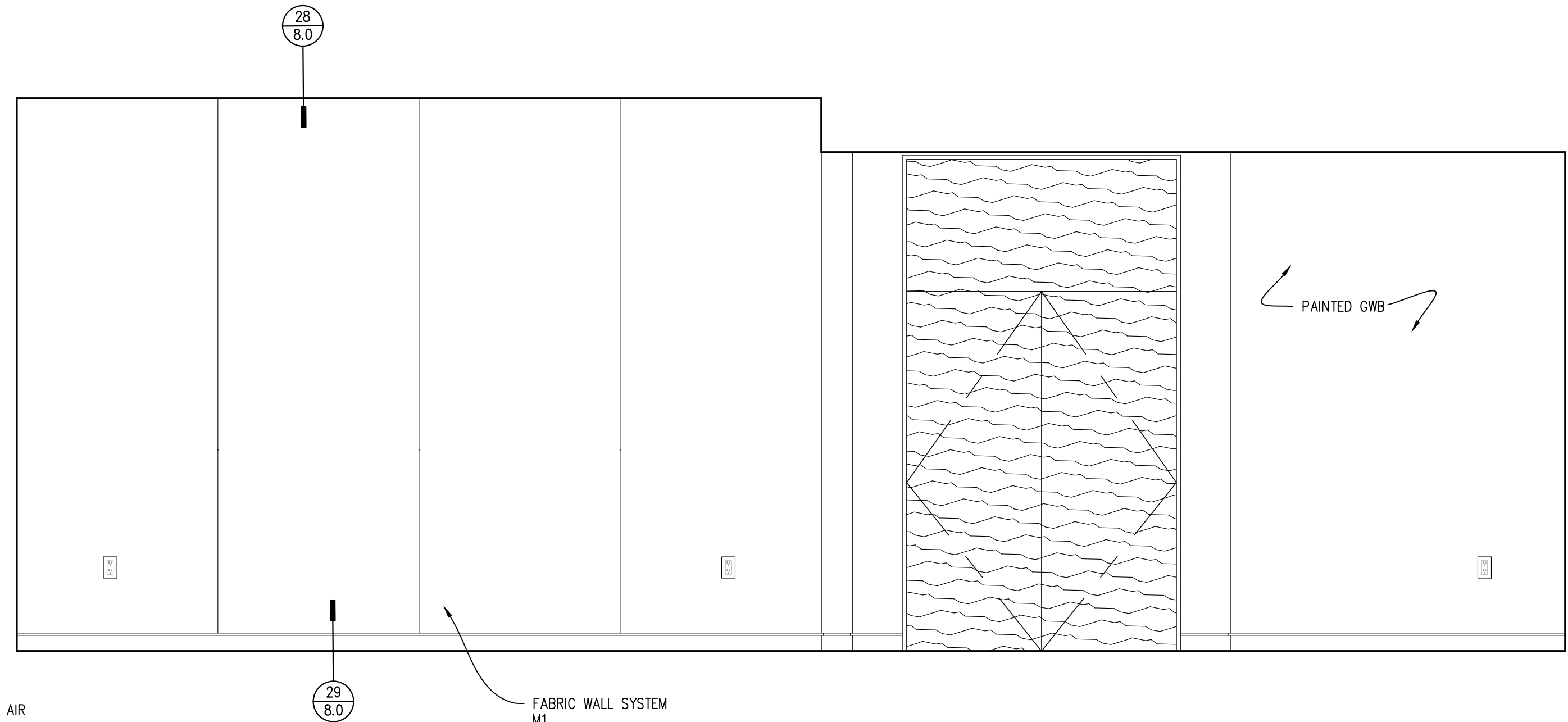


(B)
FAMILY ROOM #100
 1/2" = 1'-0"

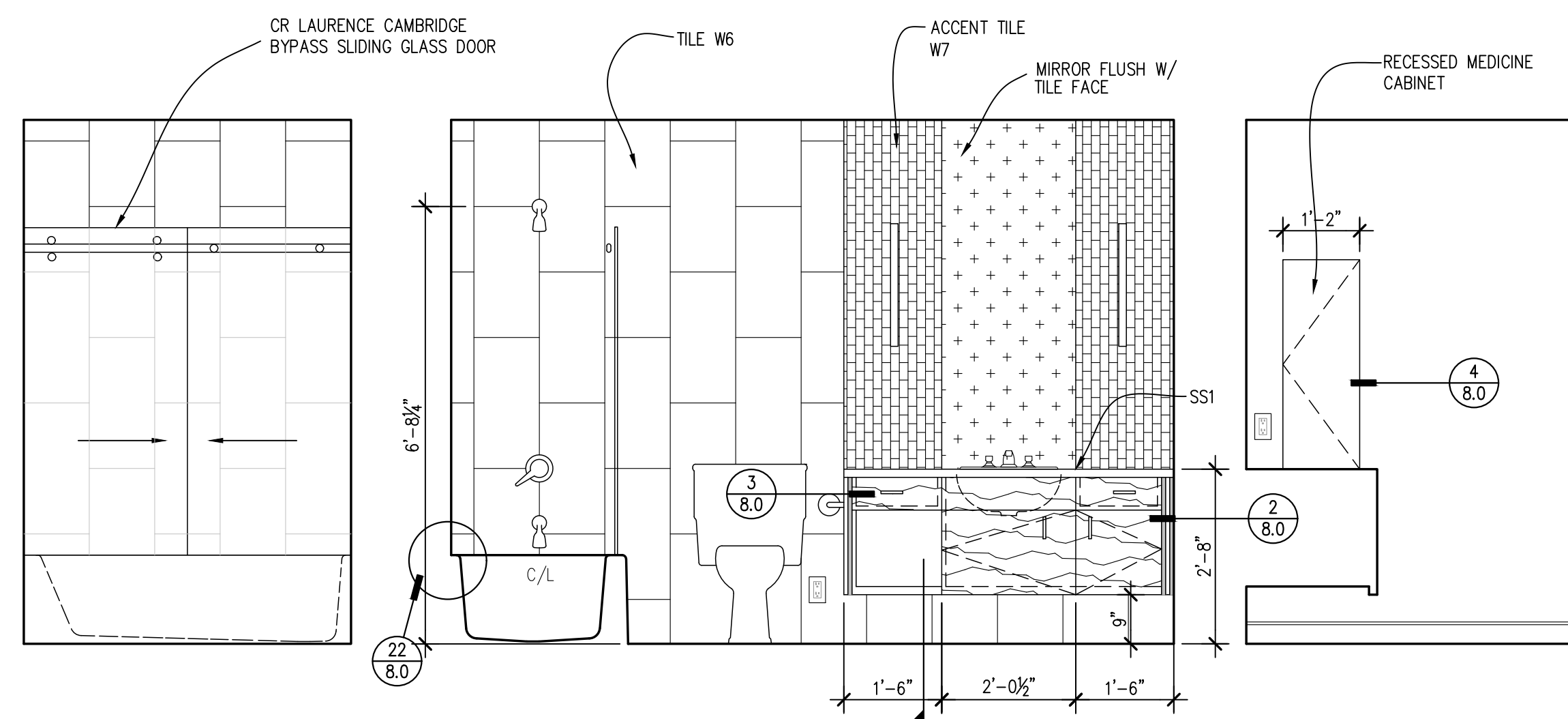
(A)



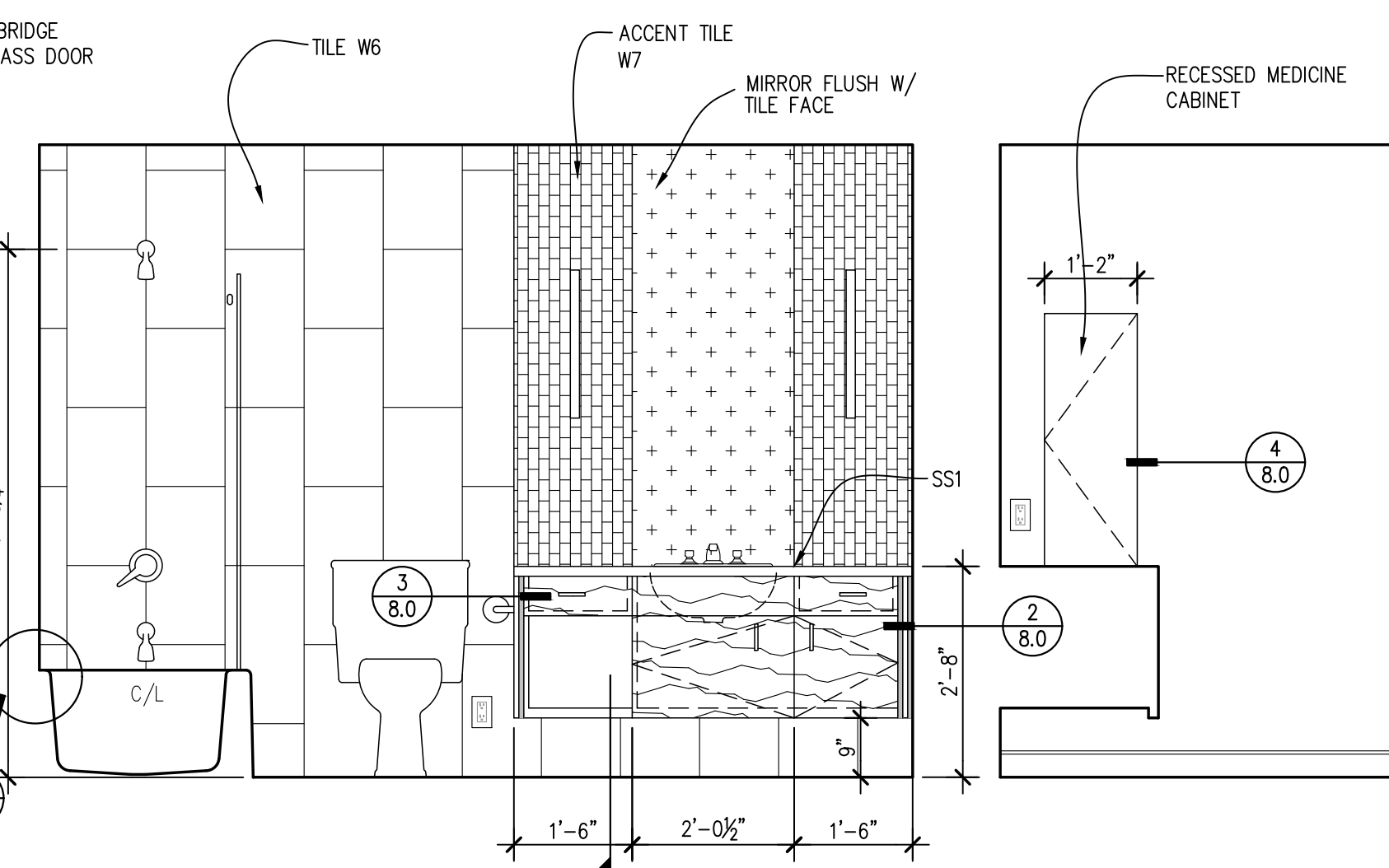
(D)



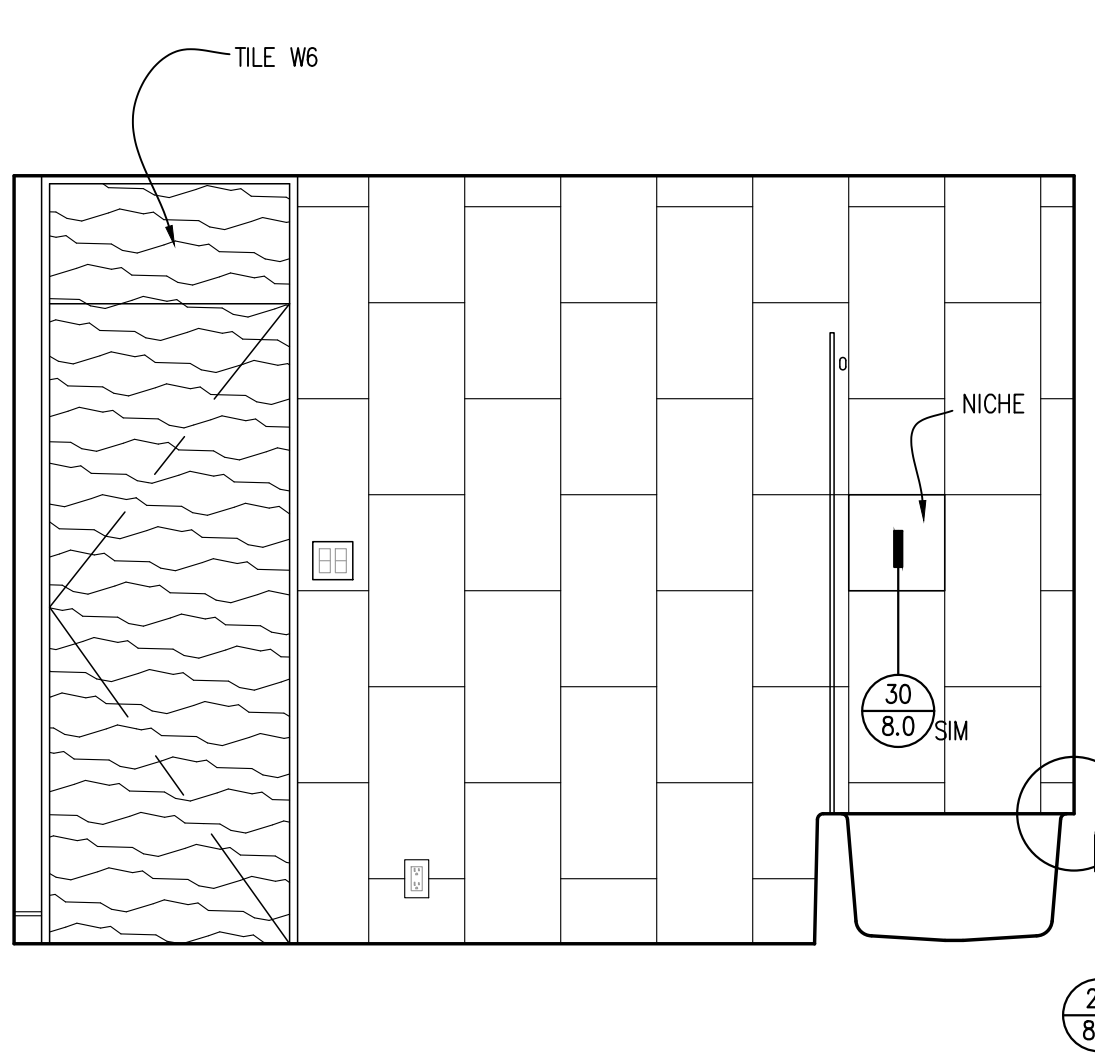
(C)



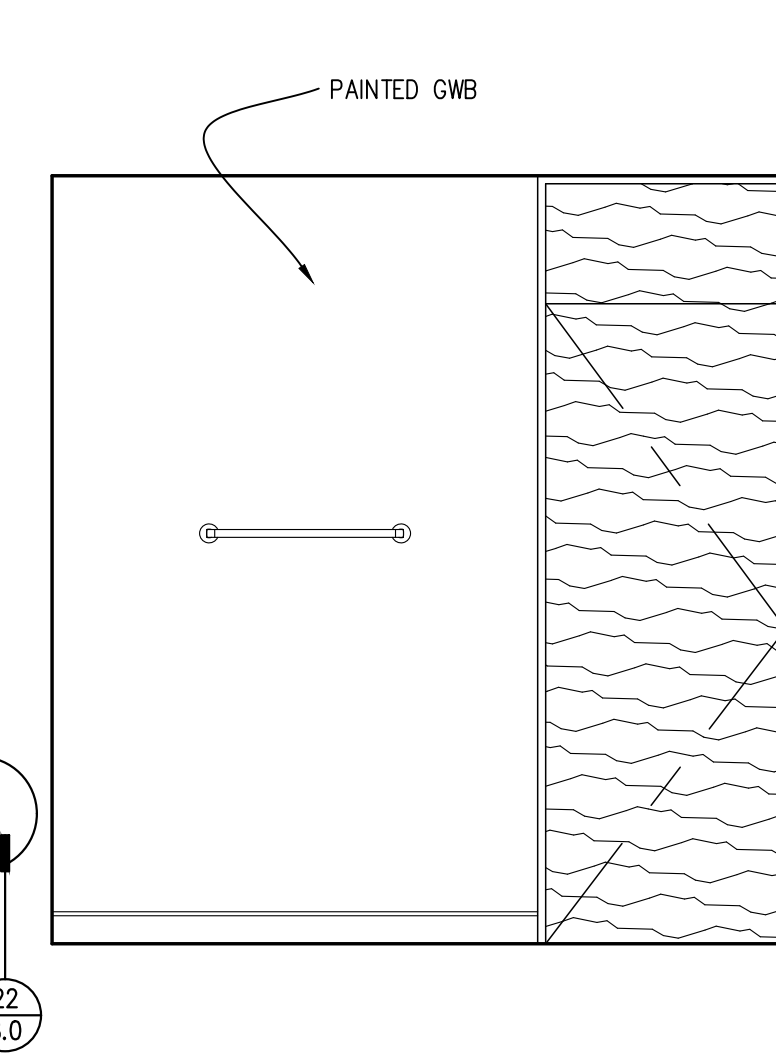
(H)



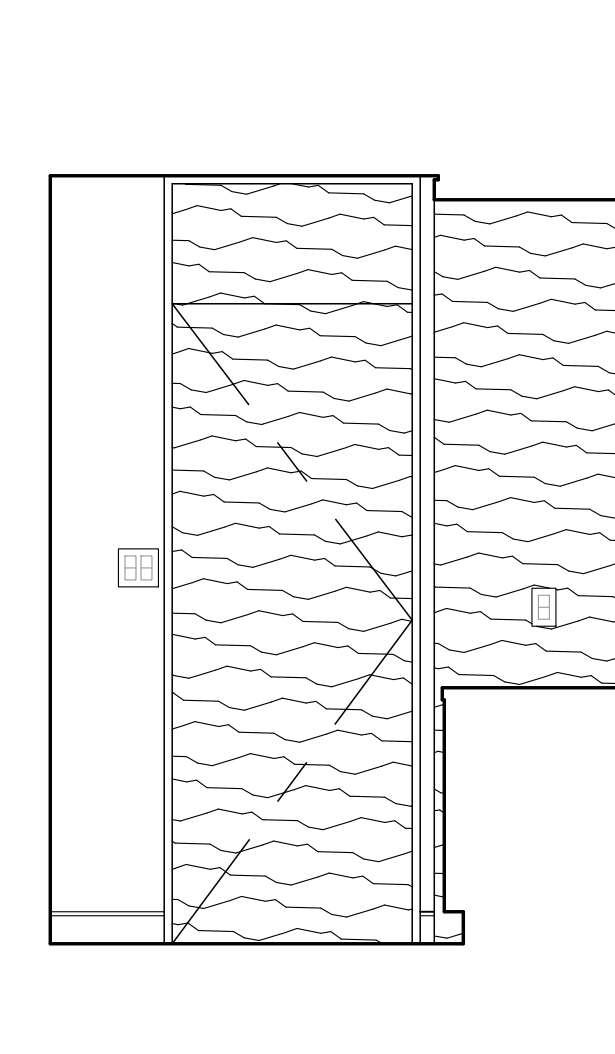
(G)



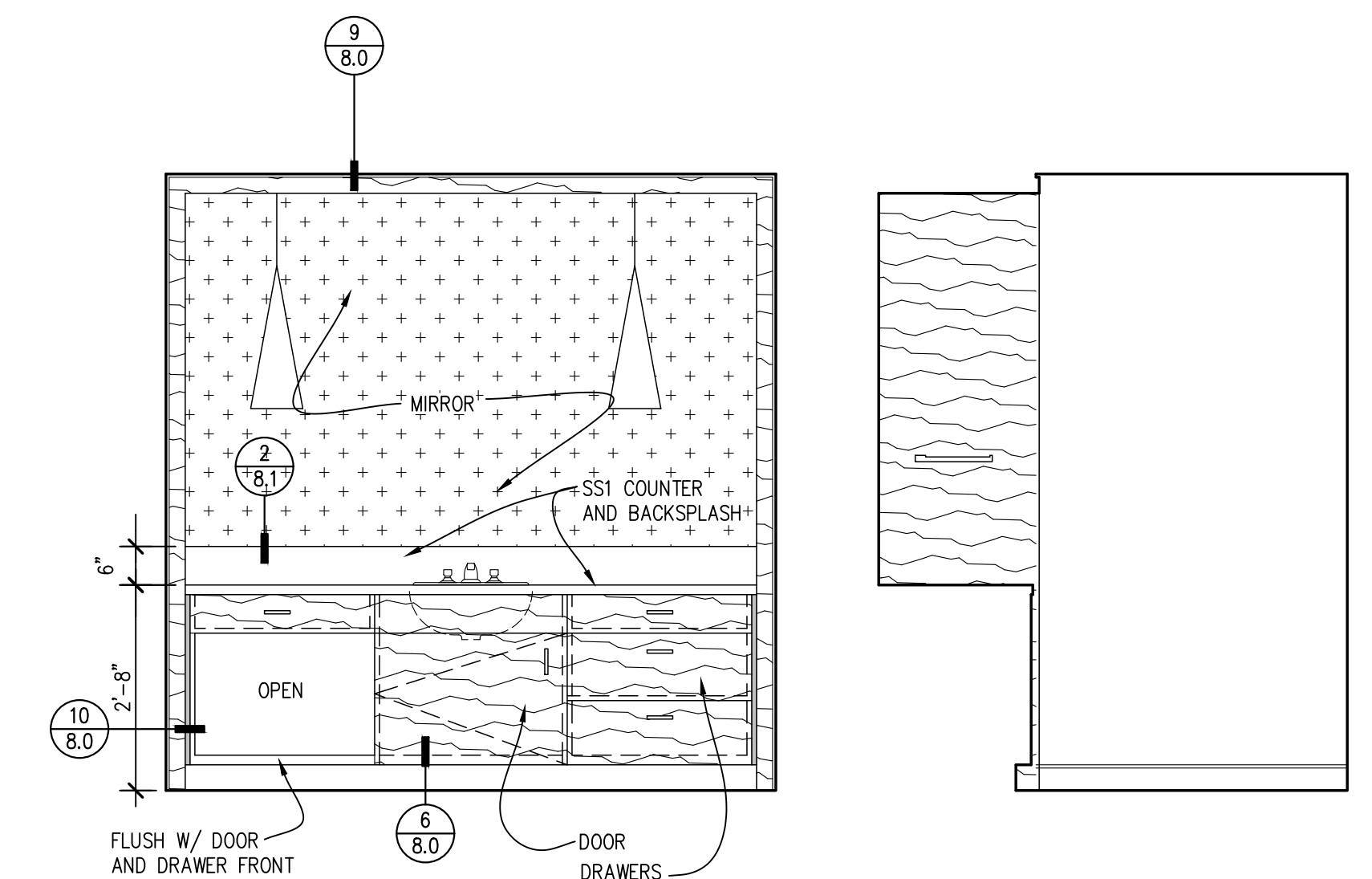
(E)



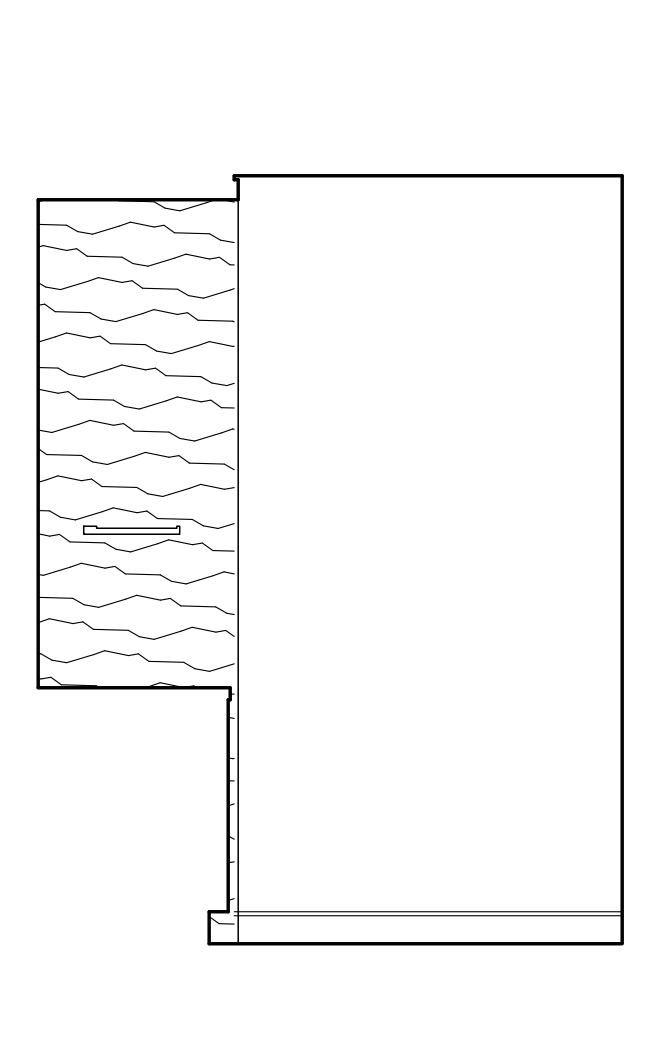
(L)



(K)



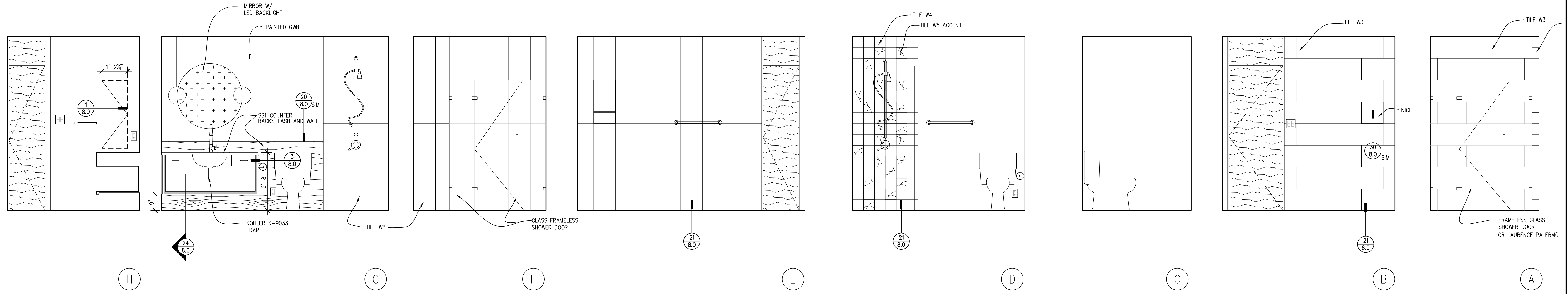
(J)



(I)

BATH 2 #103
 1/2" = 1'-0"

LAV1 #106
 1/2" = 1'-0"

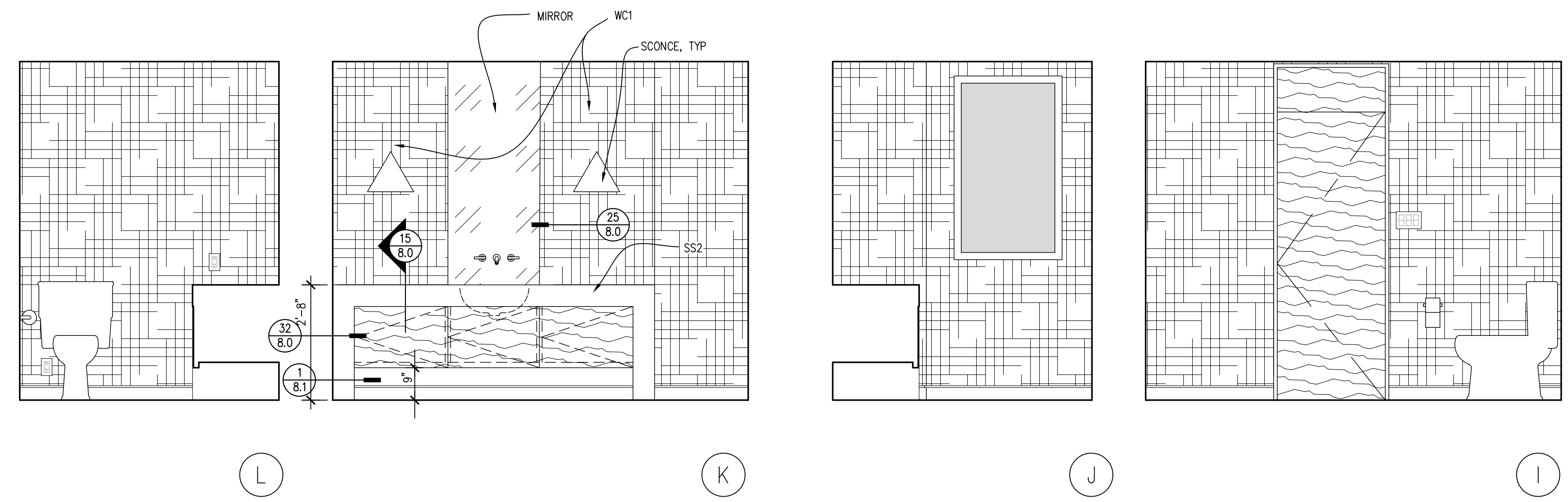


BATH 3 #112

1/2" = 1'-0"

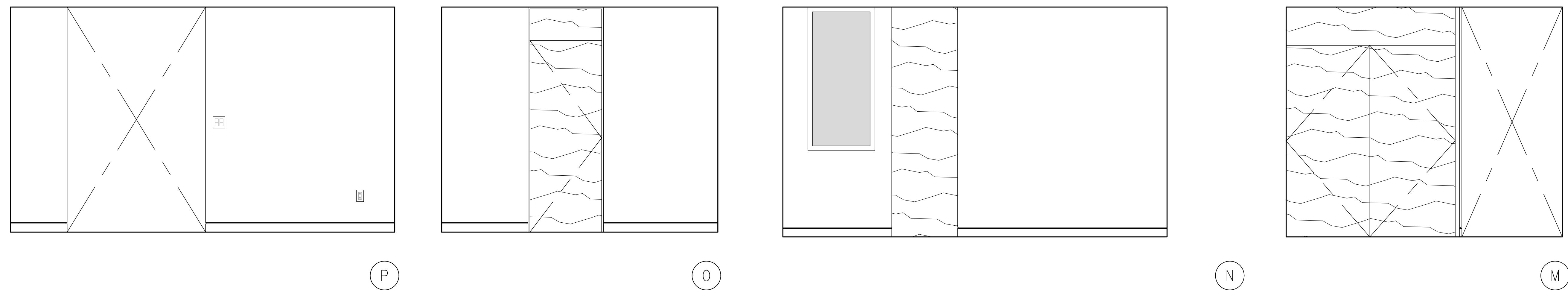
BATH 1 #107

1/2" = 1'-0"



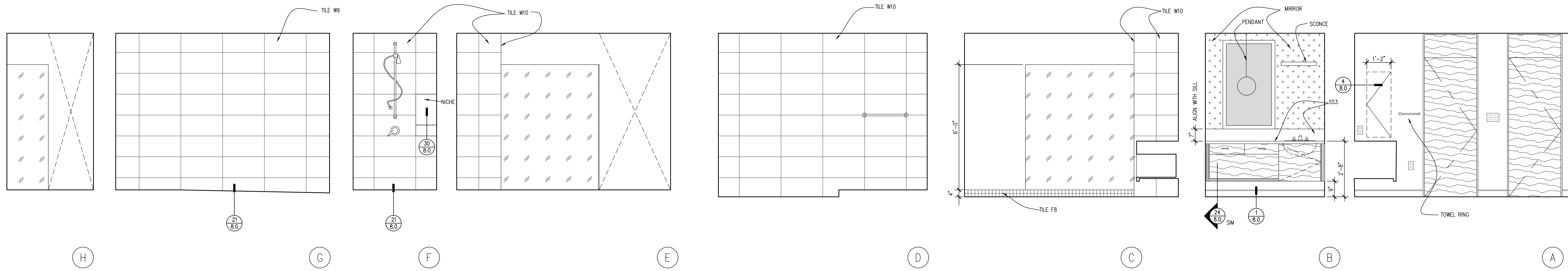
POWDER #217

1/2" = 1'-0"



COATS #216

1/2" = 1'-0"

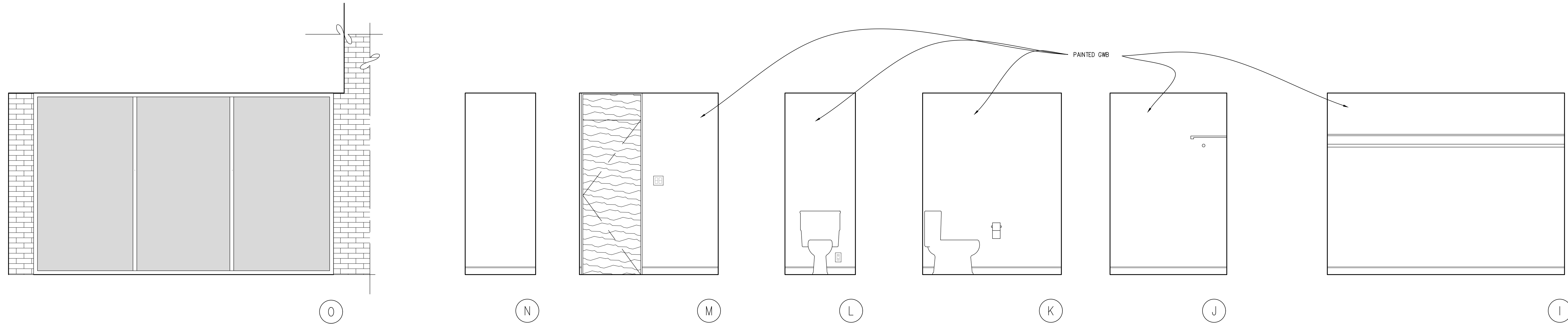


SHOWER 4

1/2" = 1'-0"

BATH #215

1/2" = 1'-0"

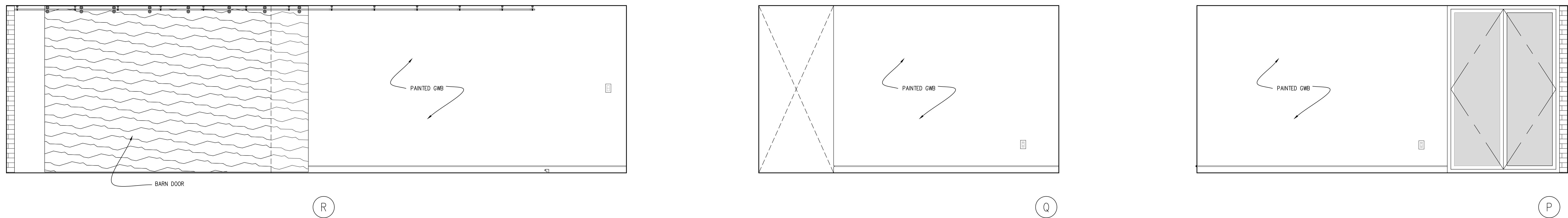


WC #214

1/2" = 1'-0"

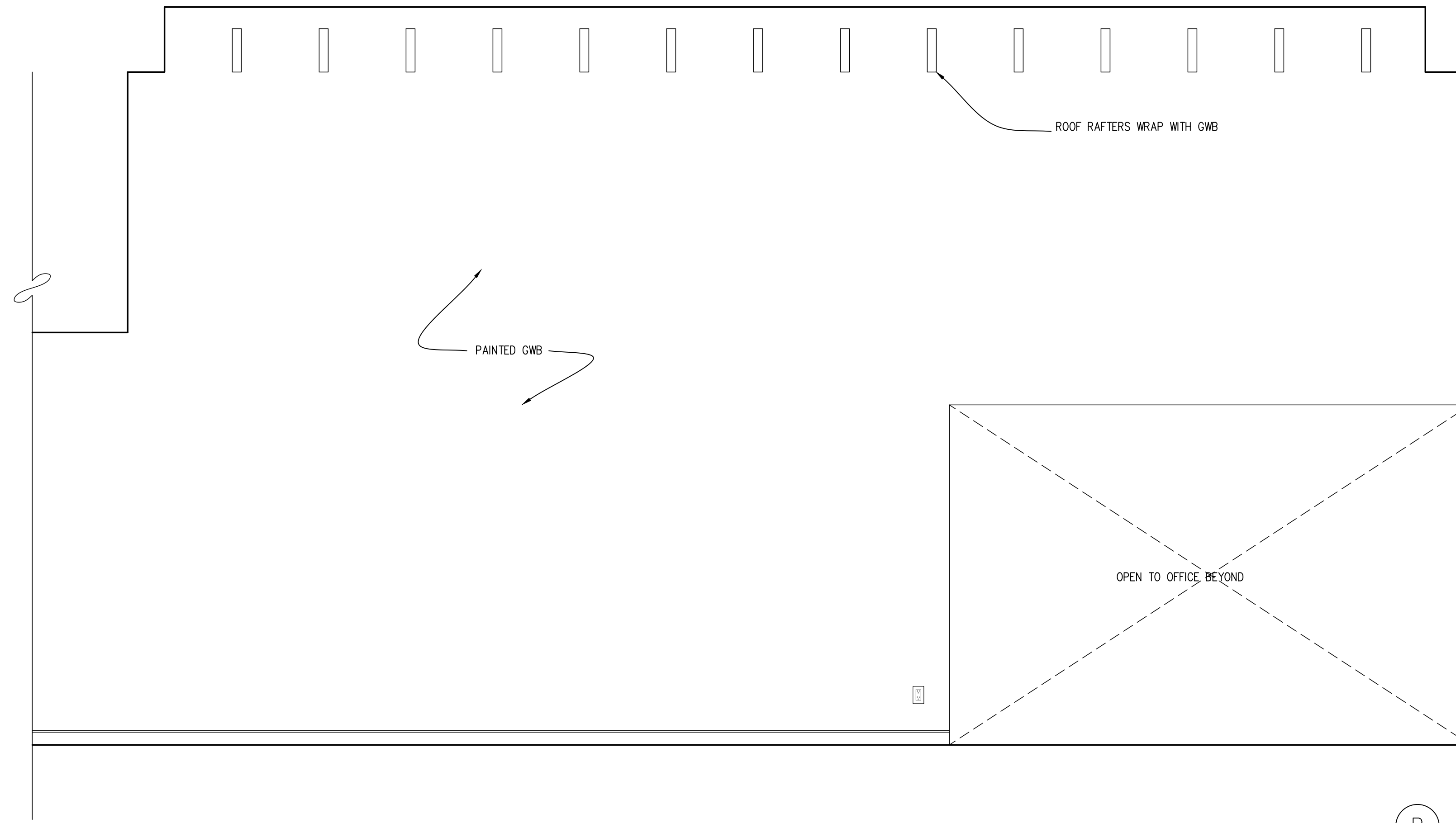
CLOSET #213

1/2" = 1'-0"

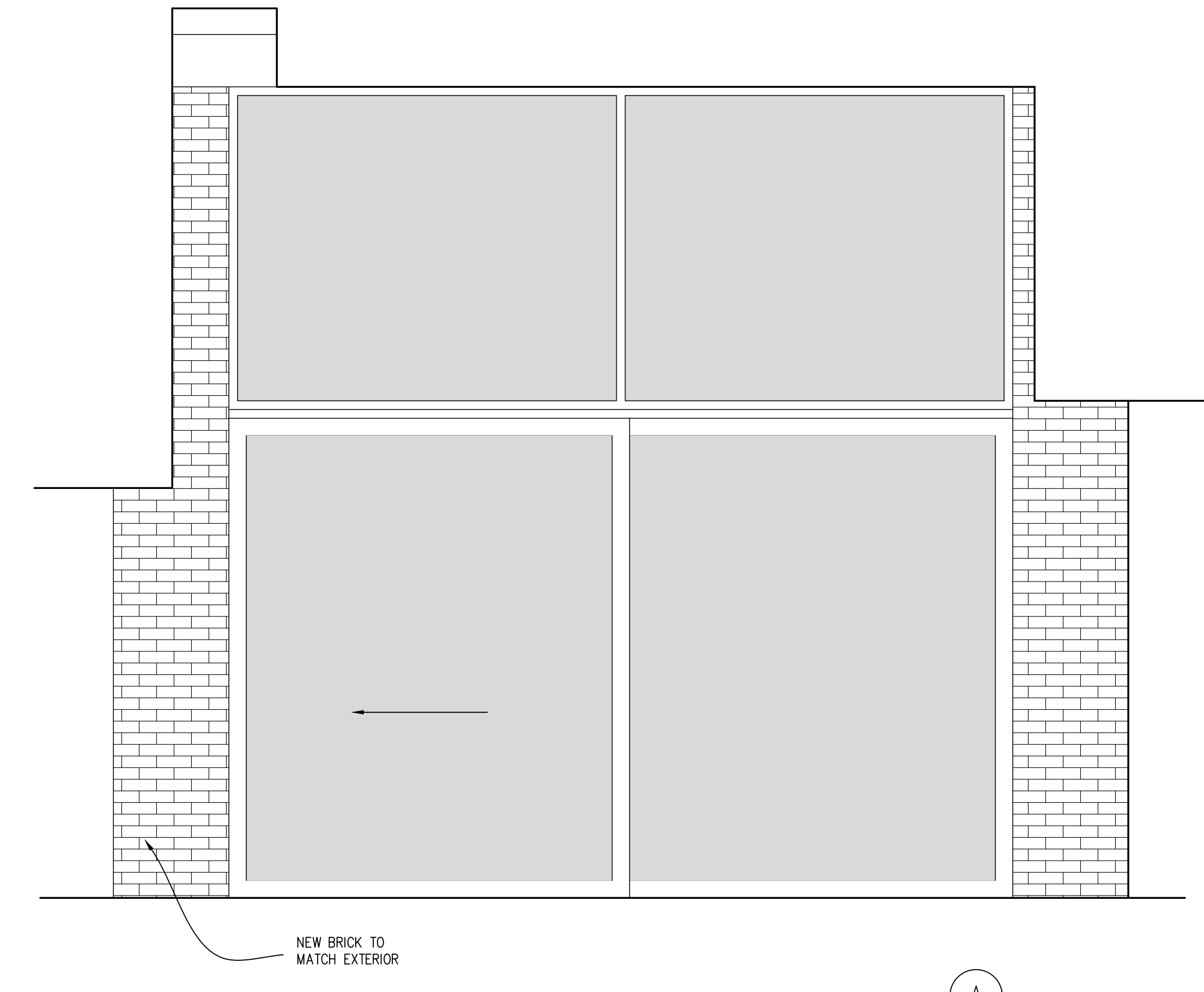


OFFICE #212

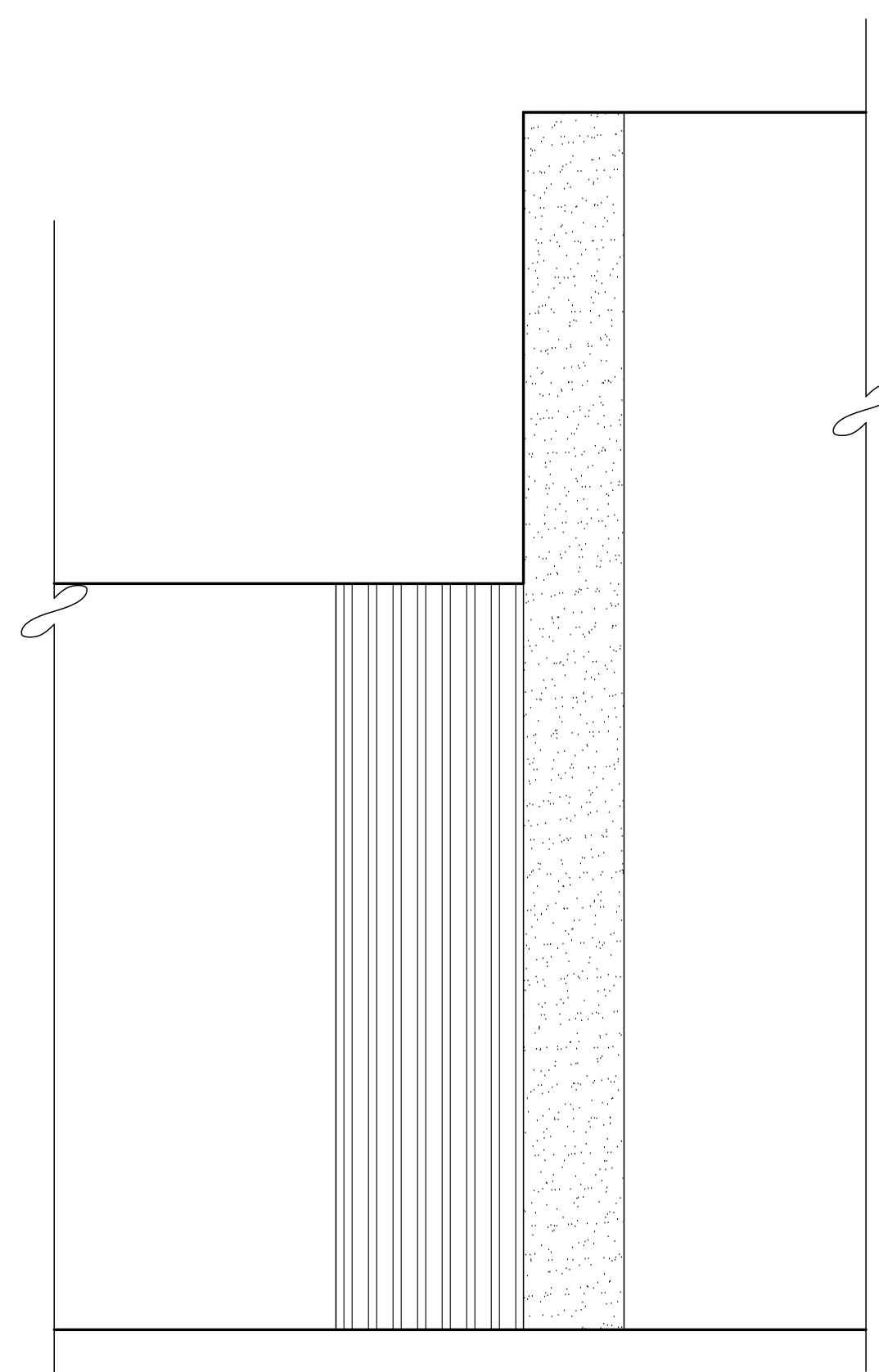
1/2" = 1'-0"



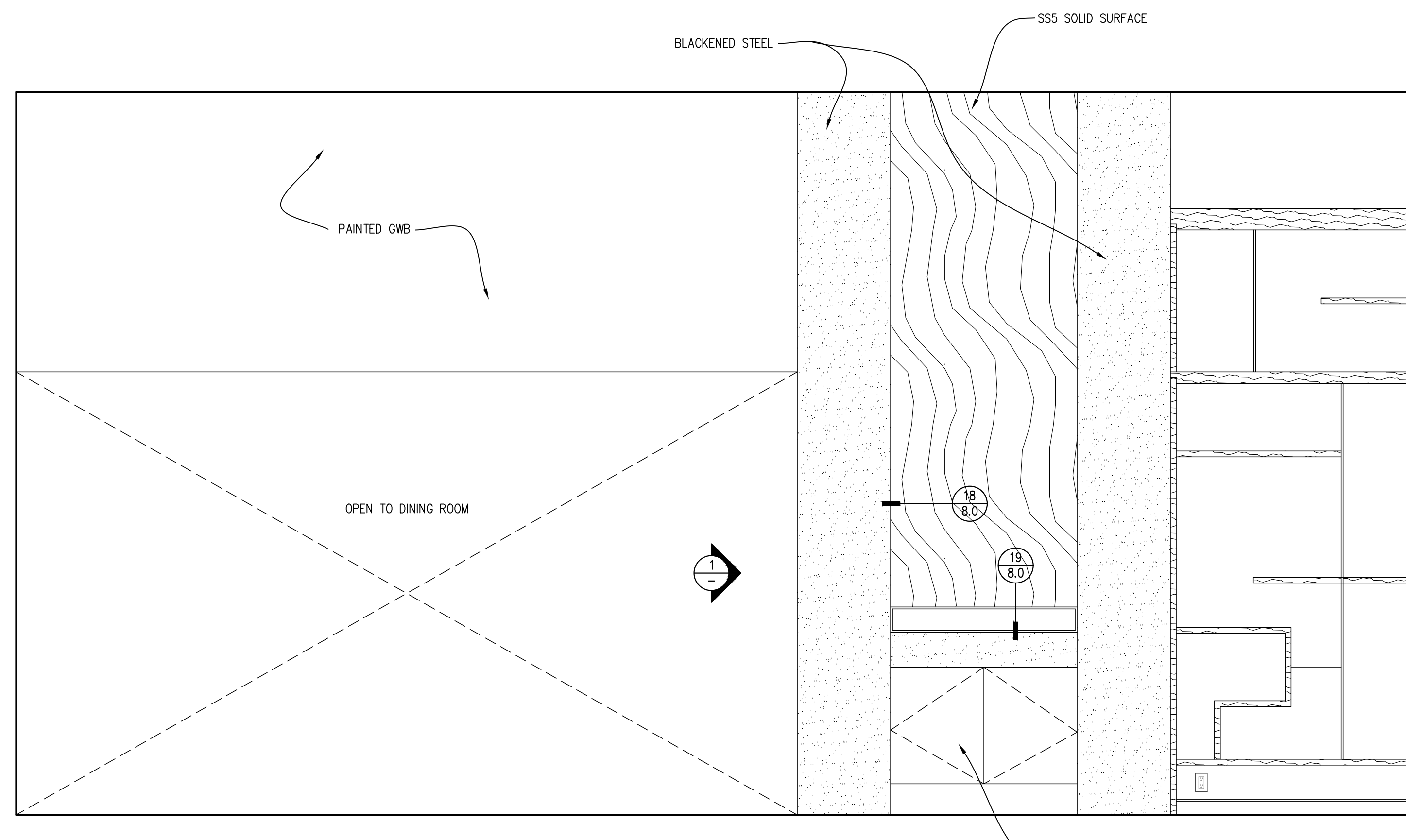
(B)



(A)

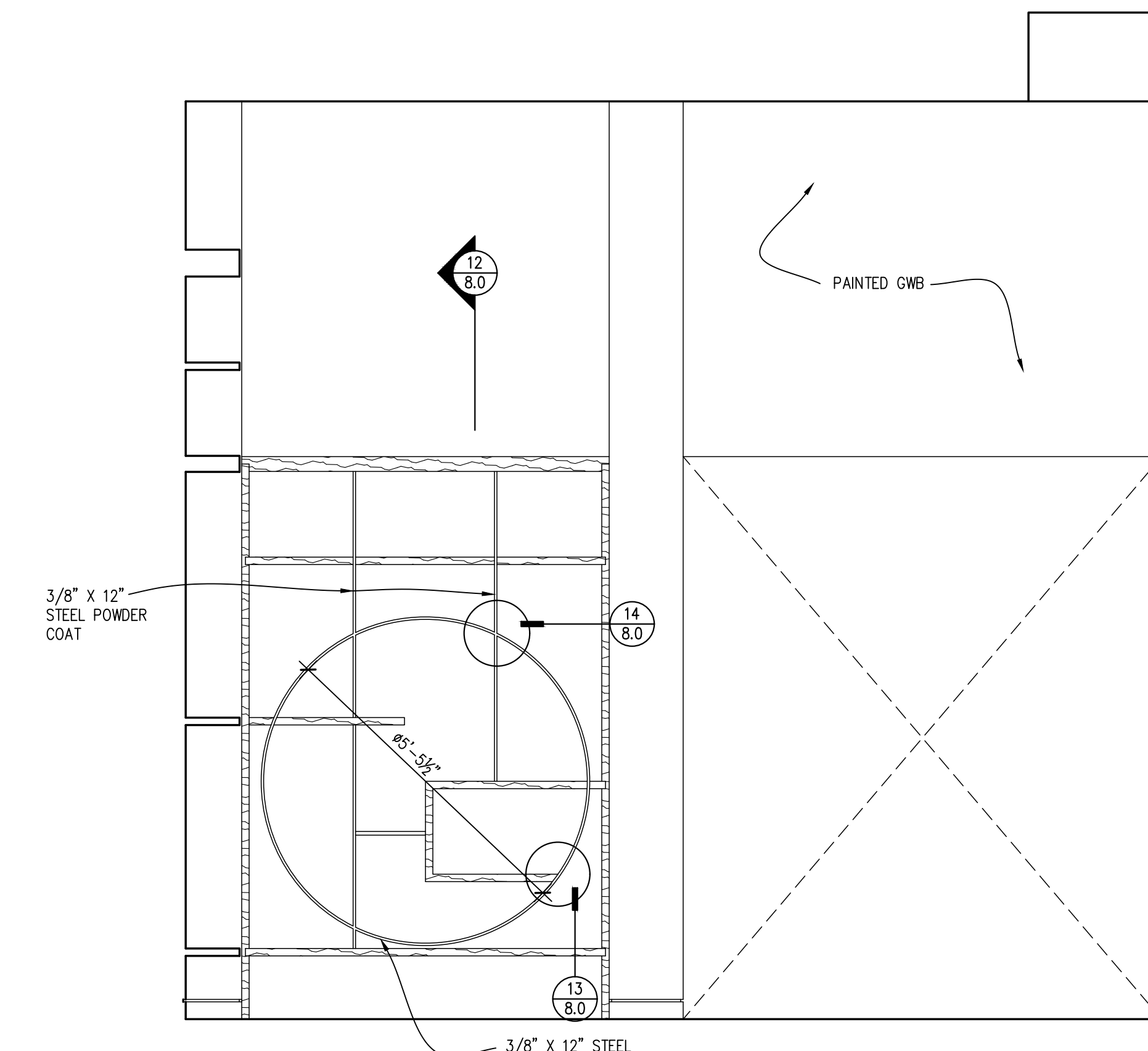


1 ELEVATION
1/2" = 1'-0"

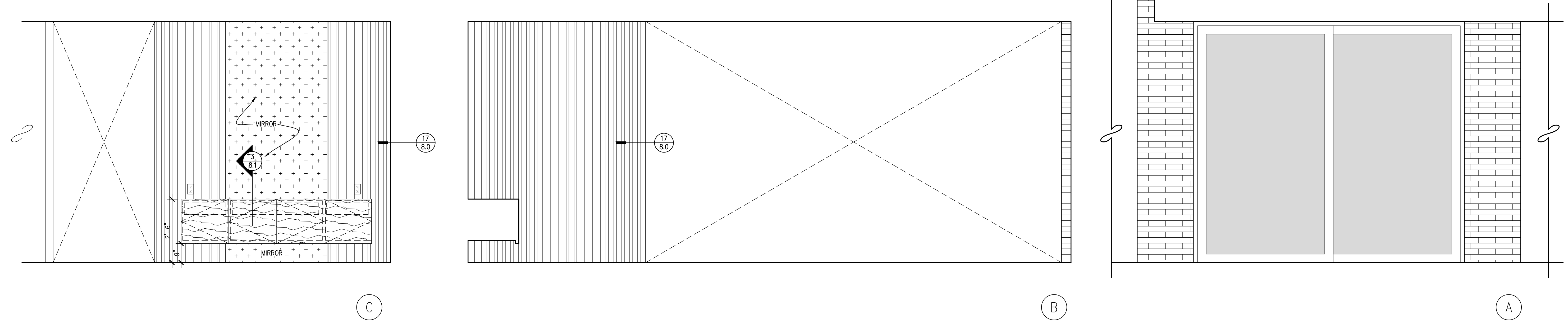


LIVING ROOM #211
1/2" = 1'-0"

(D)

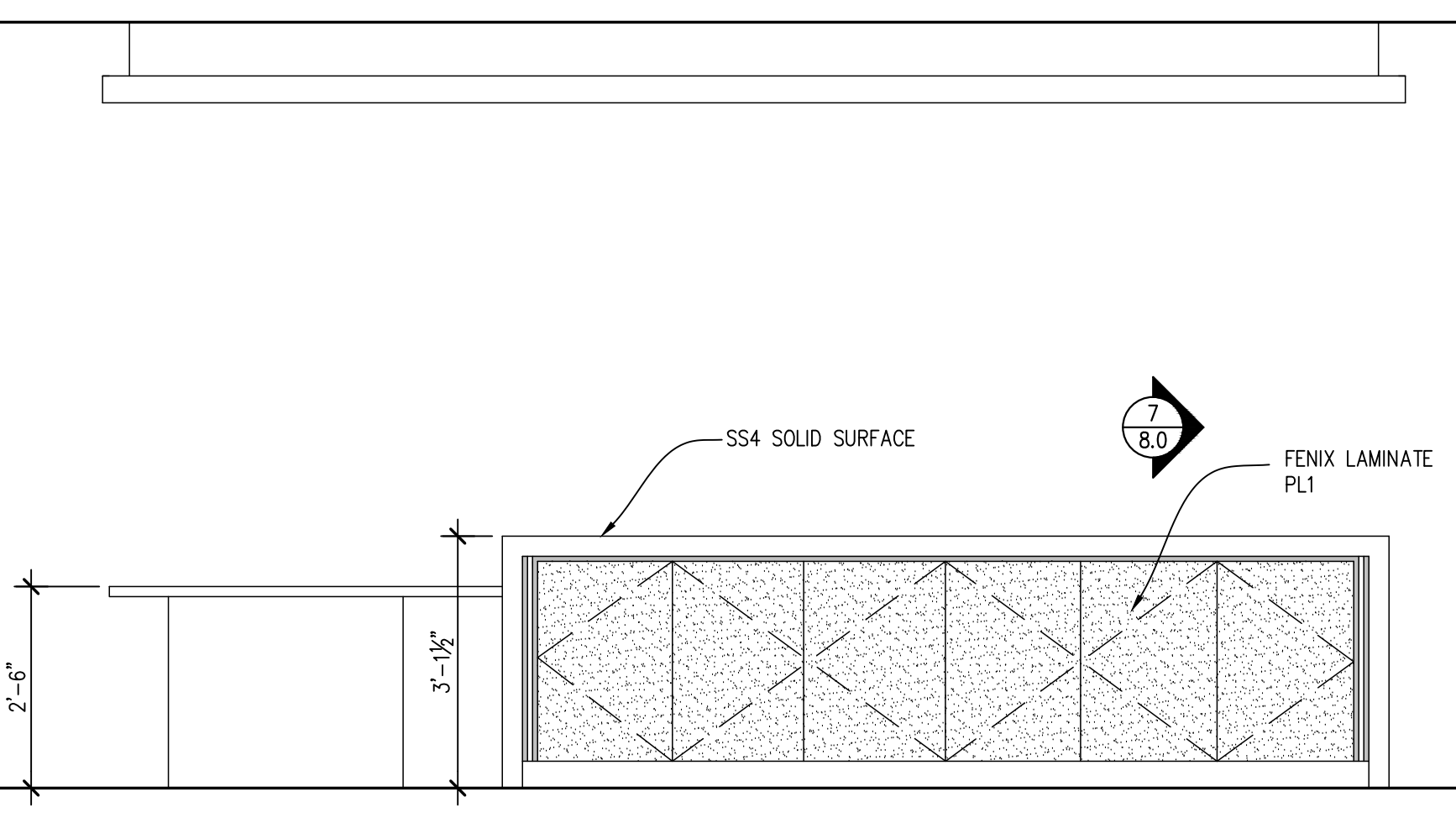
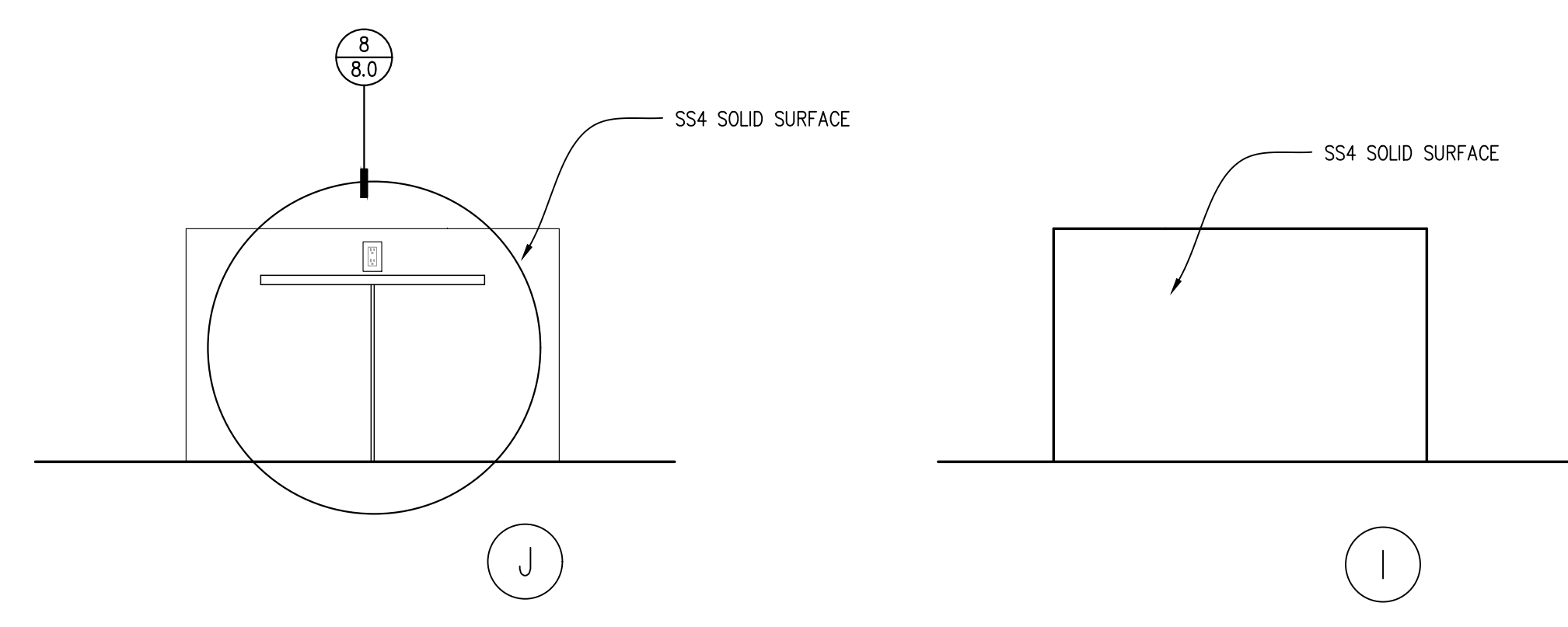


(C)



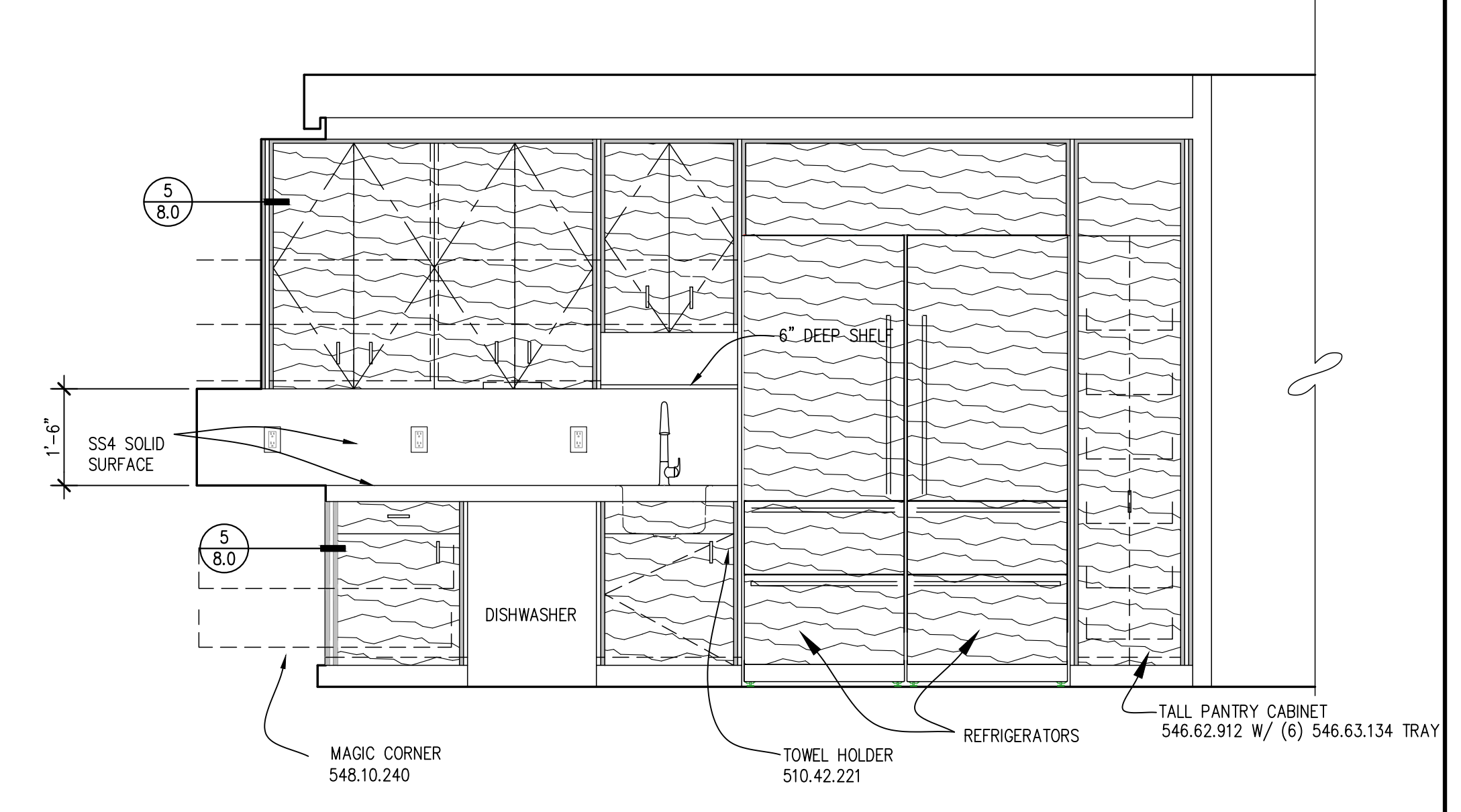
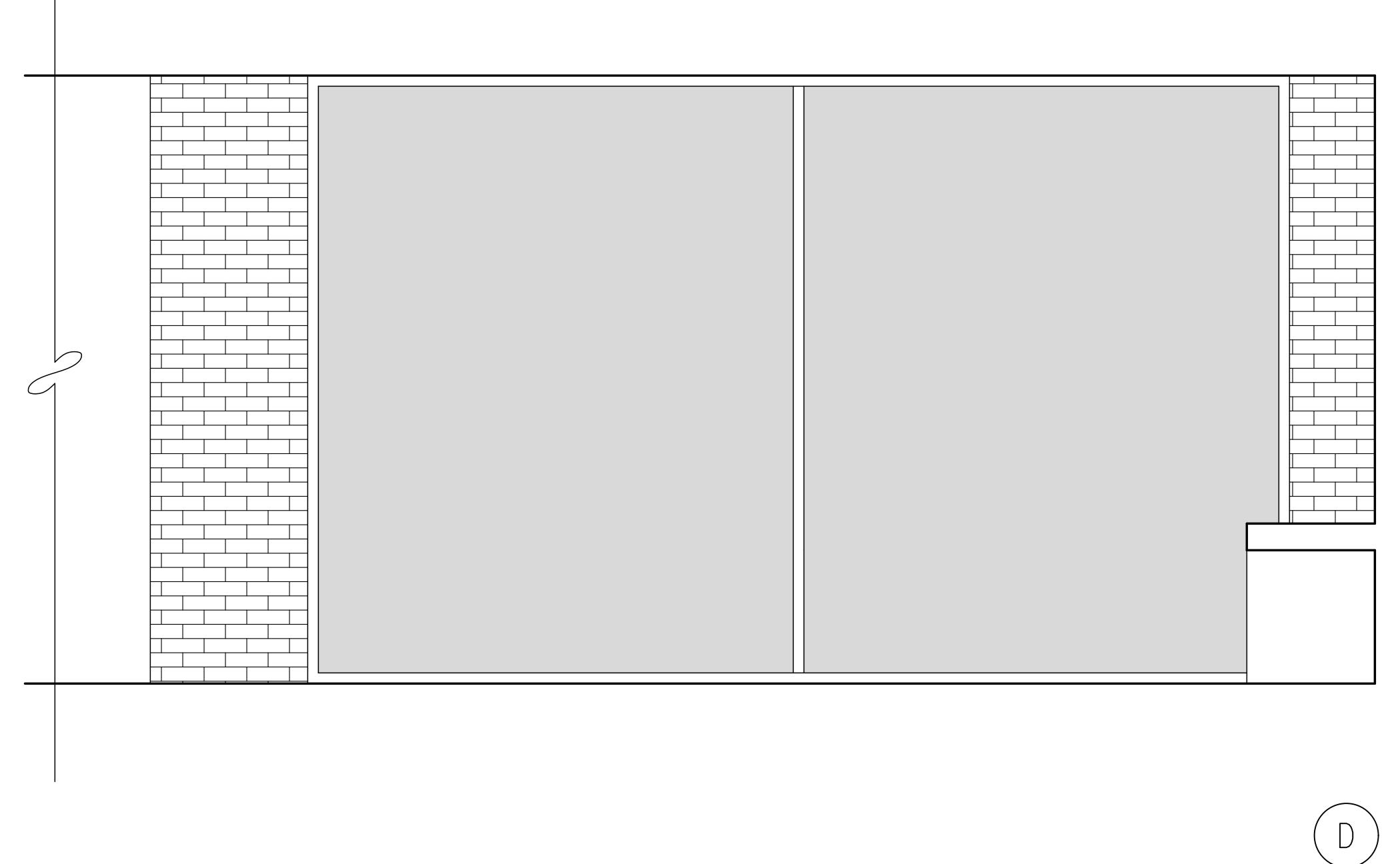
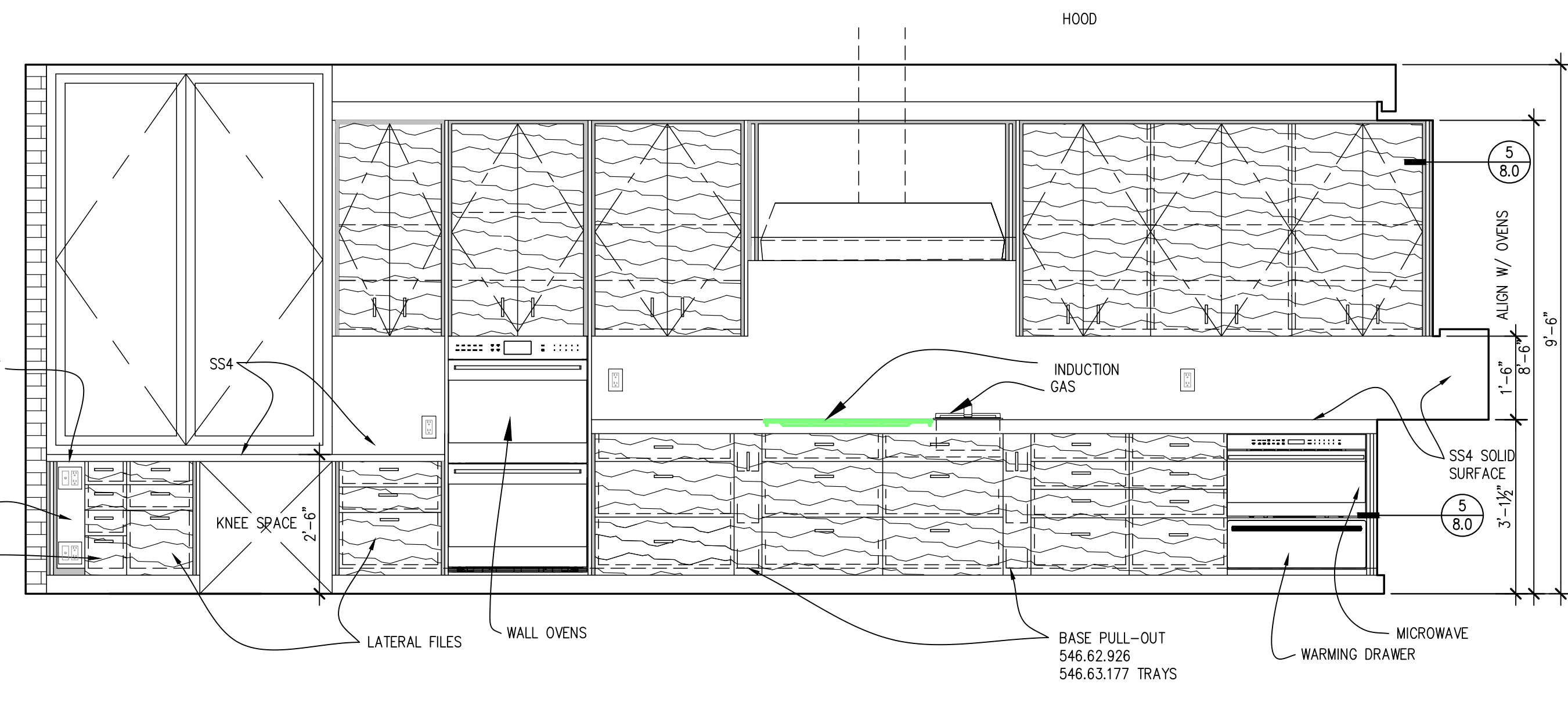
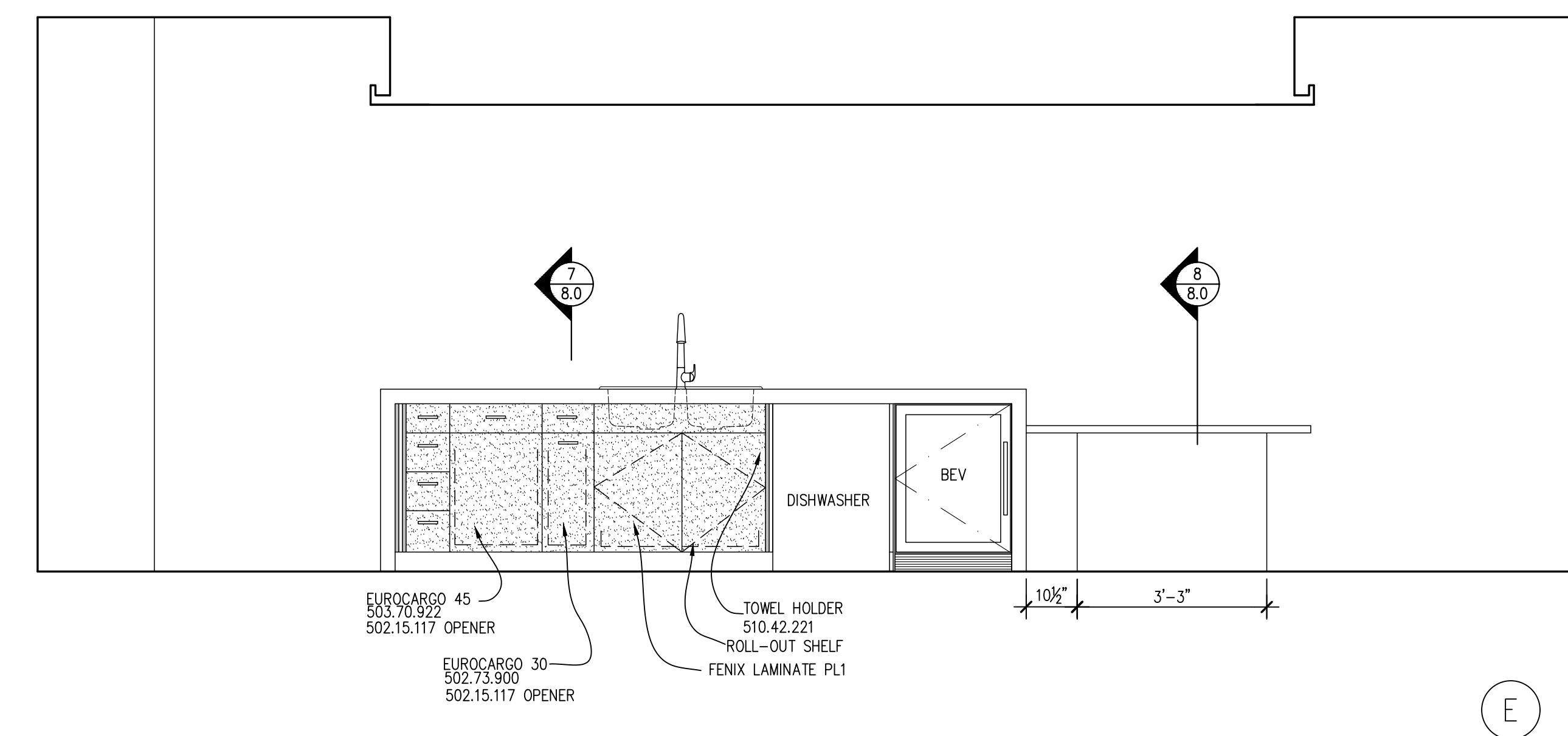
DINING #210

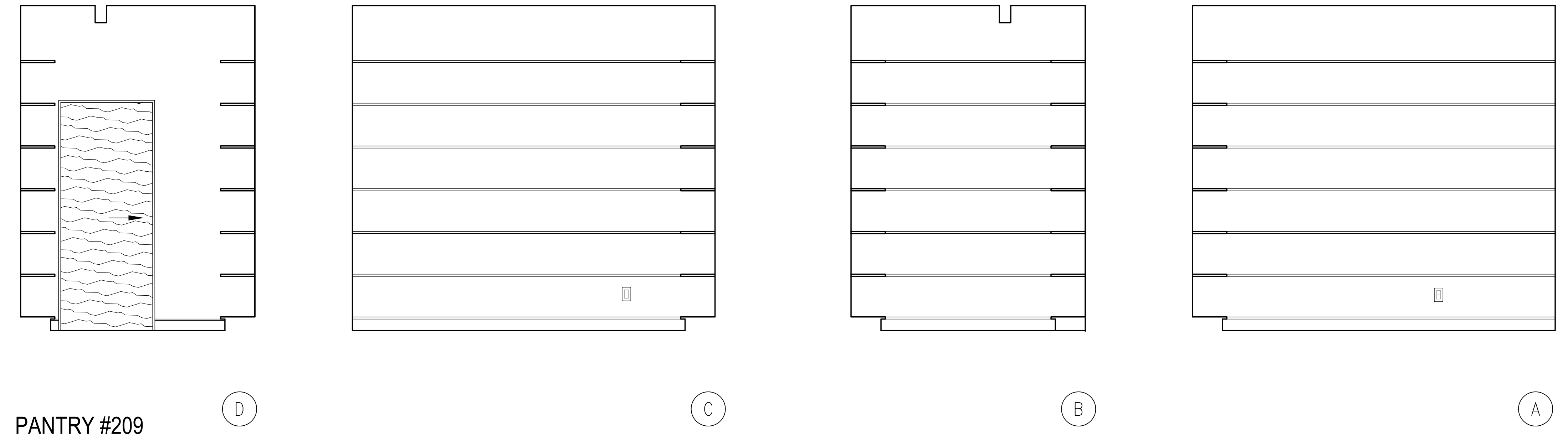
1/2" = 1'-0"



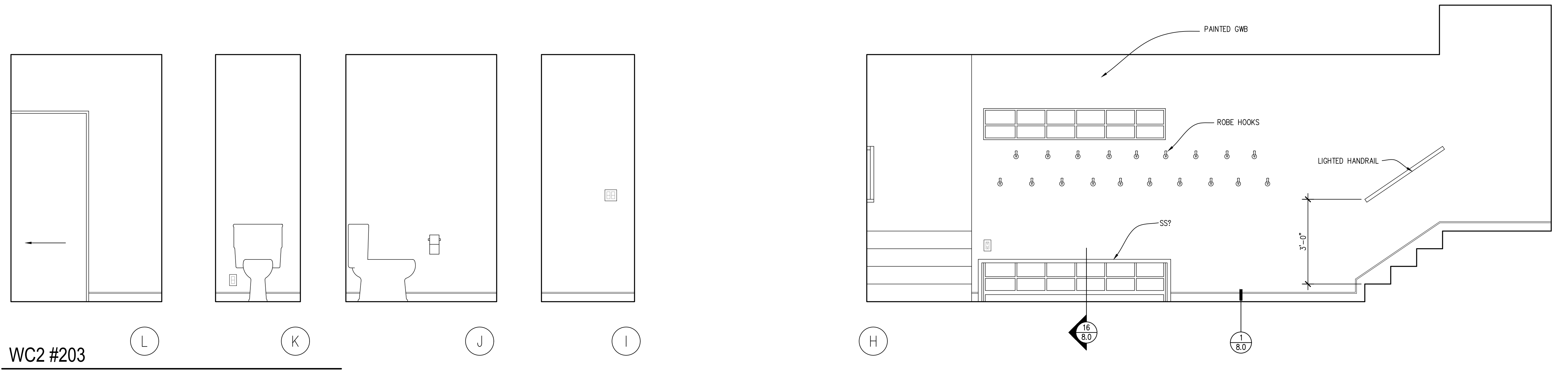
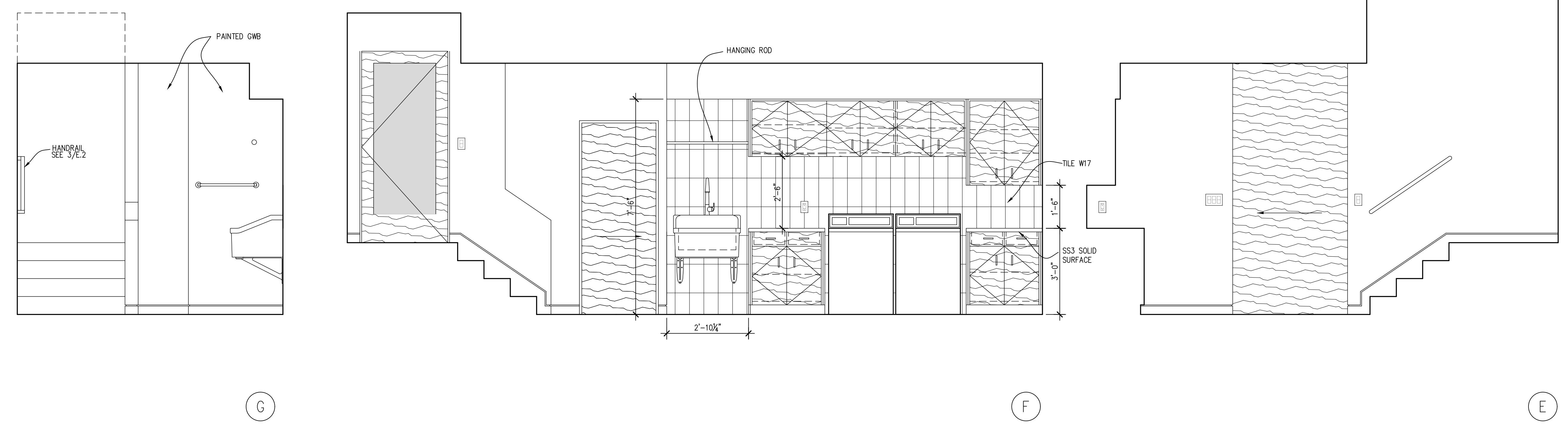
KITCHEN #207

1/2" = 1'-0"



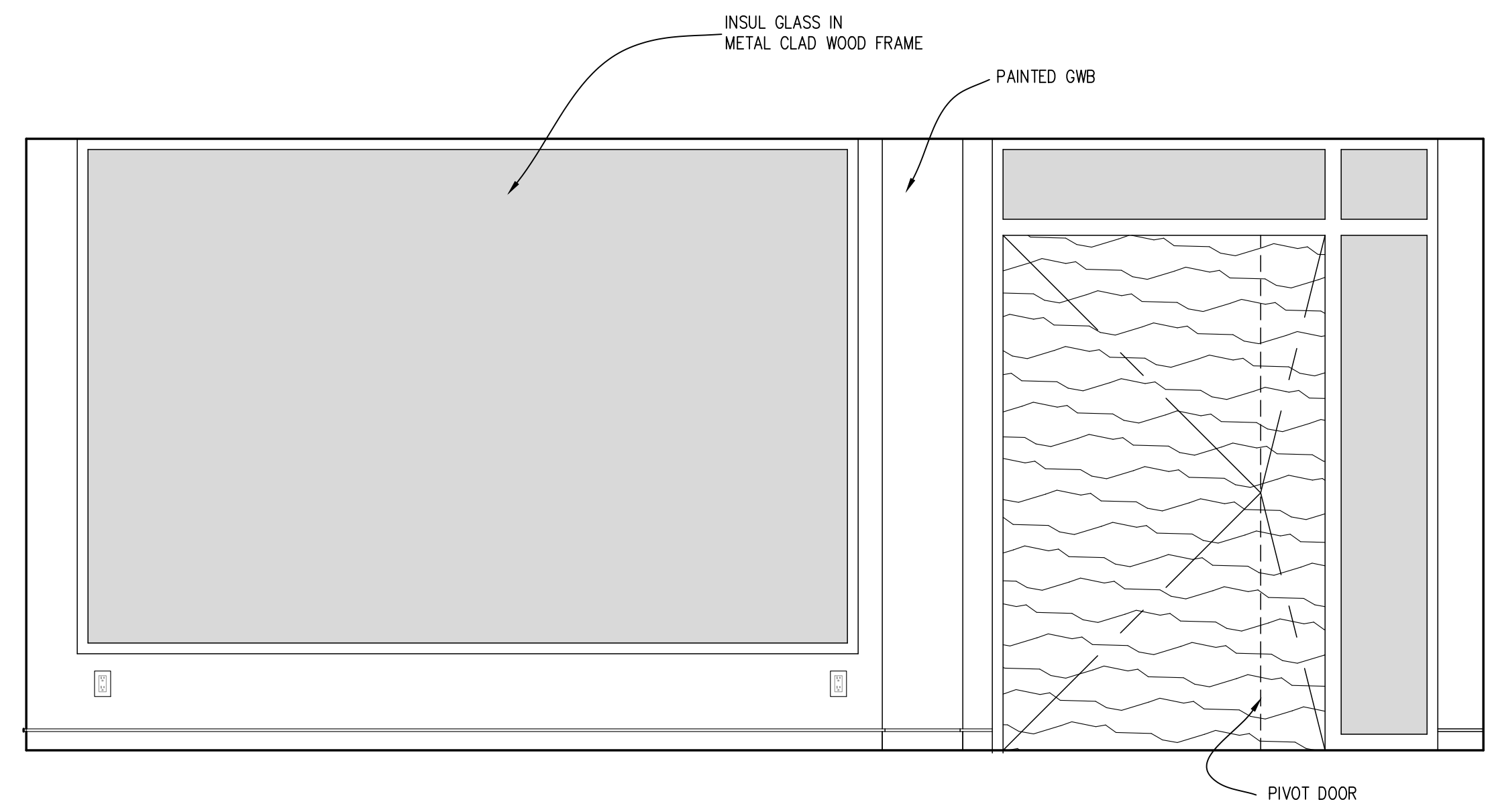


PANTRY #209
 1/2" = 1'-0"

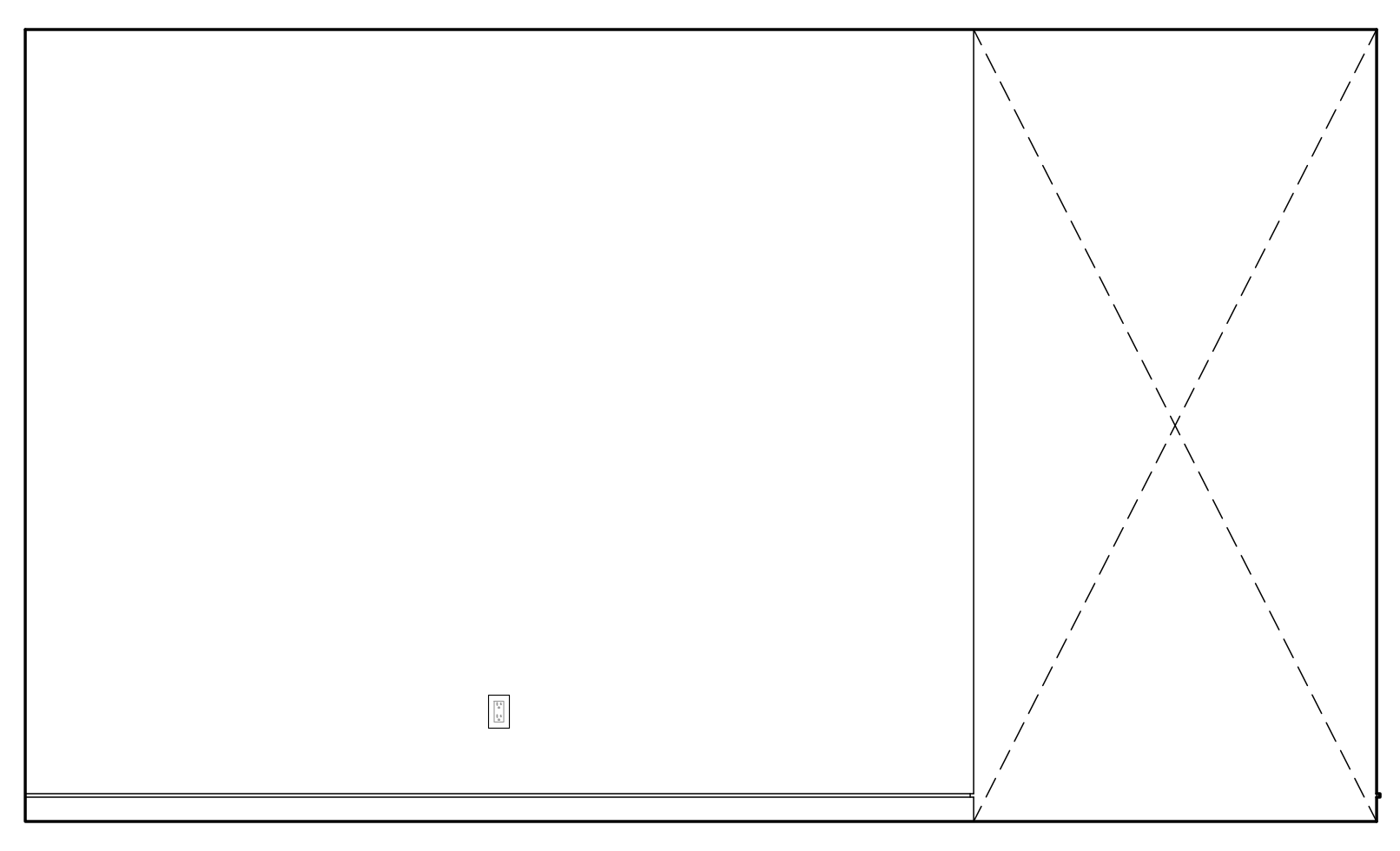


WC #203
 1/2" = 1'-0"

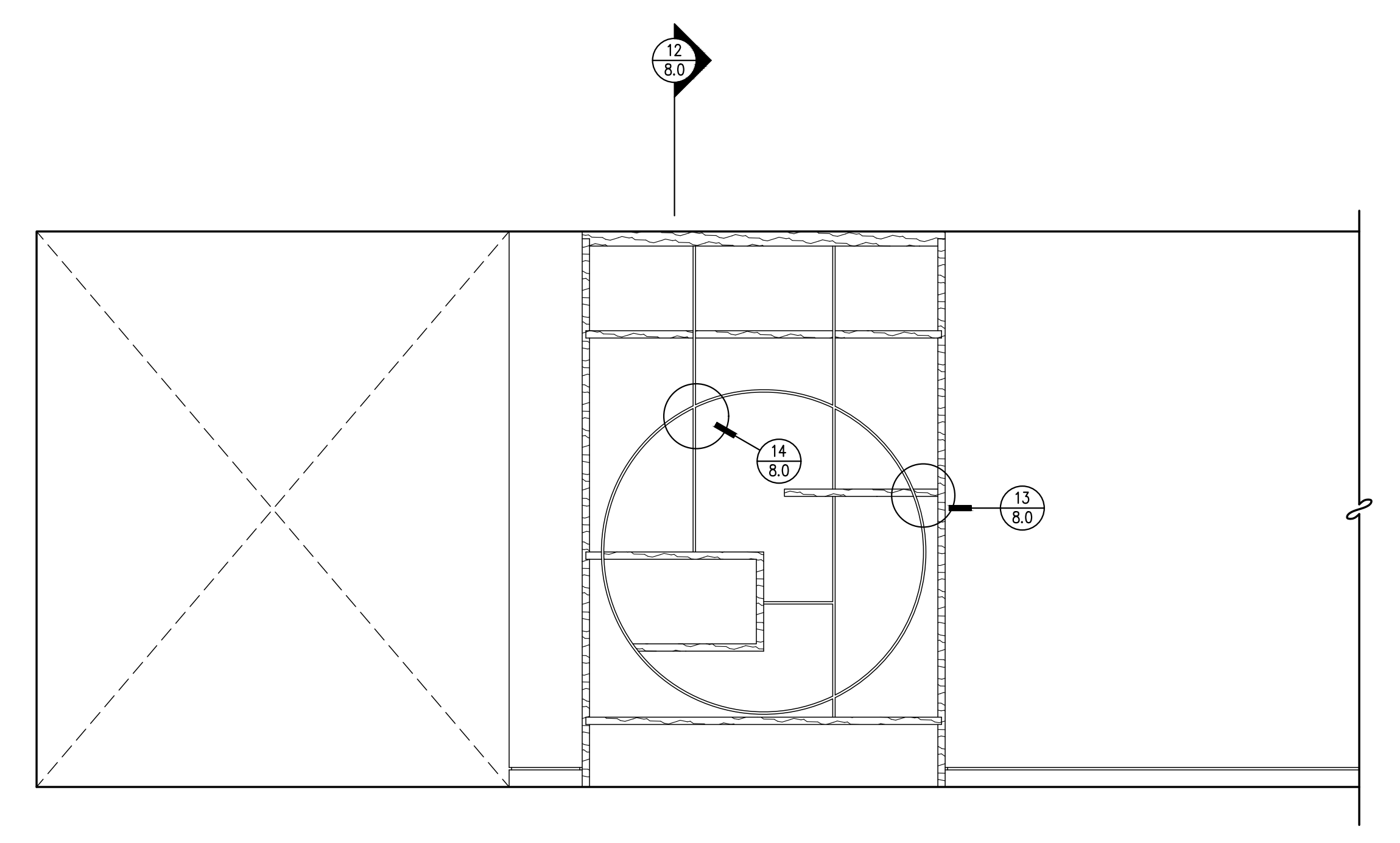
No.	Date	Revision



C

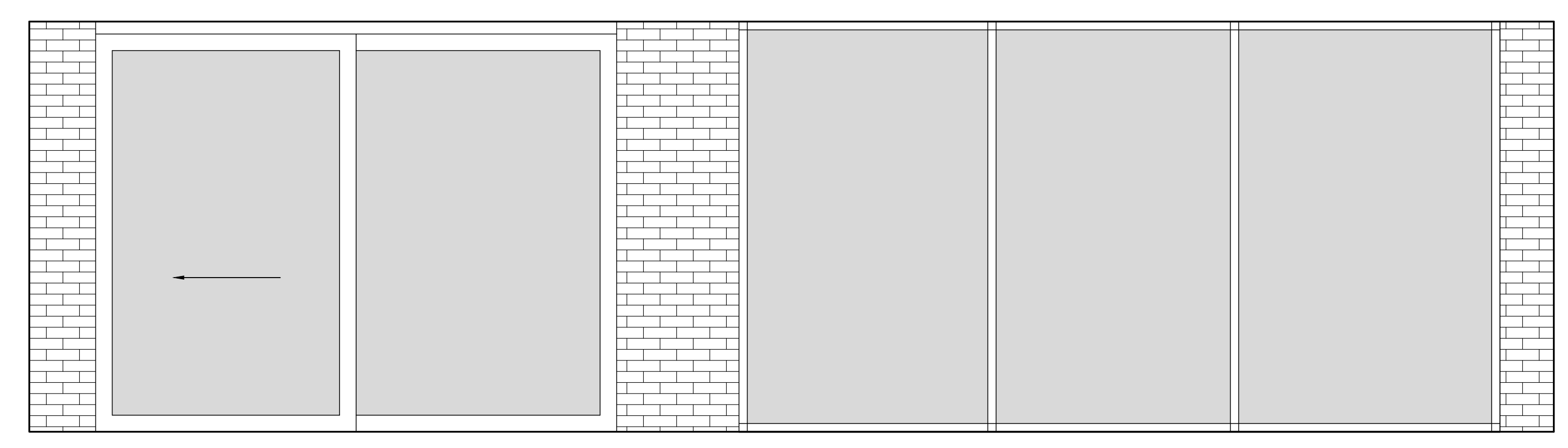


B

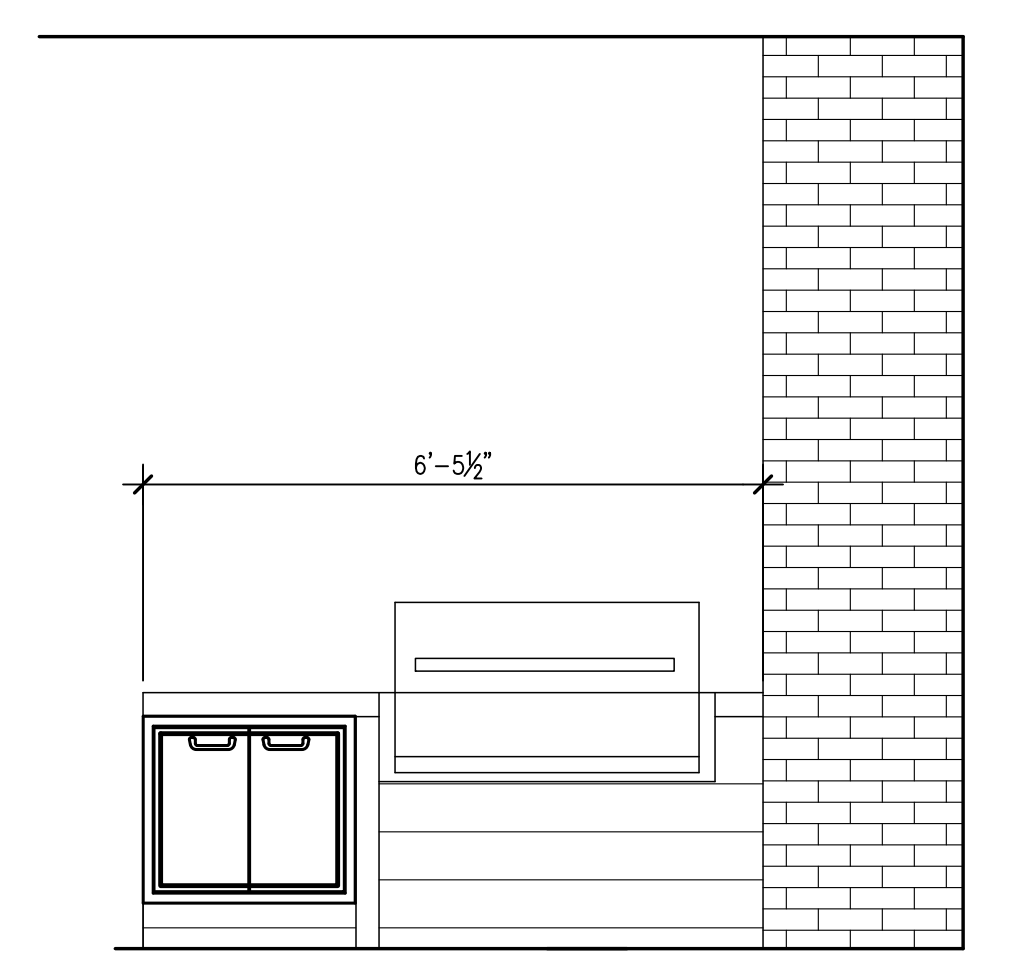


A

ENTRY/MUSIC #200/202
 1/2" = 1'-0"

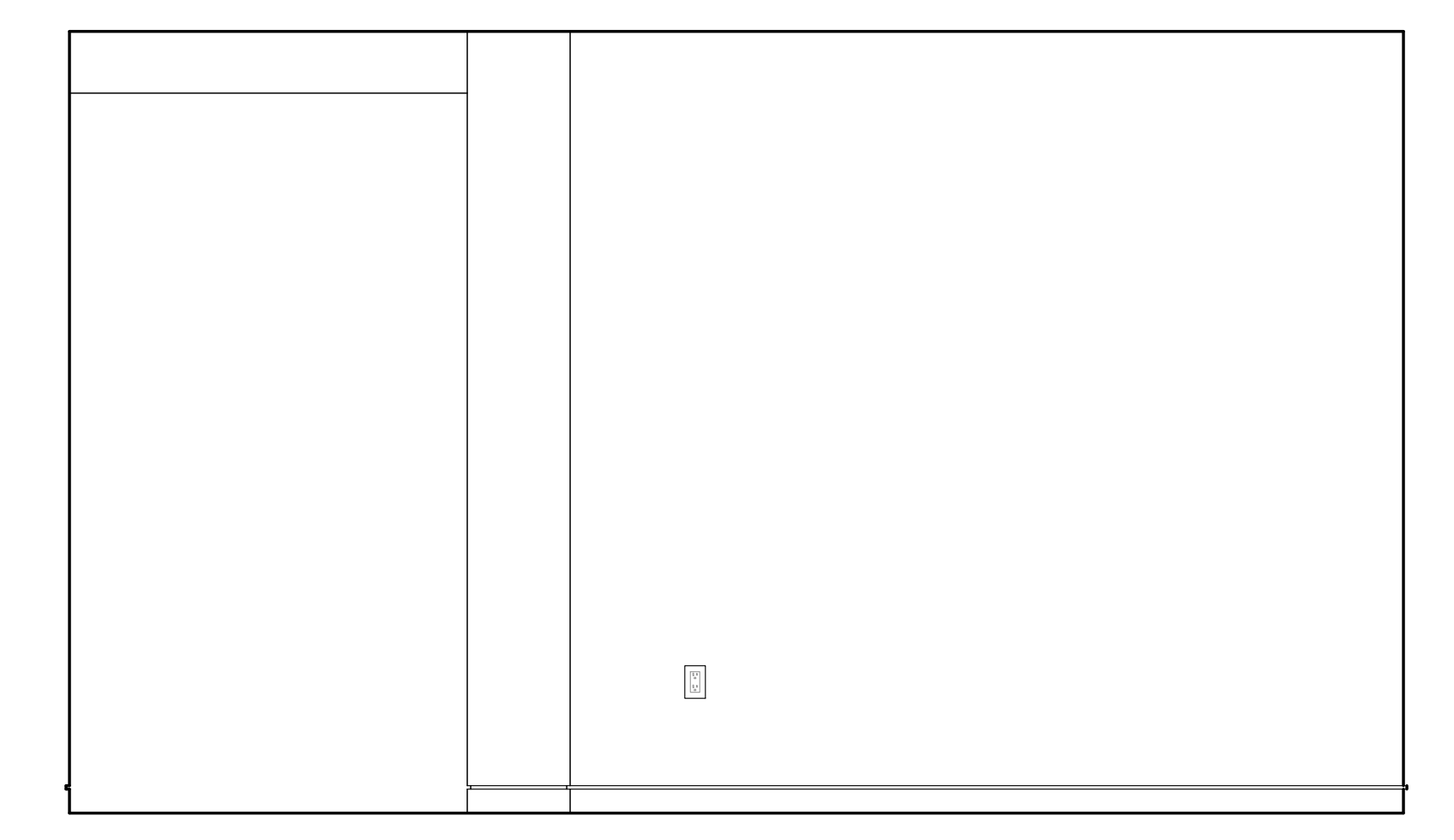


F

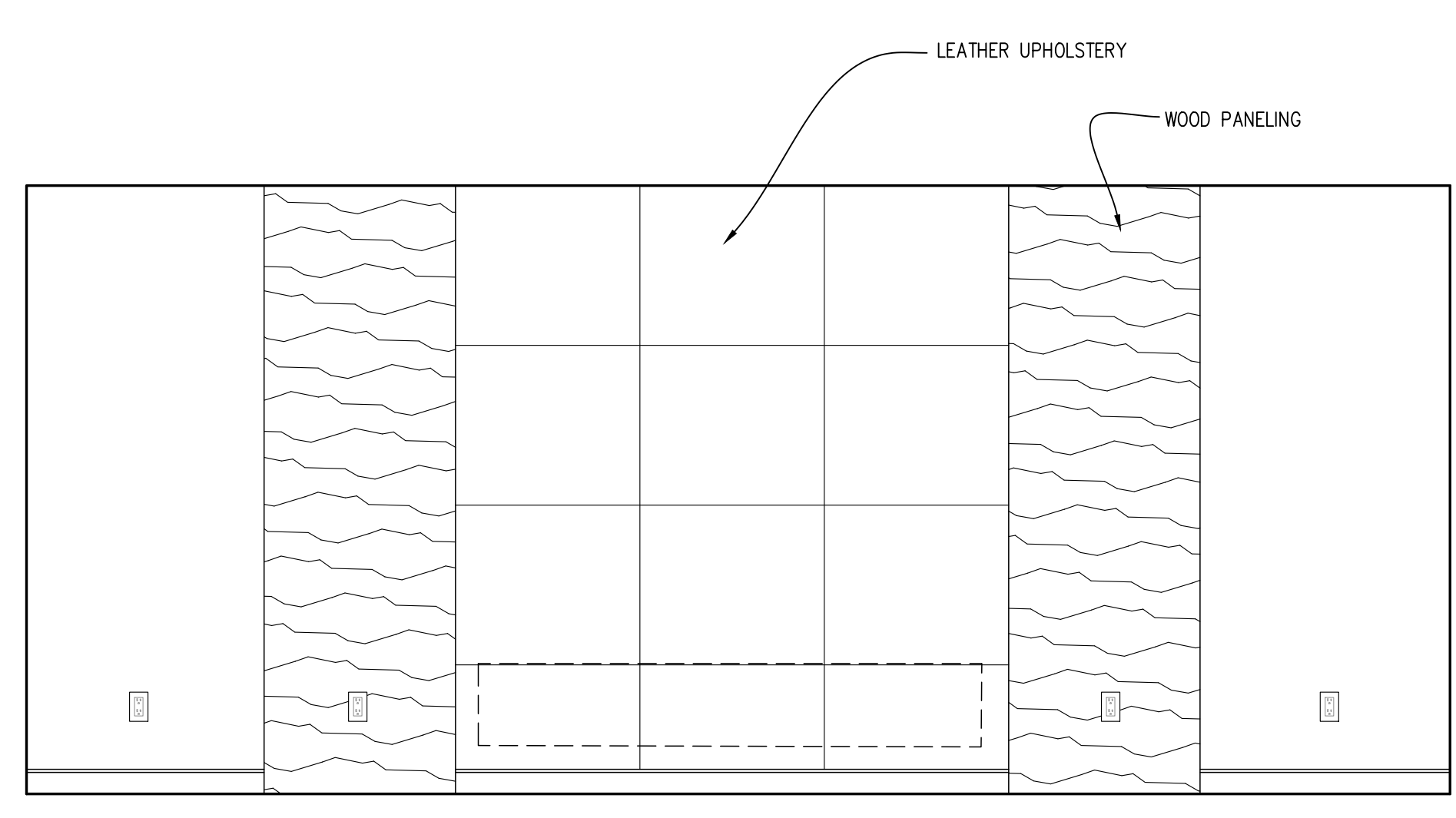


E

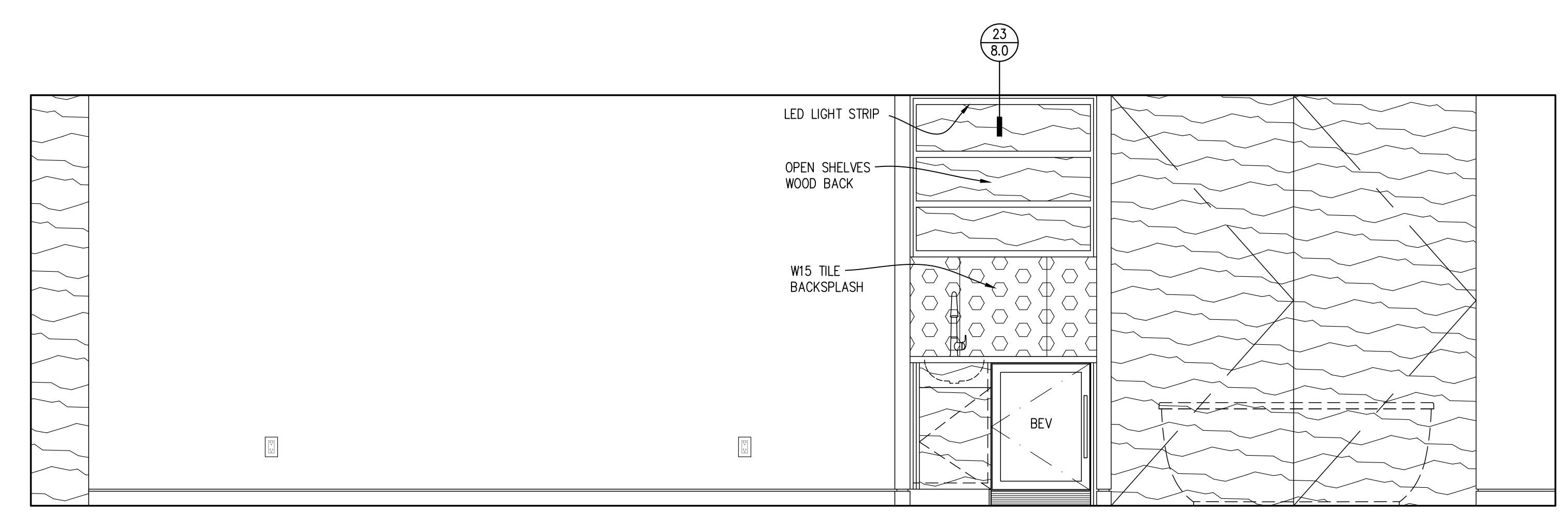
DECK
 1/2" = 1'-0"



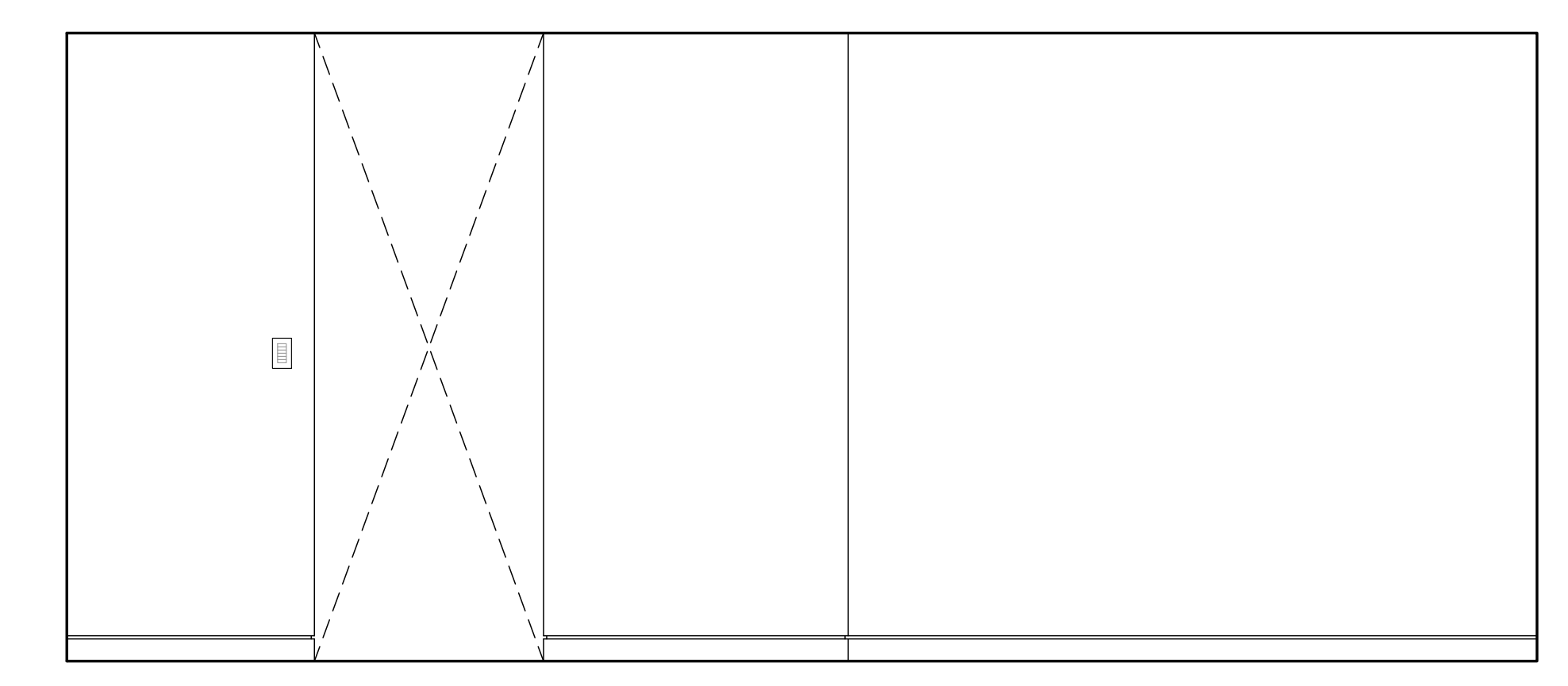
D



I

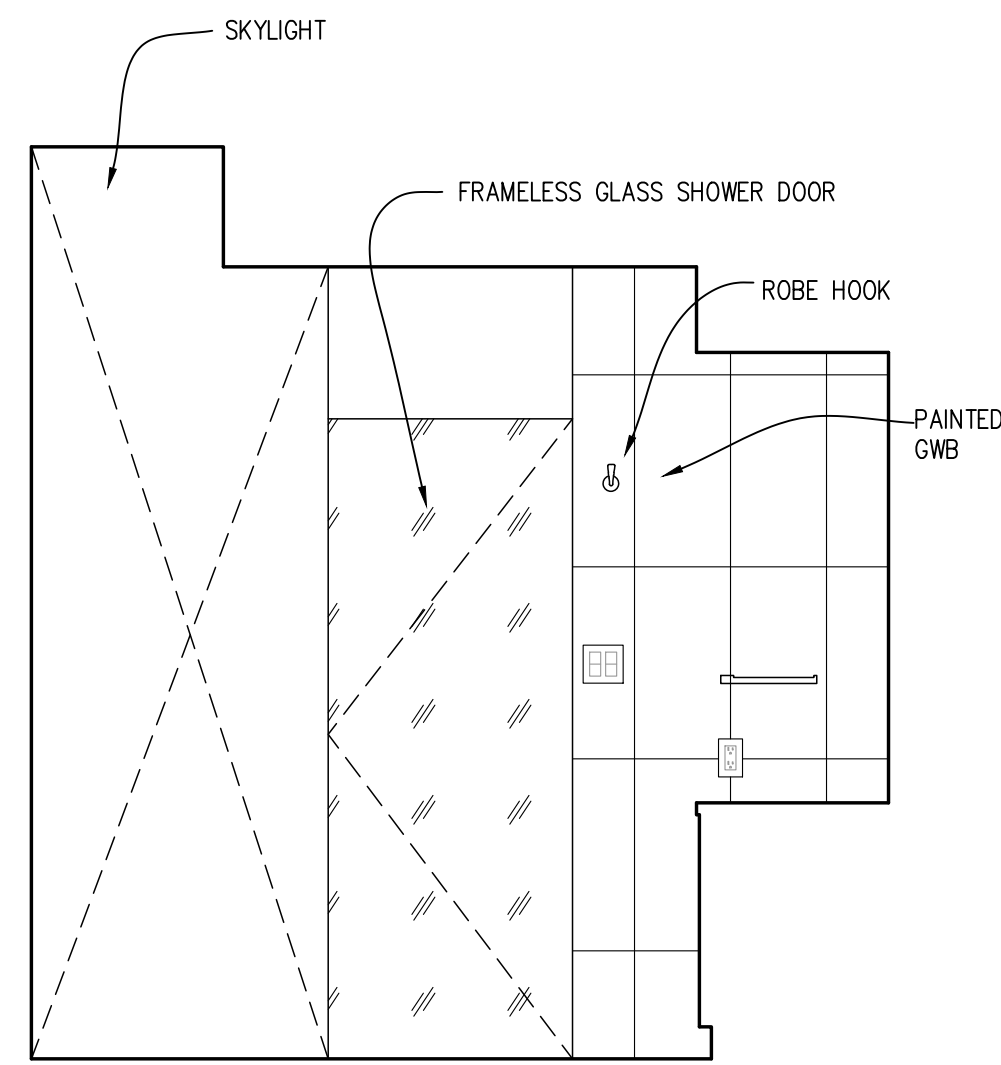


H

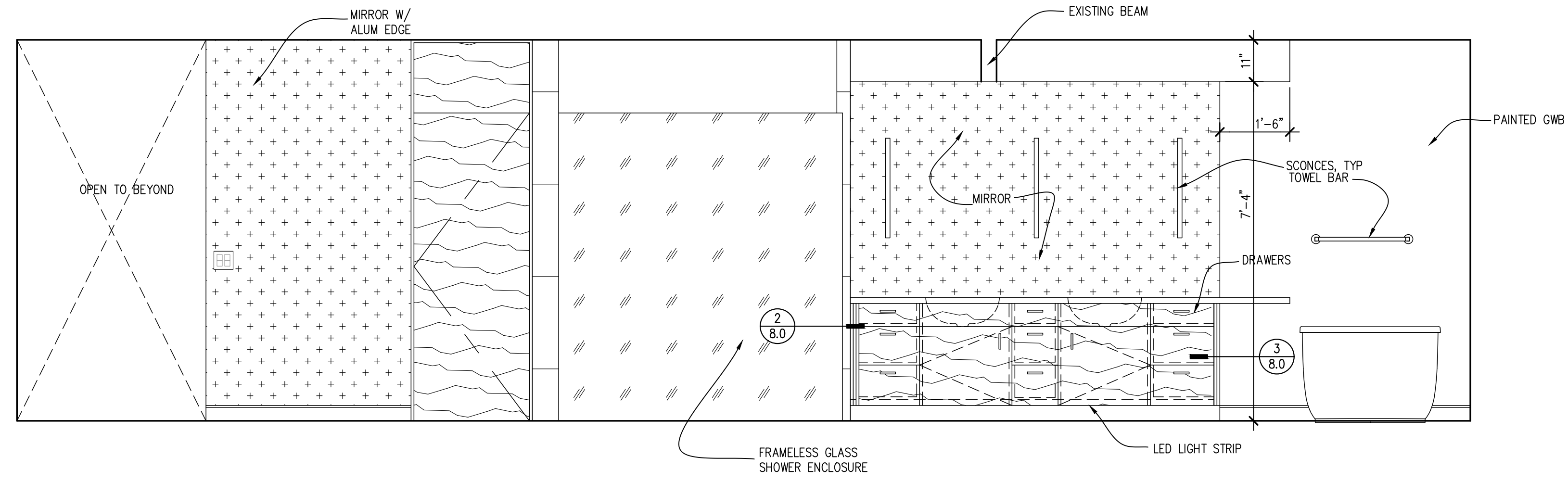


G

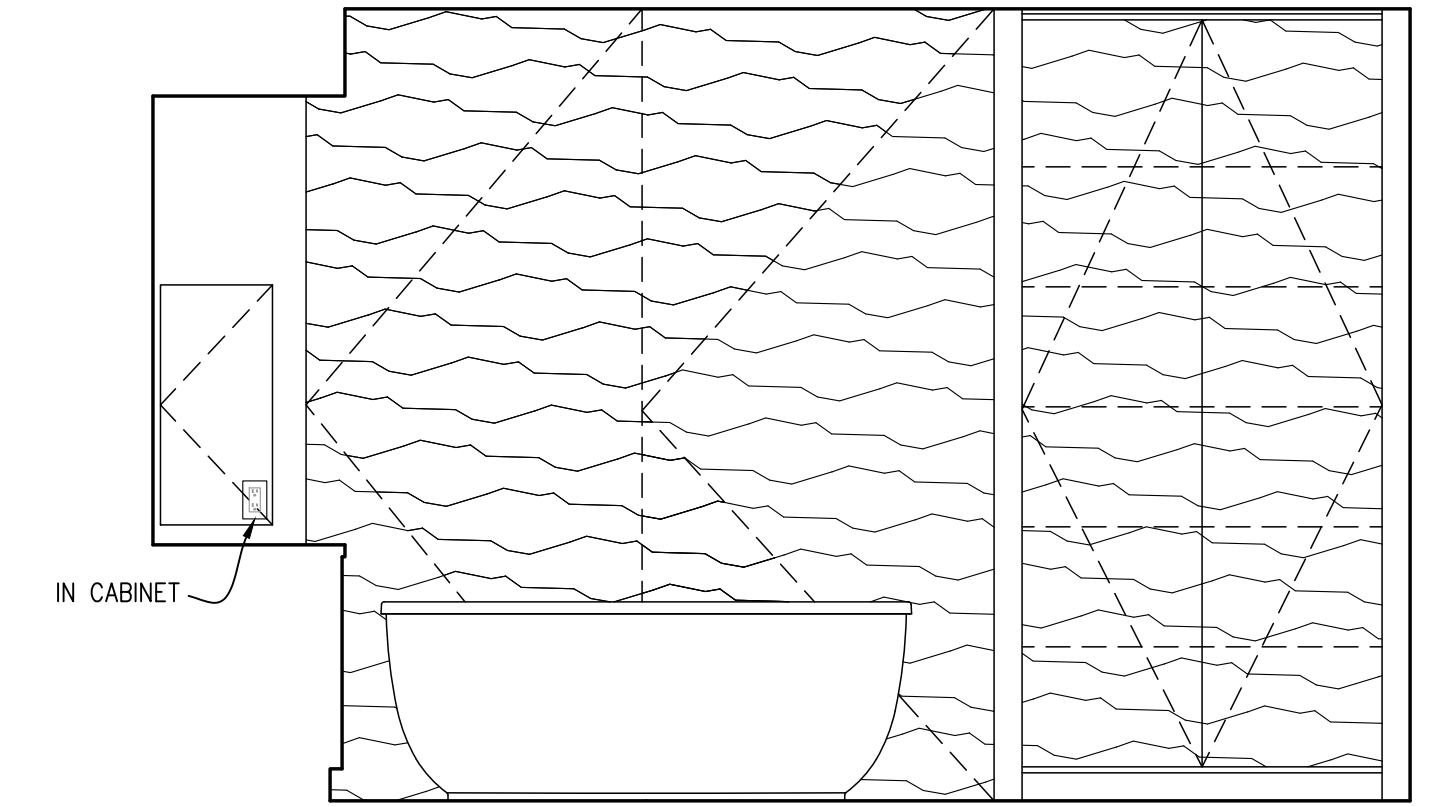
M. BEDROOM #306
 1/2" = 1'-0"



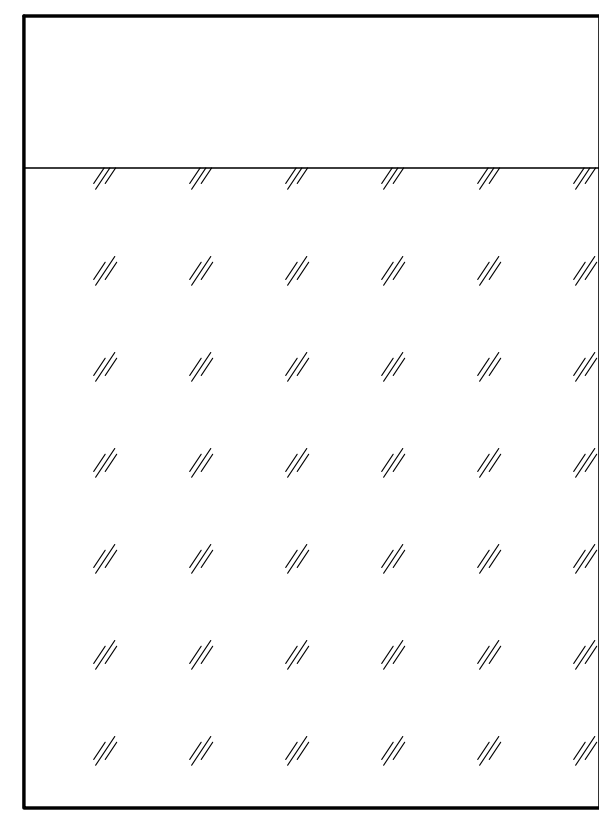
C



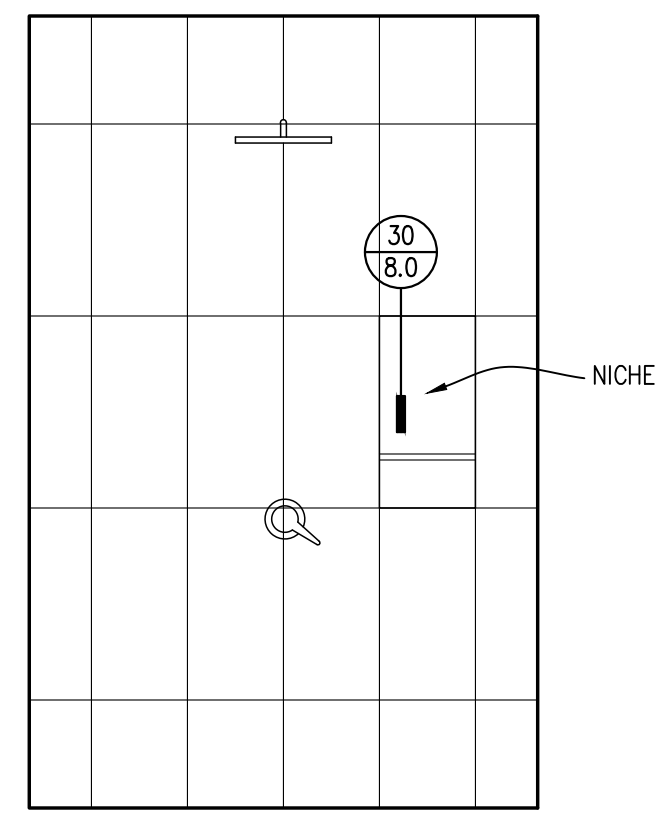
B



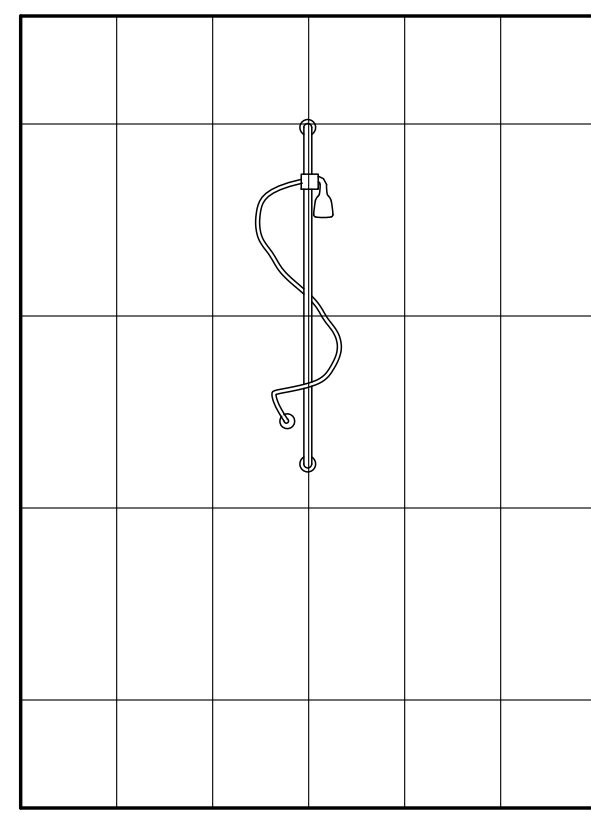
A



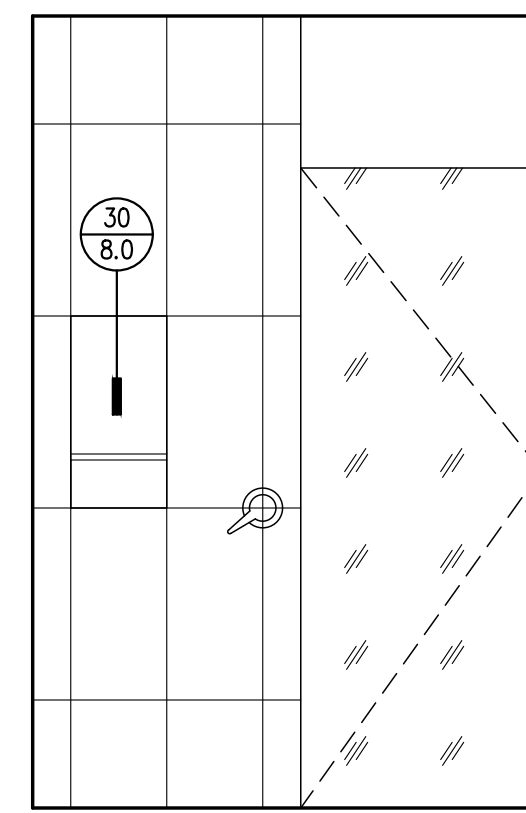
H



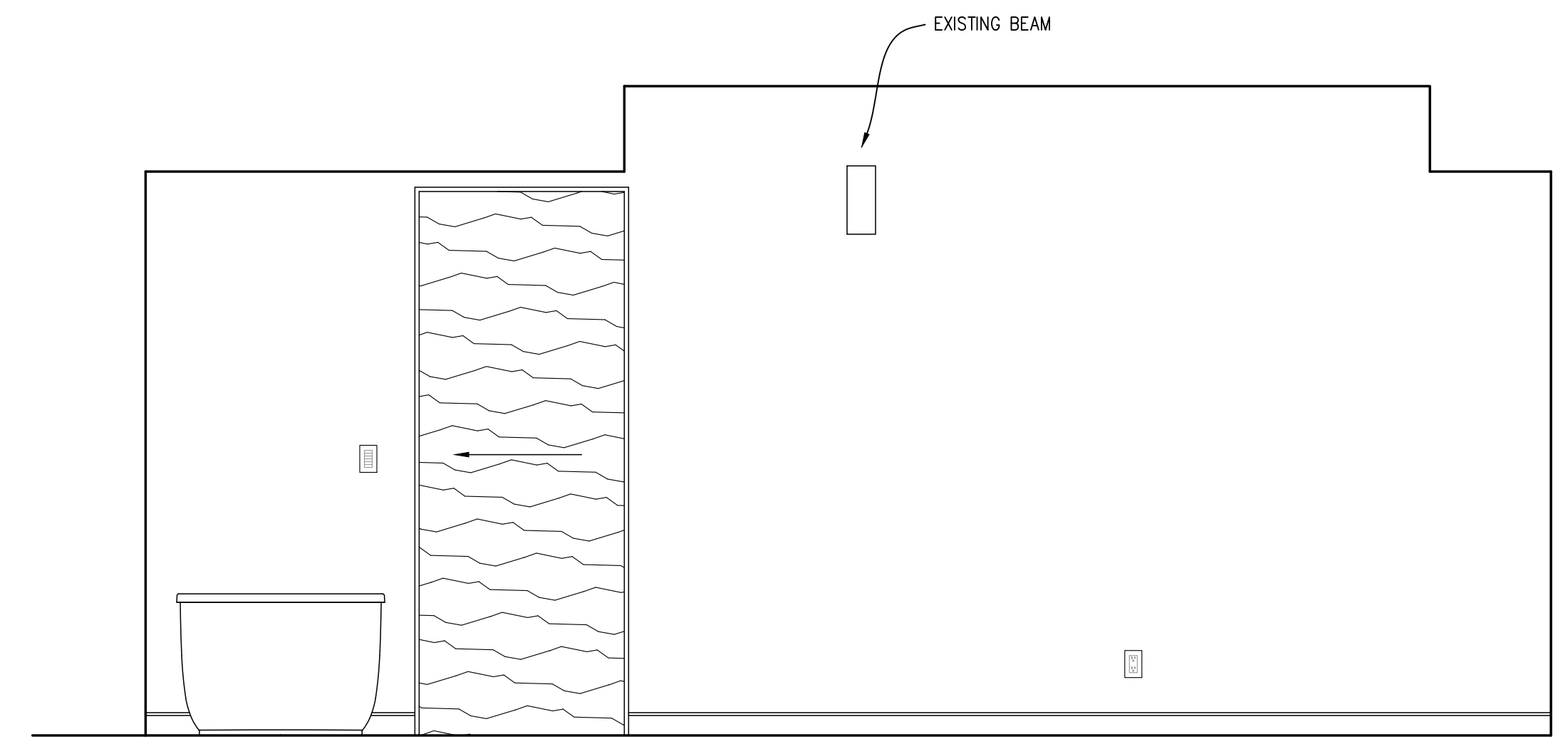
G



F



E



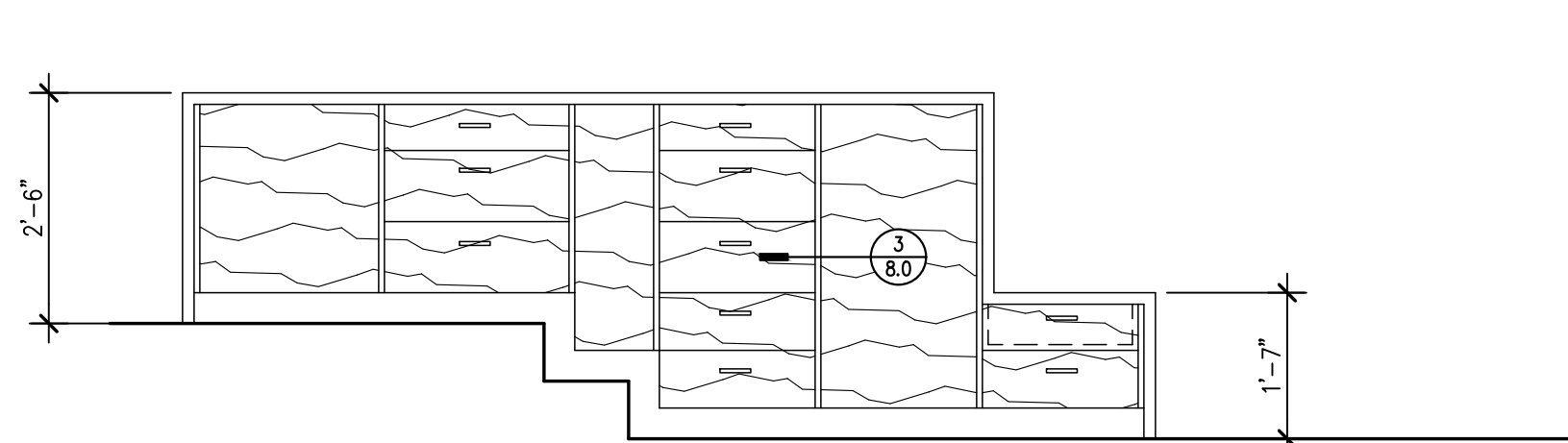
D

SHOWER #312

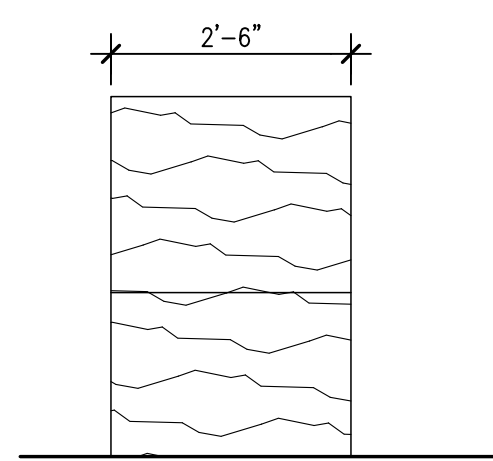
1/2" = 1'-0"

M.BATH #309

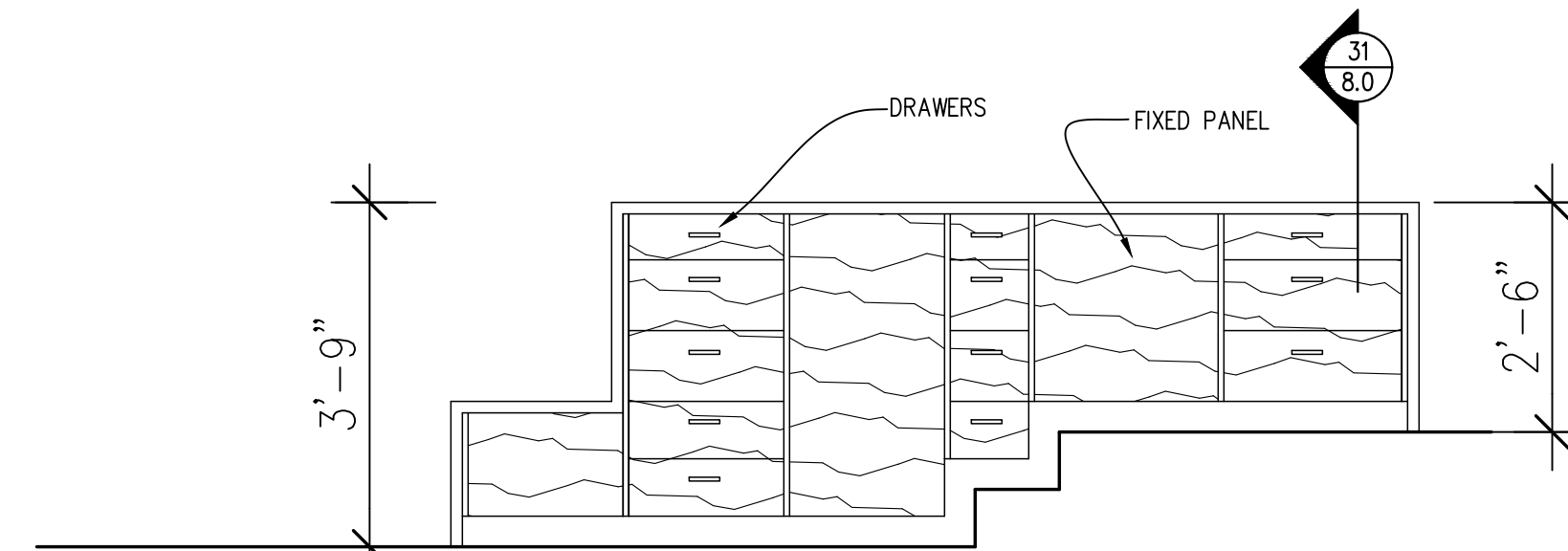
1/2" = 1'-0"



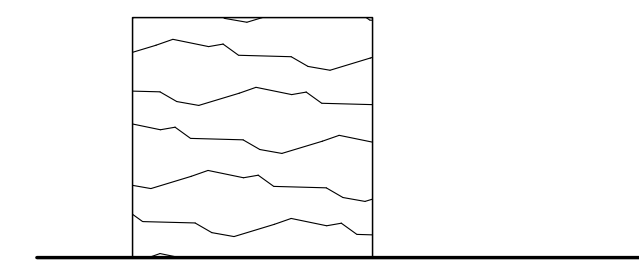
P



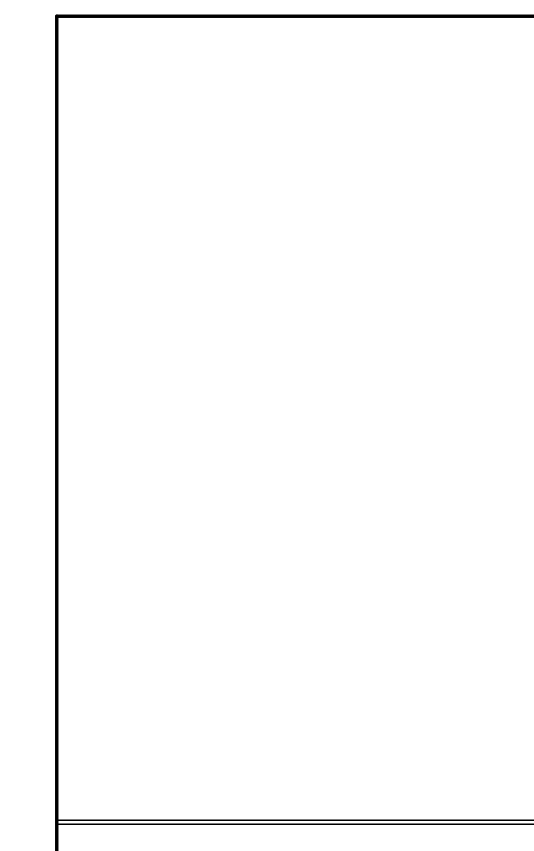
O



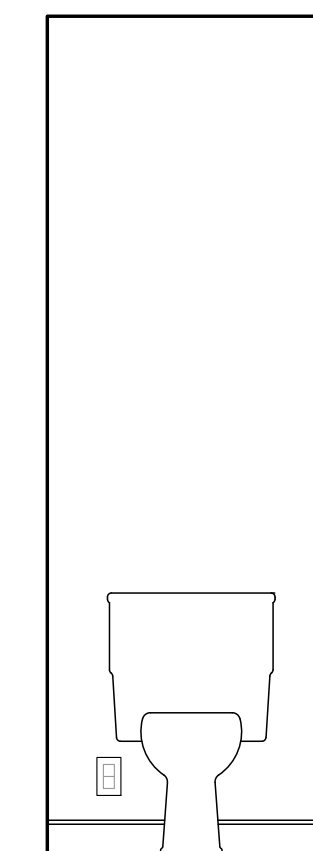
N



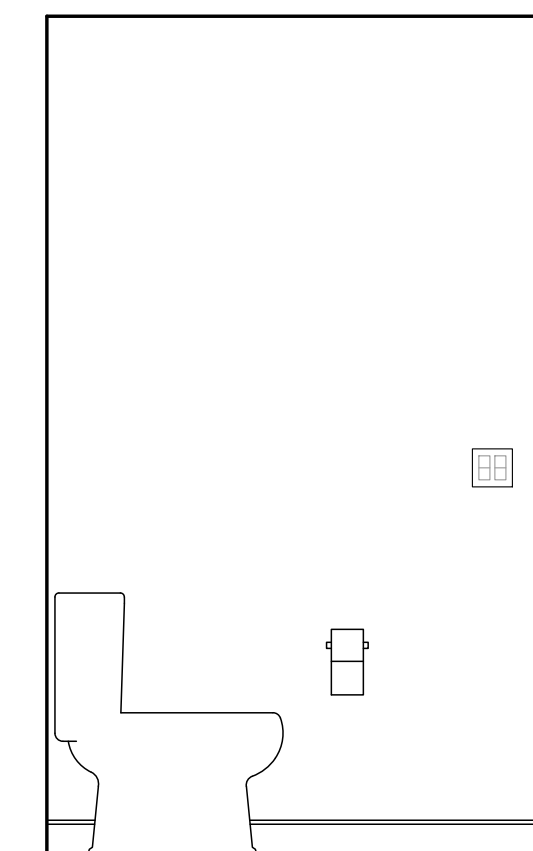
M



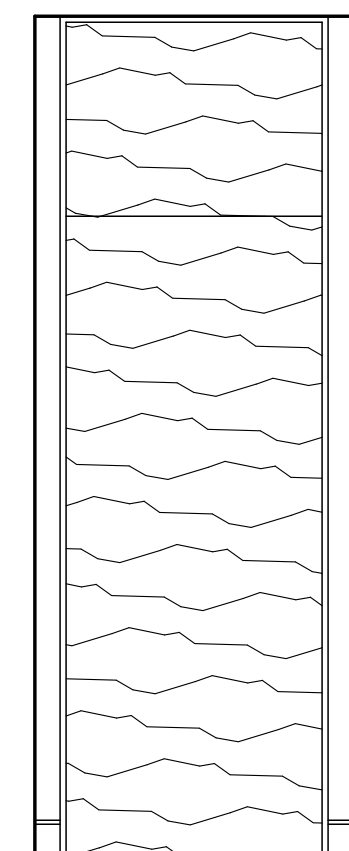
L



K



J



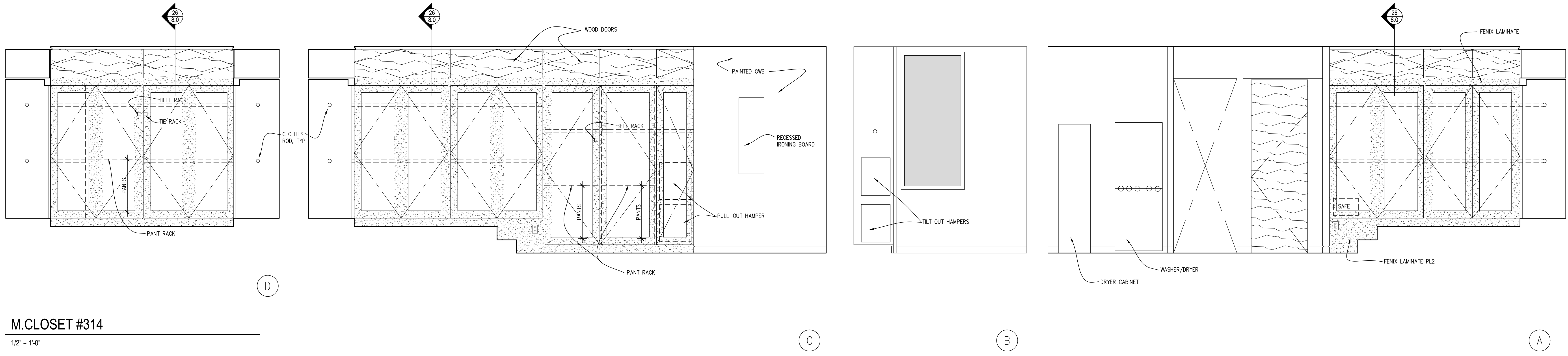
I

M.CLOSET ISLAND #314

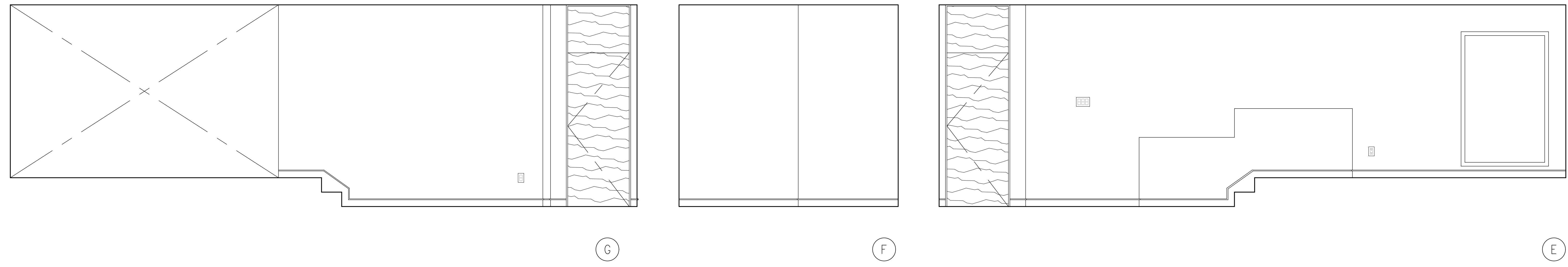
1/2" = 1'-0"

WC3 #310

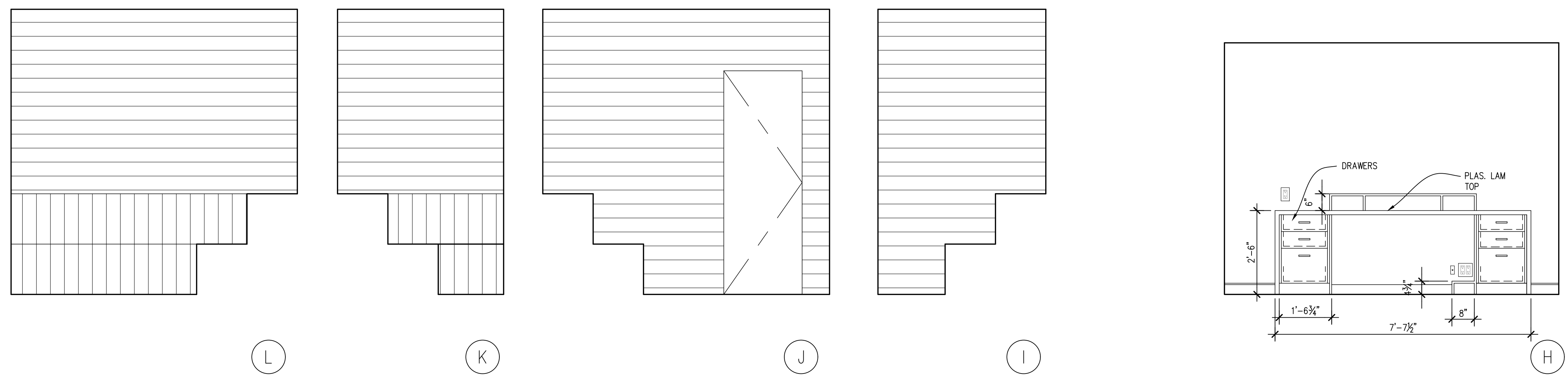
1/2" = 1'-0"



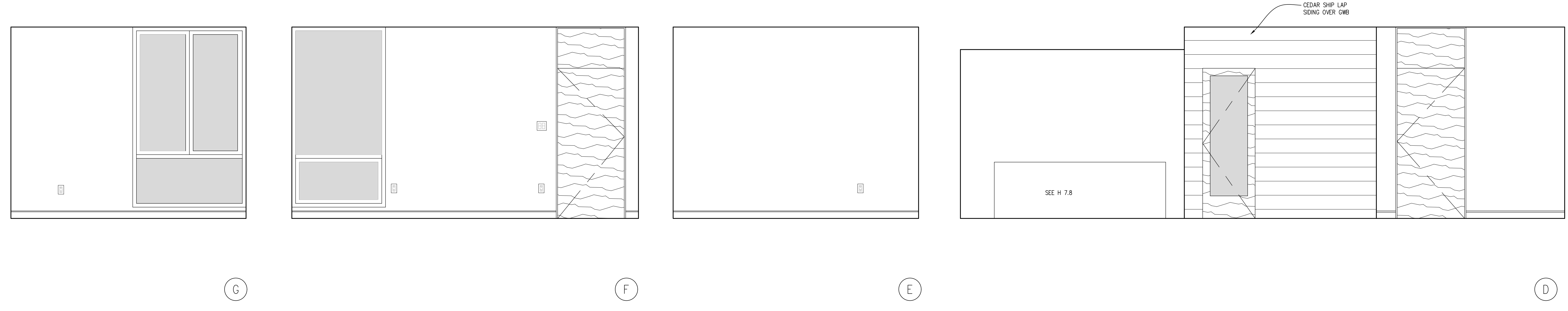
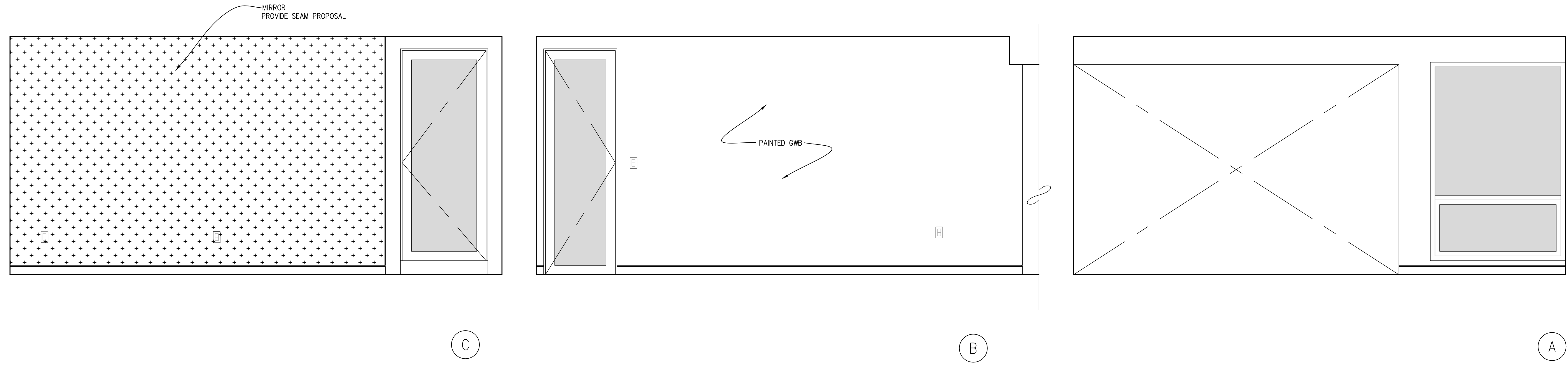
M.CLOSET #314
1/2" = 1'-0"



LANDING3 #311
1/2" = 1'-0"

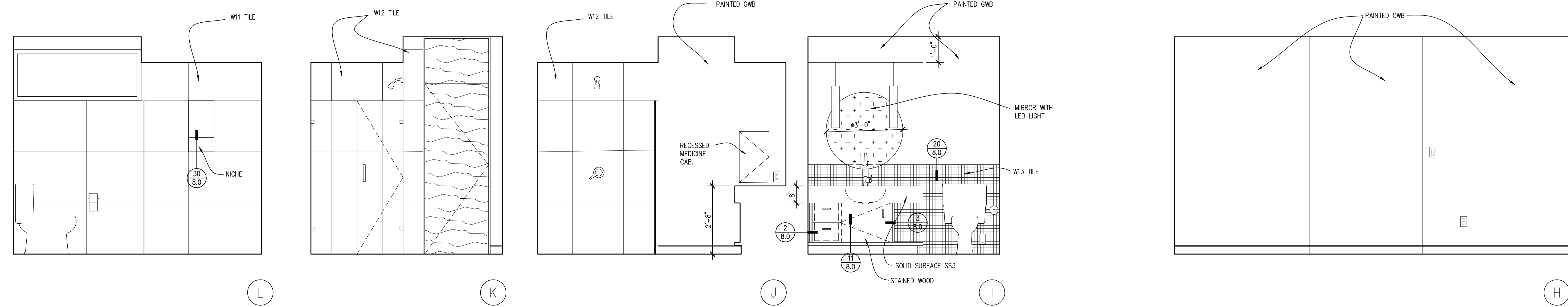


SAUNA #303
1/2" = 1'-0"



EXERCISE 304

1/2" = 1'-0"

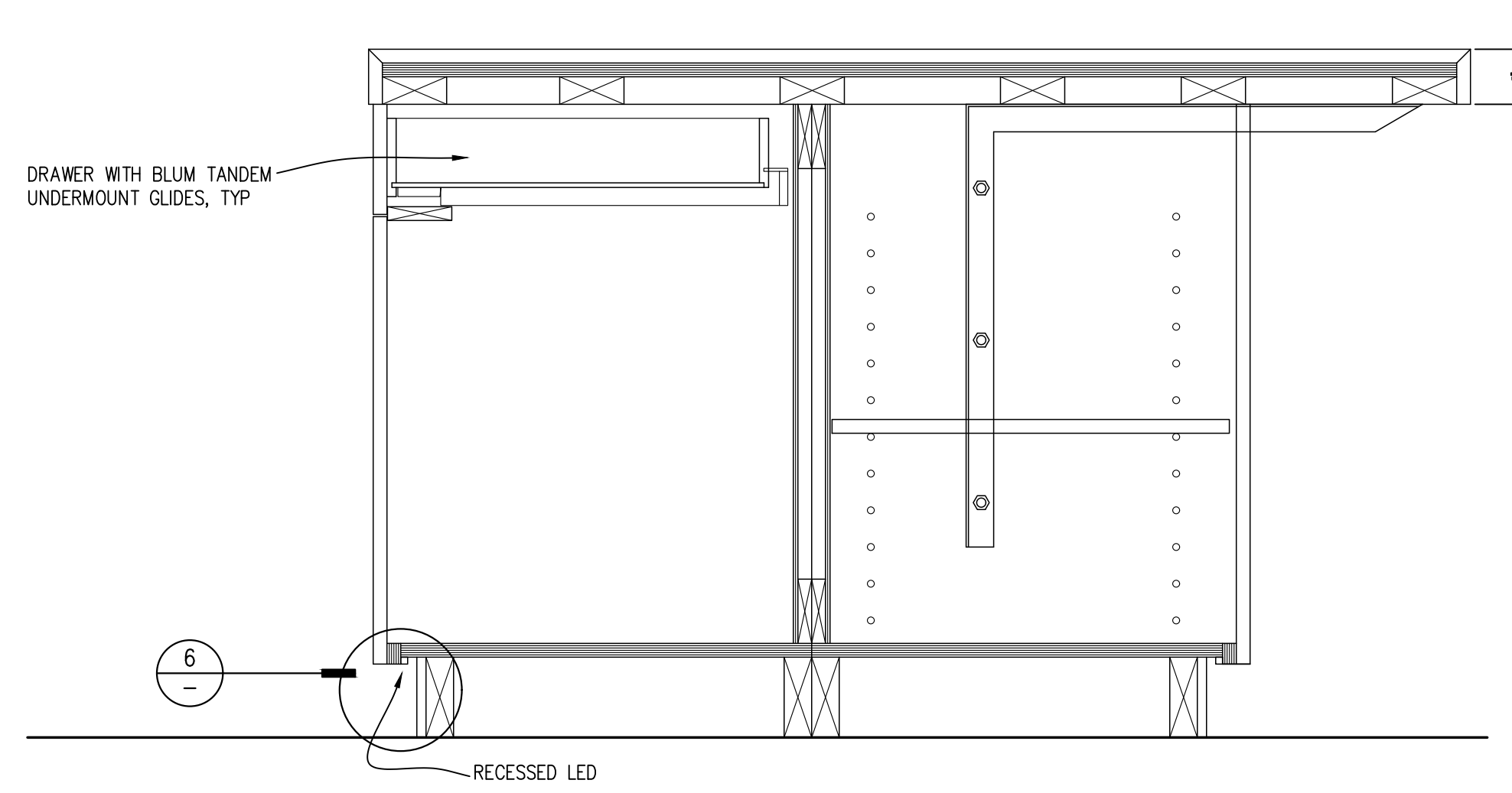


BATH#302

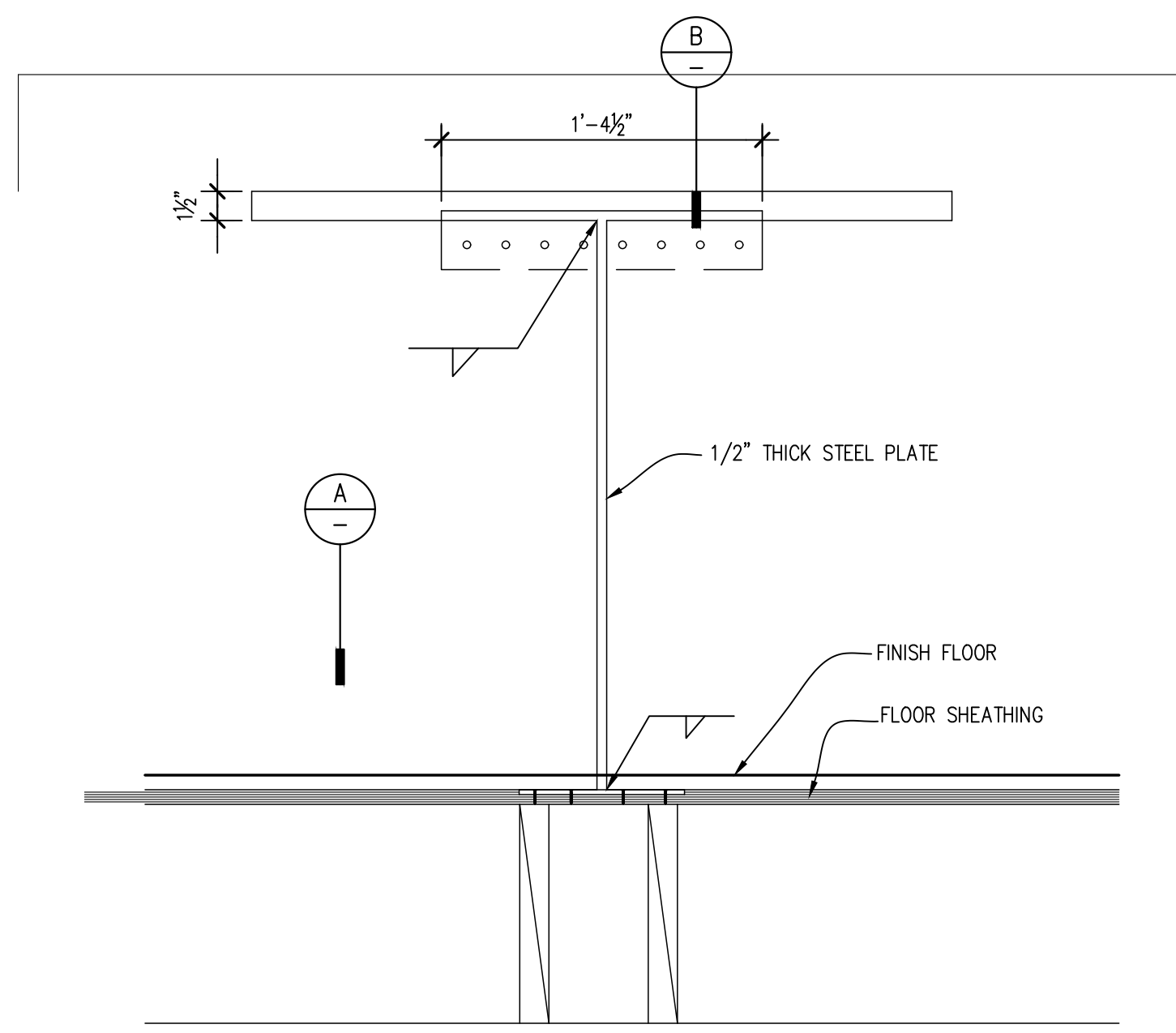
1/2" = 1'-0"

BEDROOM#300

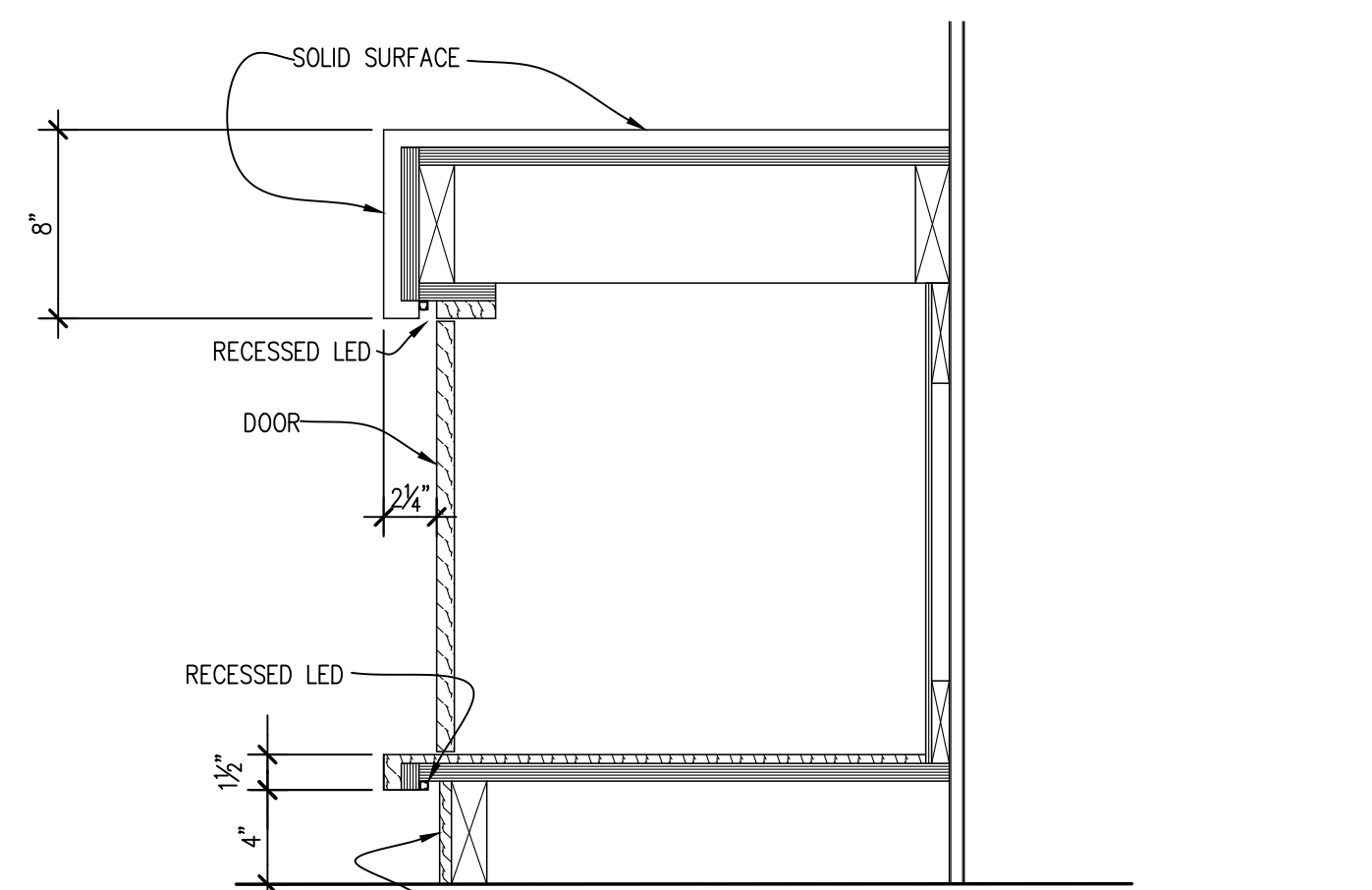
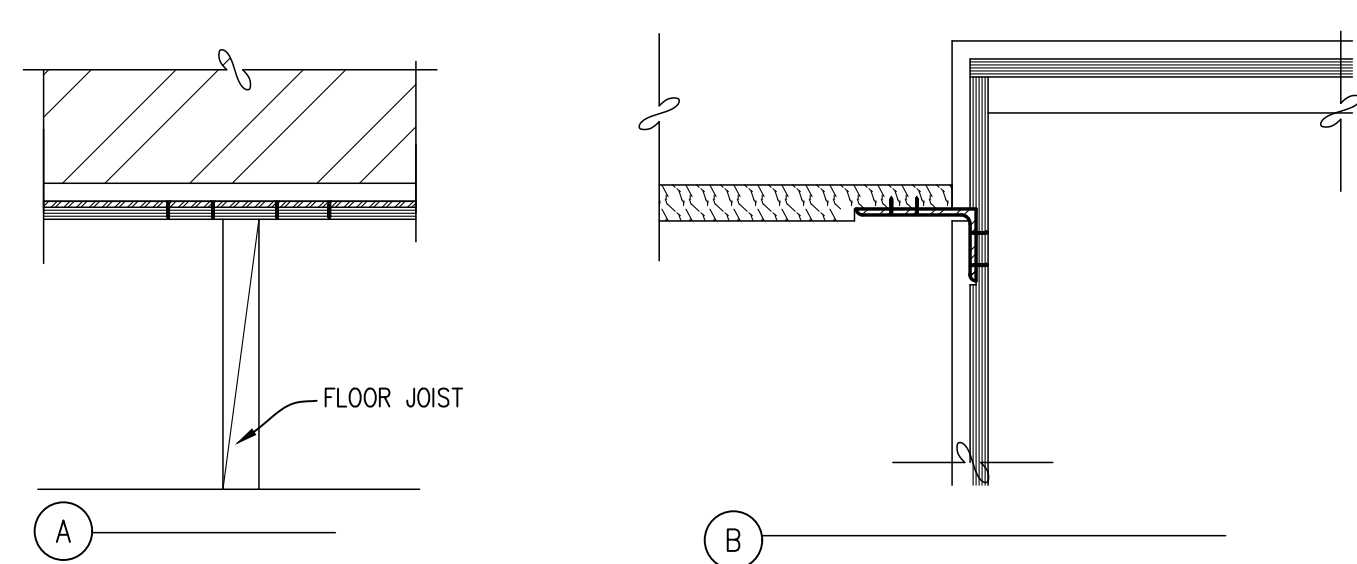
1/2" = 1'-0"



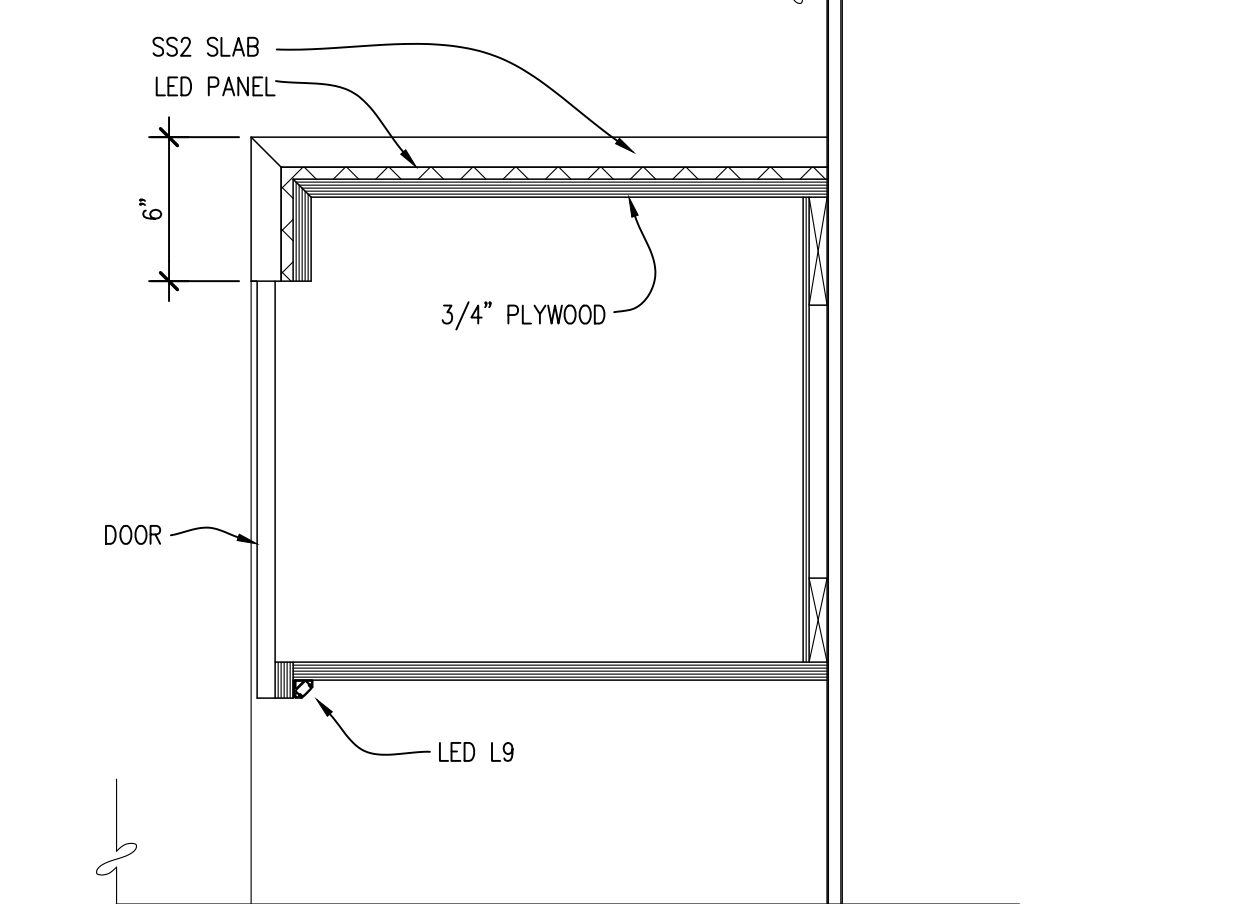
7 SECTION
1-1/2" = 1'-0"



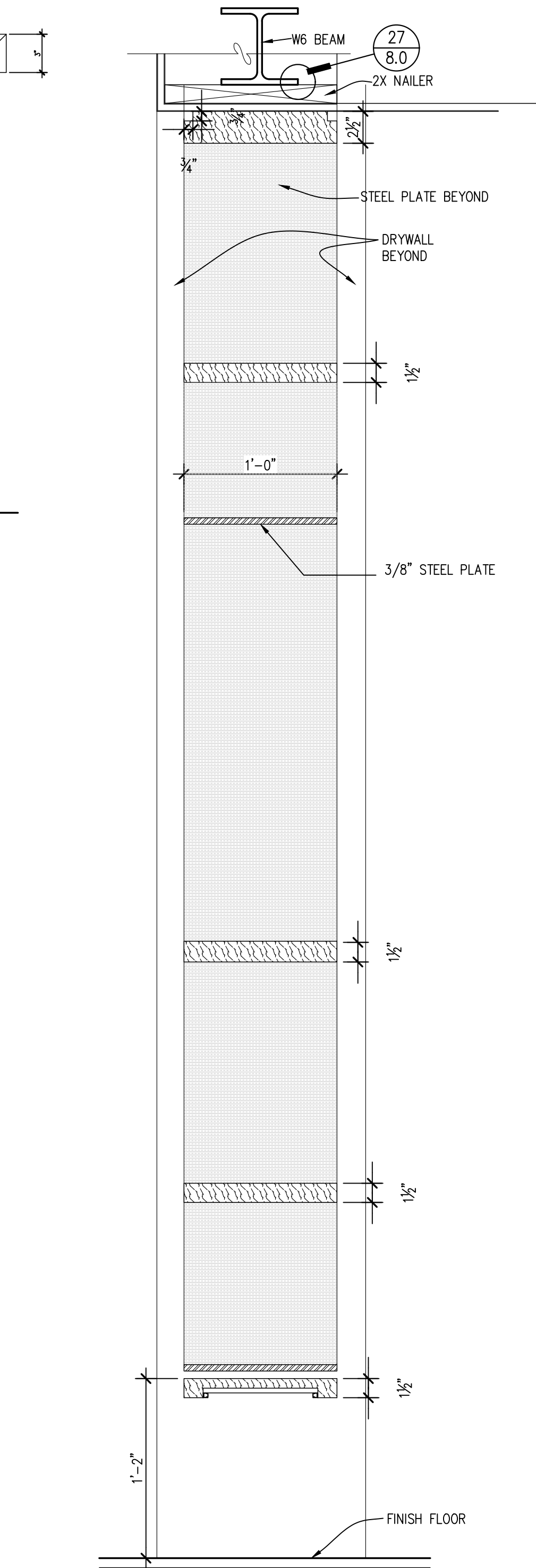
8 SECTION
1-1/2" = 1'-0"



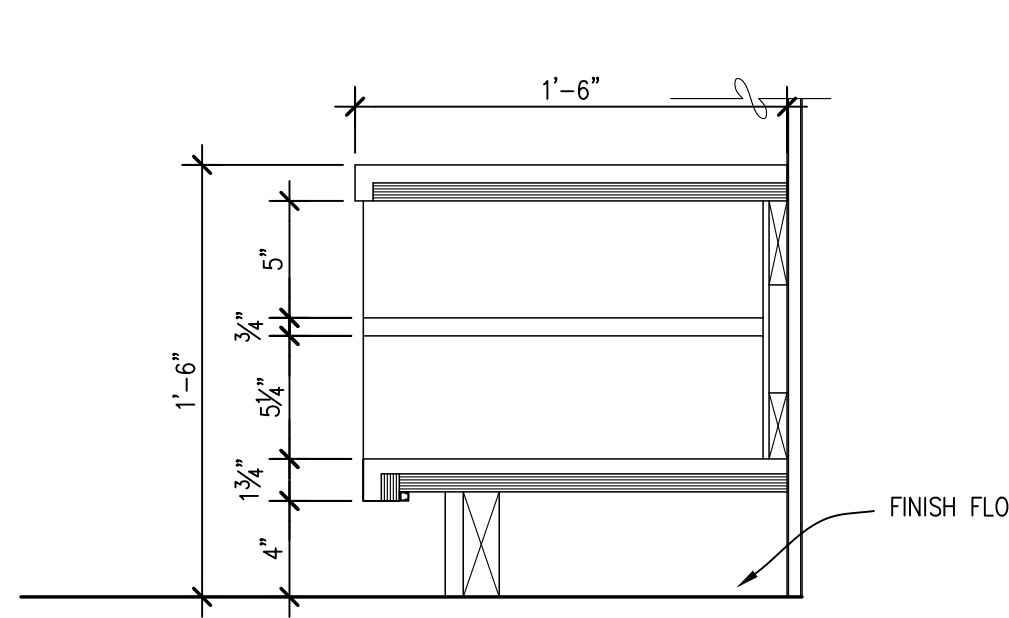
11 SECTION
1-1/2" = 1'-0"



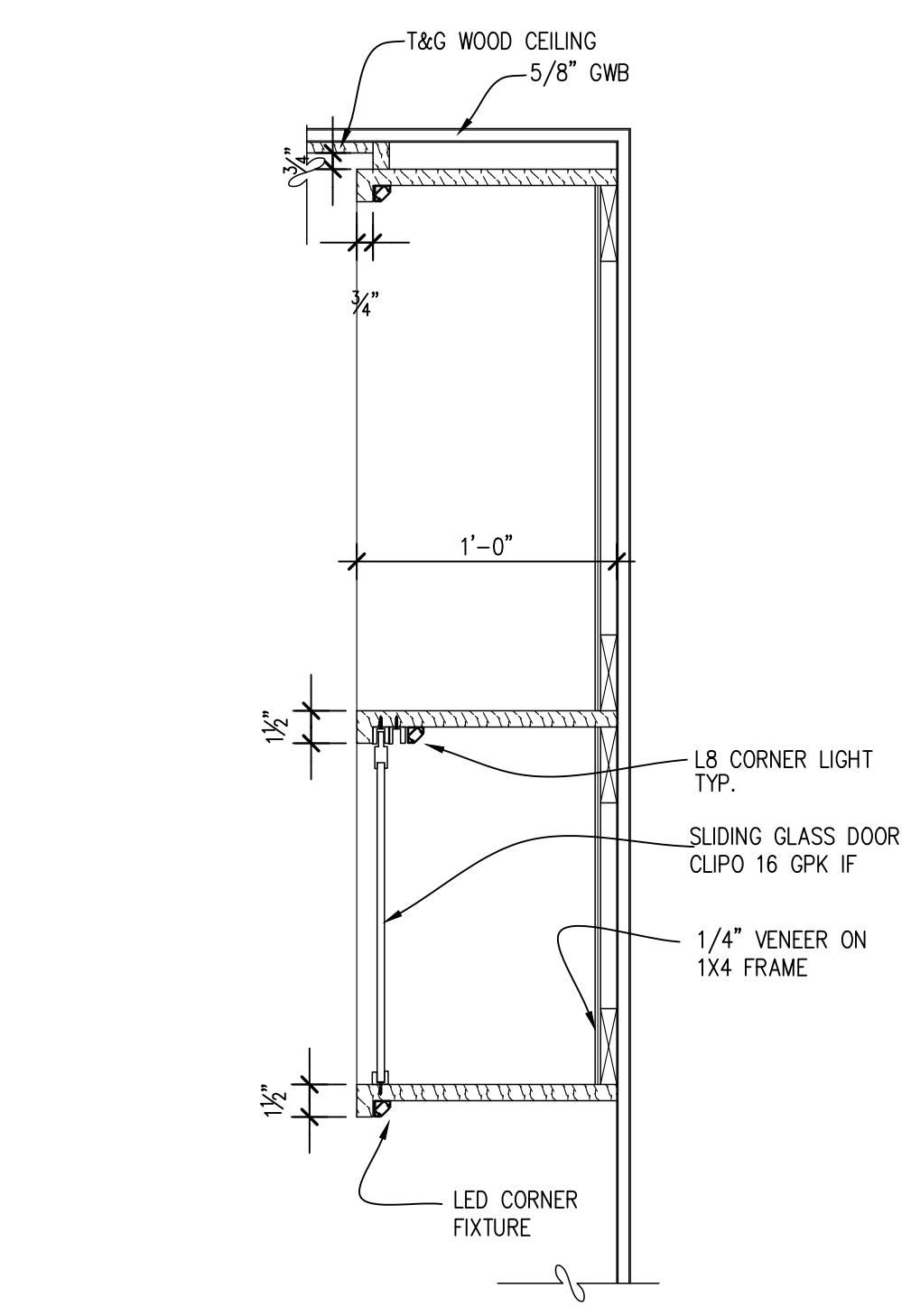
15 SECTION
1-1/2" = 1'-0"



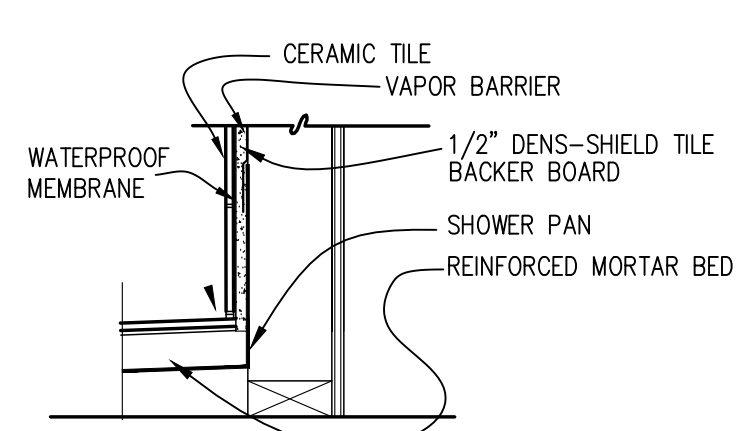
12 SECTION
1-1/2" = 1'-0"



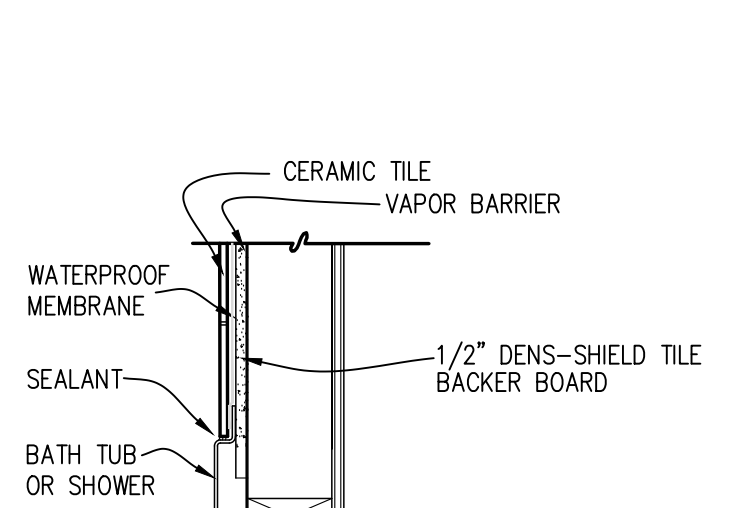
16 SECTION
1-1/2" = 1'-0"



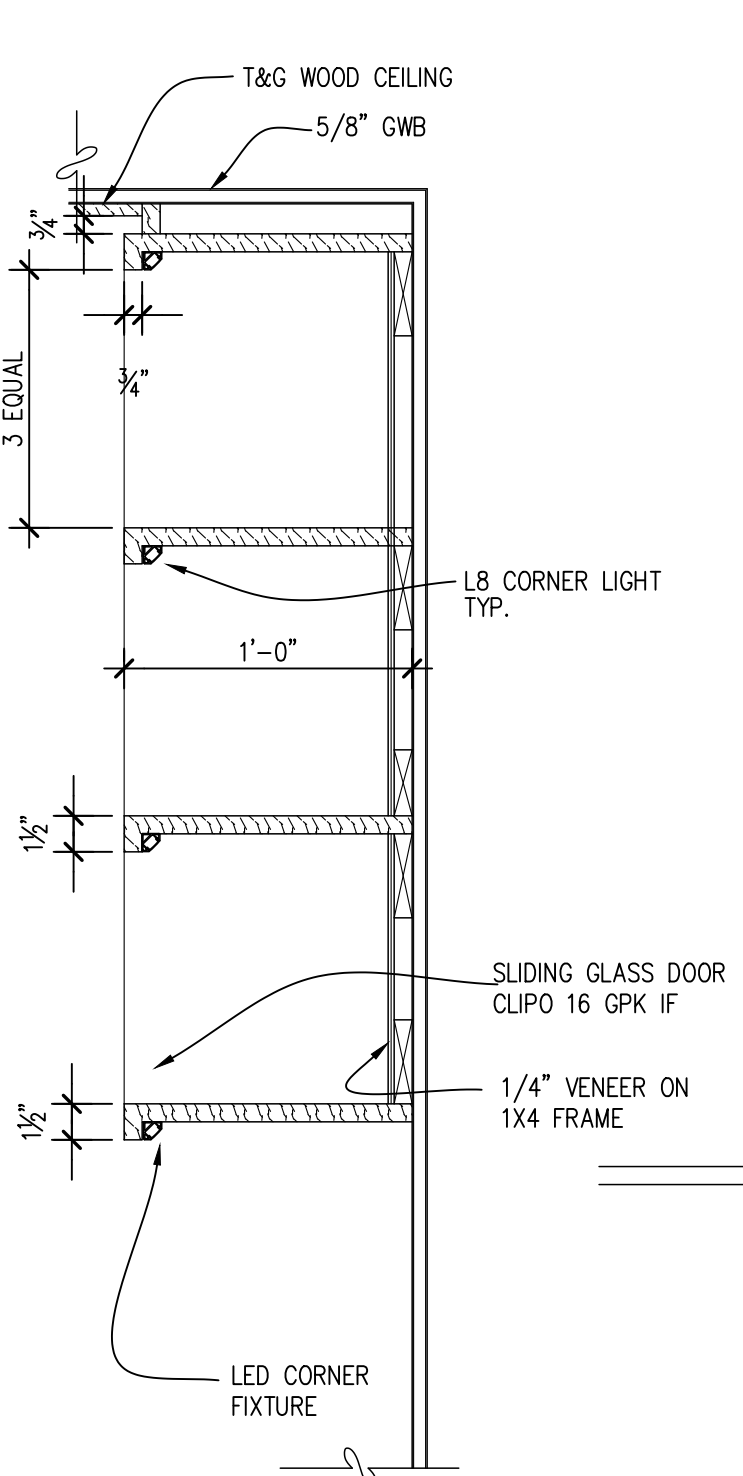
20A DETAIL
1-1/2" = 1'-0"



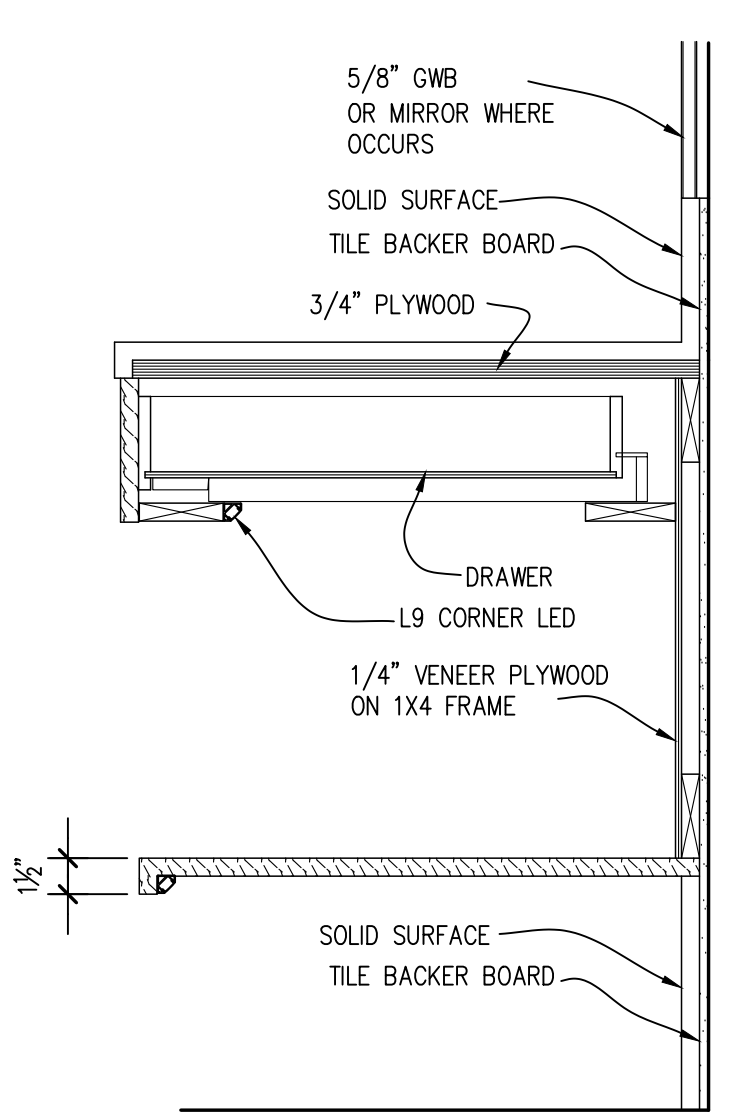
21 SECTION
1-1/2" = 1'-0"



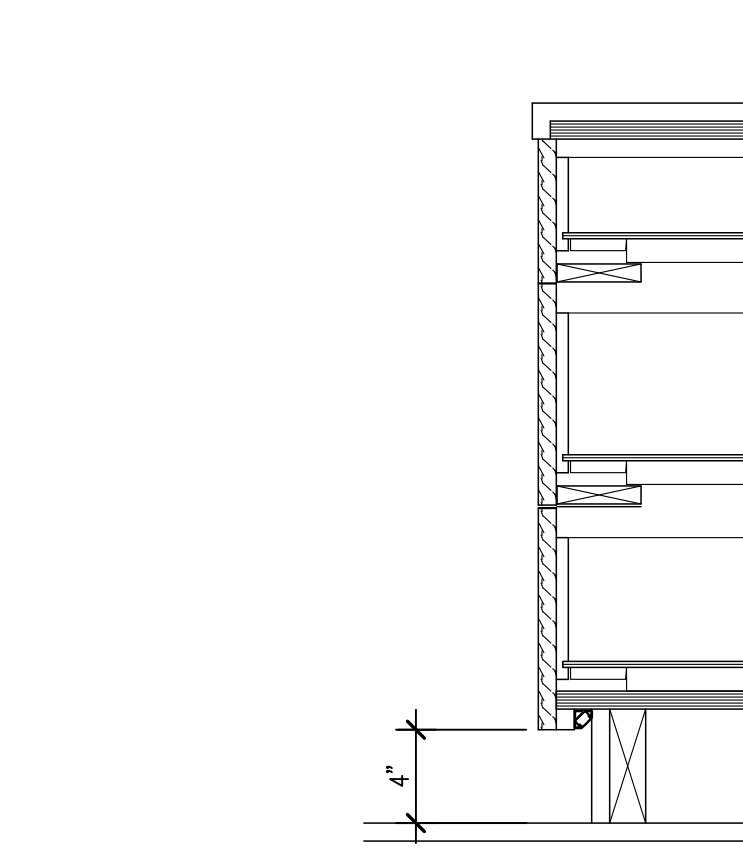
22 SECTION
1-1/2" = 1'-0"



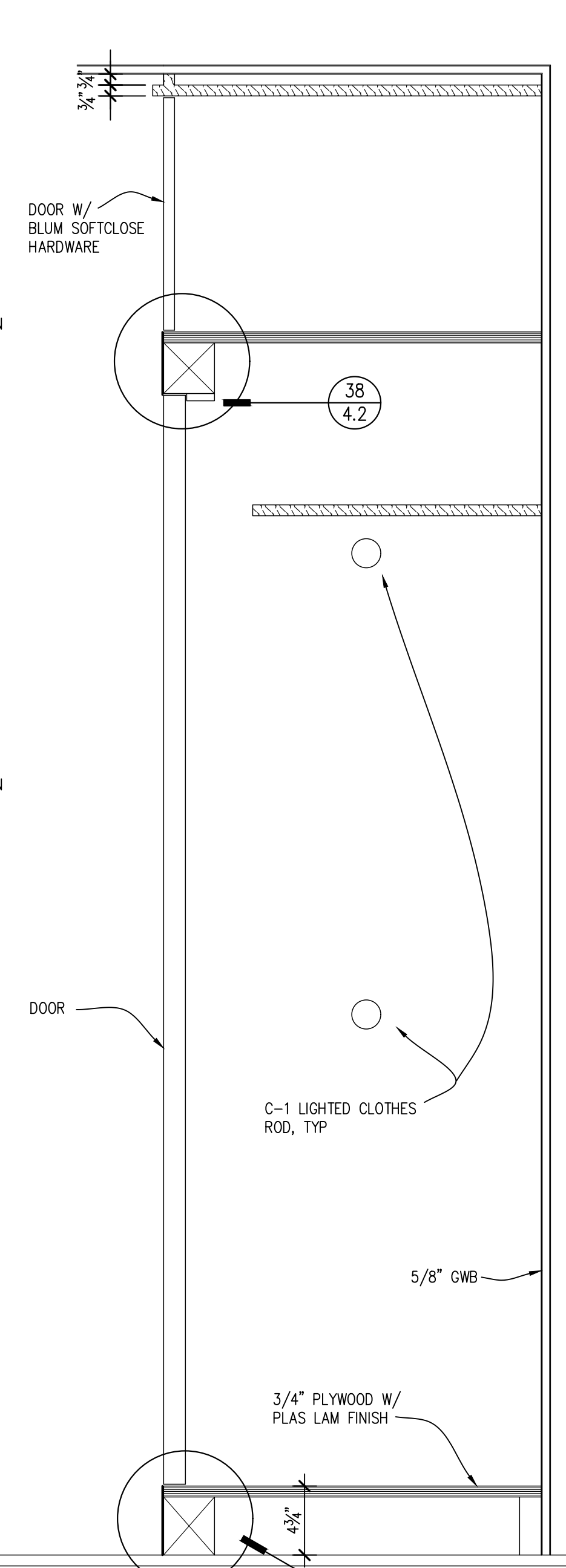
23 SECTION
1-1/2" = 1'-0"



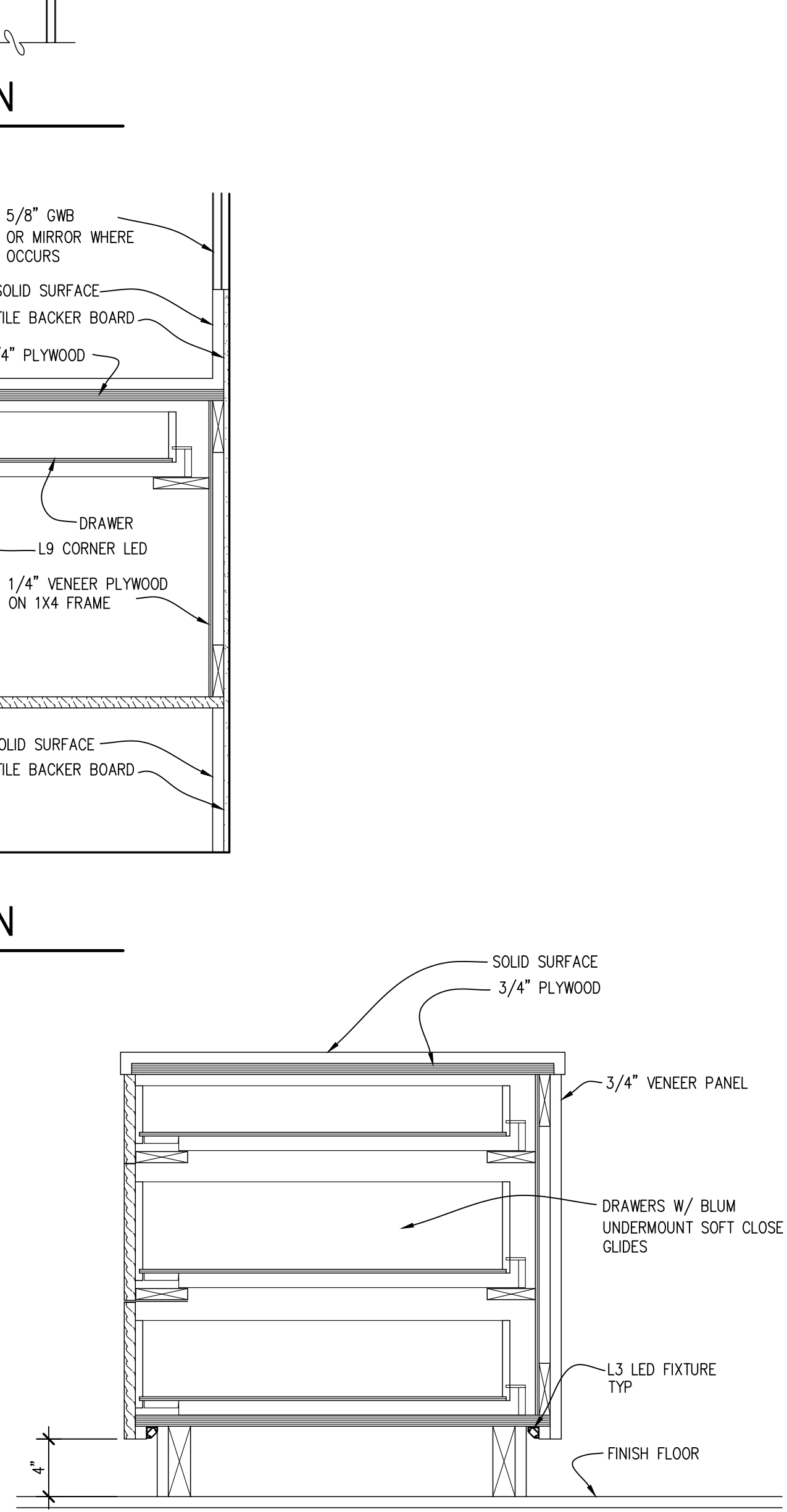
24 SECTION
1-1/2" = 1'-0"



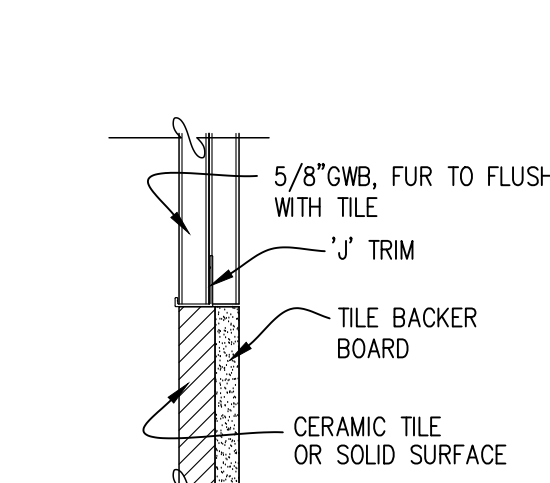
31 DETAIL
1-1/2" = 1'-0"



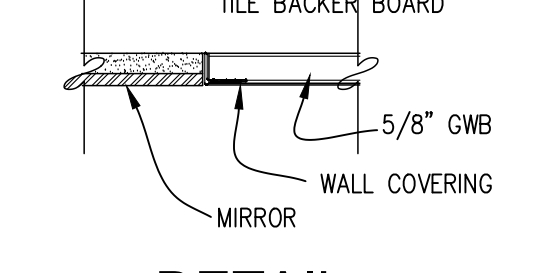
26 SECTION
1-1/2" = 1'-0"



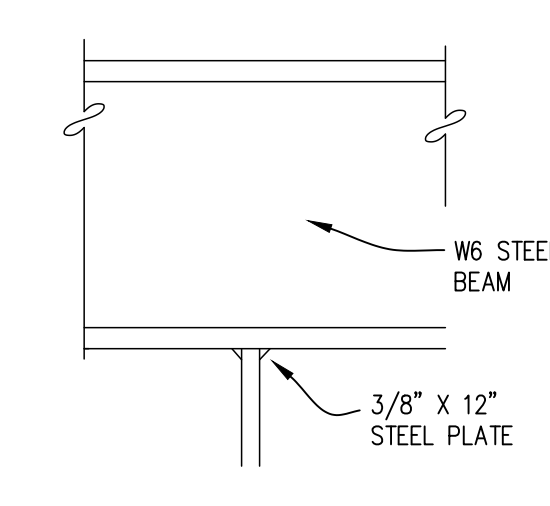
31 DETAIL
1-1/2" = 1'-0"



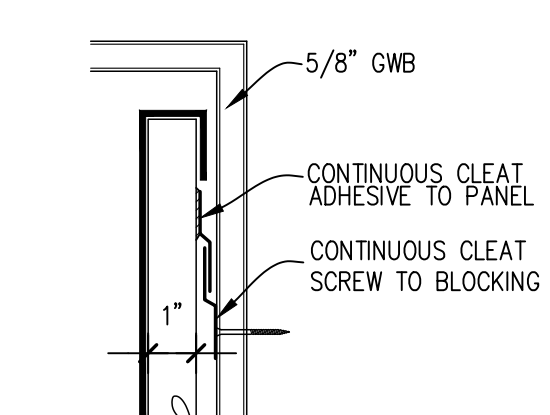
20 DETAIL
3" = 1'-0"



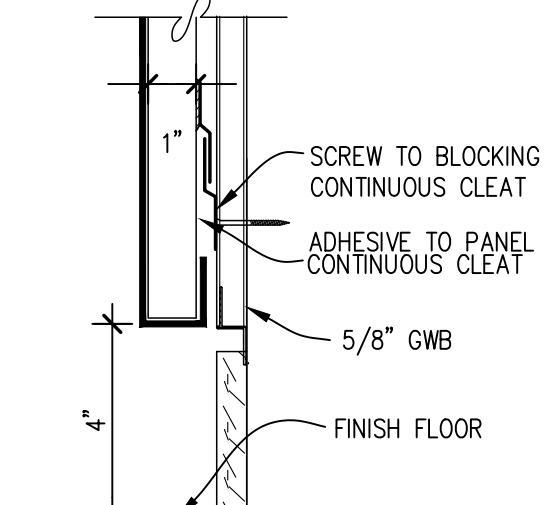
25 DETAIL
3" = 1'-0"



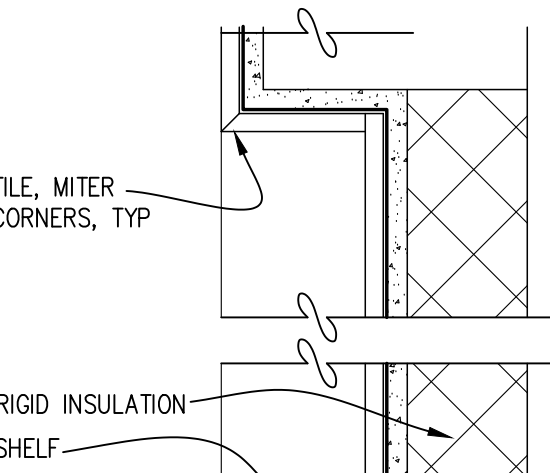
27 DETAIL
3" = 1'-0"



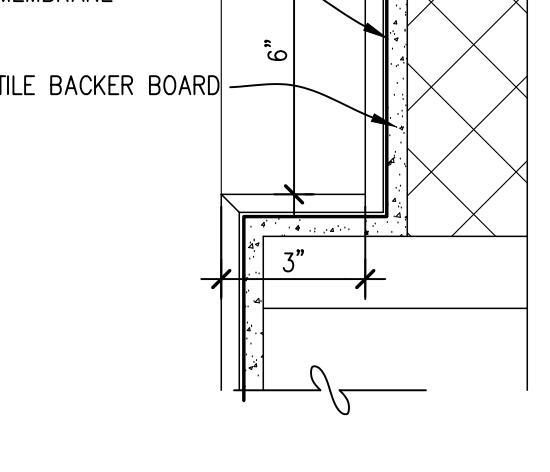
28 DETAIL
3" = 1'-0"



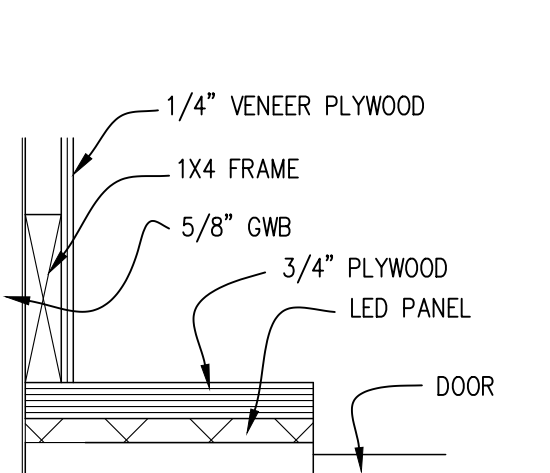
29 DETAIL
3" = 1'-0"



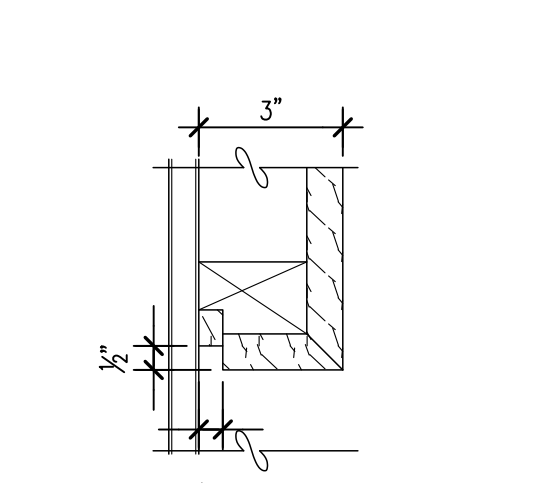
30 DETAIL
3" = 1'-0"



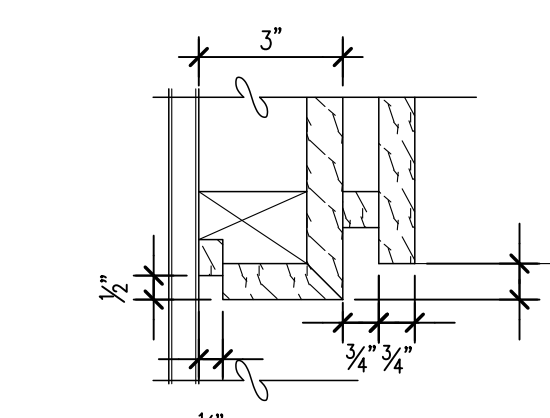
30 DETAIL
3" = 1'-0"



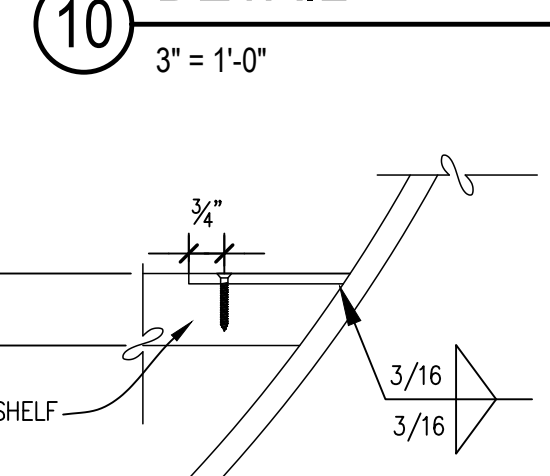
32 DETAIL
3" = 1'-0"



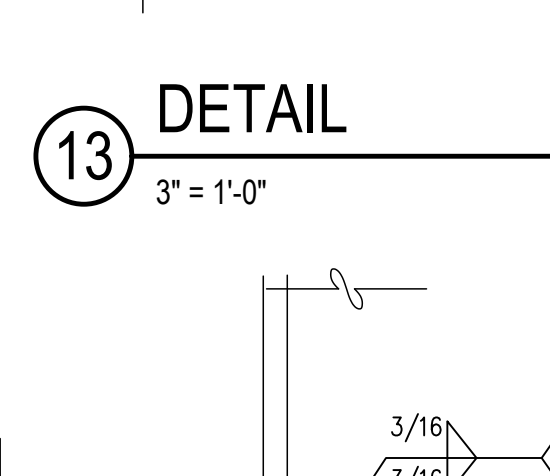
9 DETAIL
3" = 1'-0"



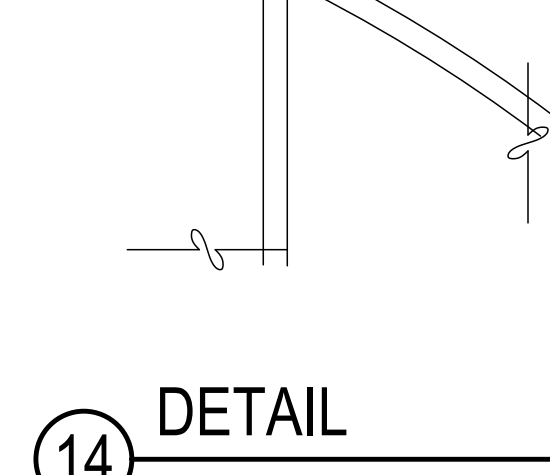
10 DETAIL
3" = 1'-0"



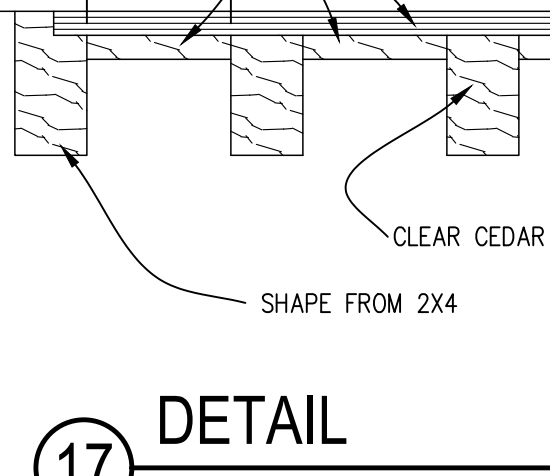
13 DETAIL
3" = 1'-0"



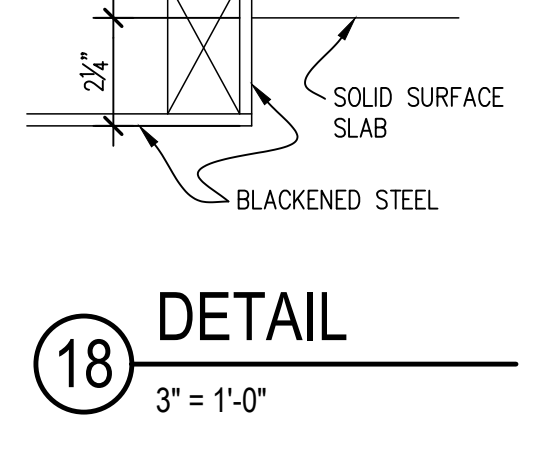
14 DETAIL
3" = 1'-0"



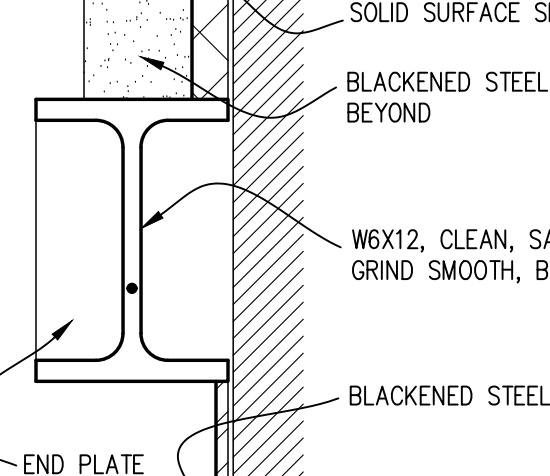
17 DETAIL
3" = 1'-0"



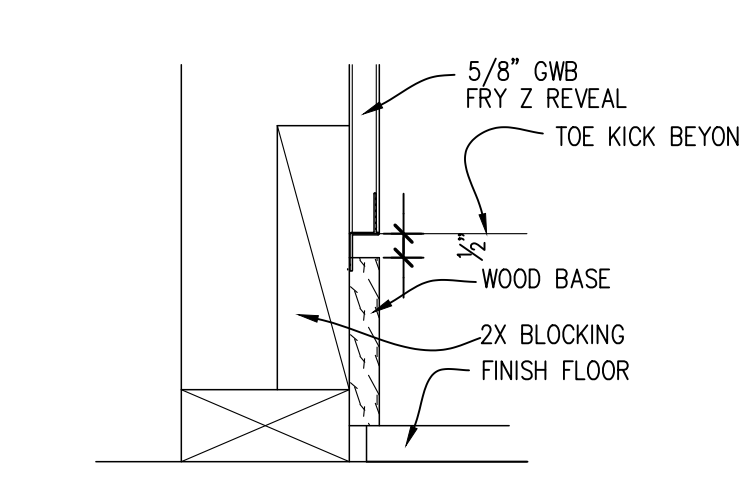
18 DETAIL
3" = 1'-0"



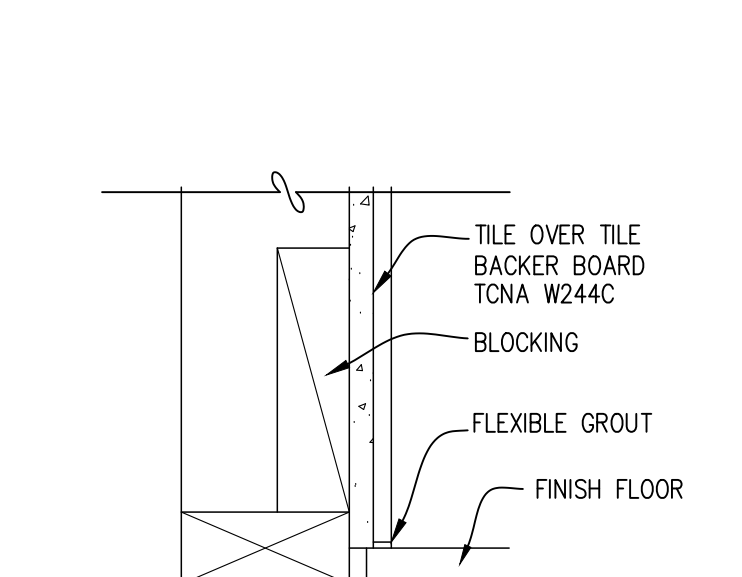
19 DETAIL
3" = 1'-0"



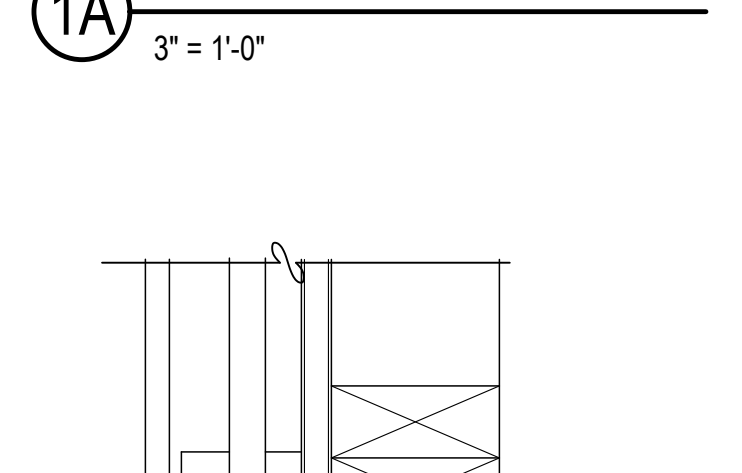
6 DETAIL
3" = 1'-0"



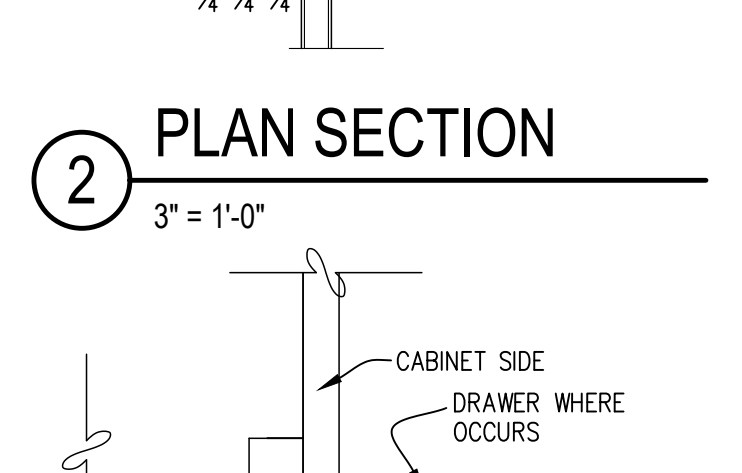
1 BASE
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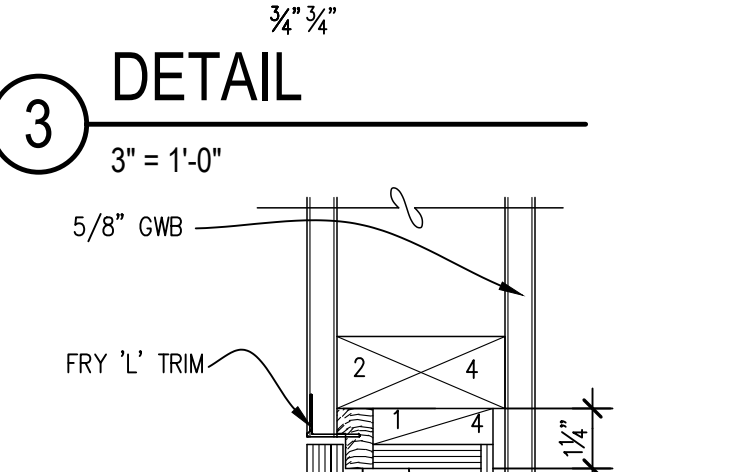
1A BASE
3" = 1'-0"



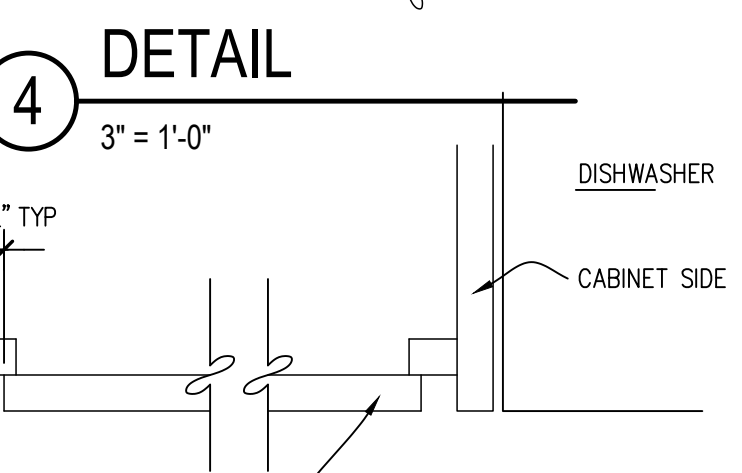
2 PLAN SECTION
3" = 1'-0"



3 DETAIL
3" = 1'-0"



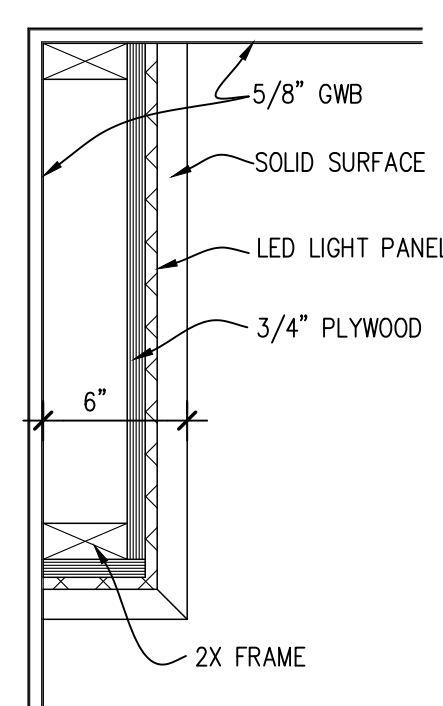
4 DETAIL
3" = 1'-0"



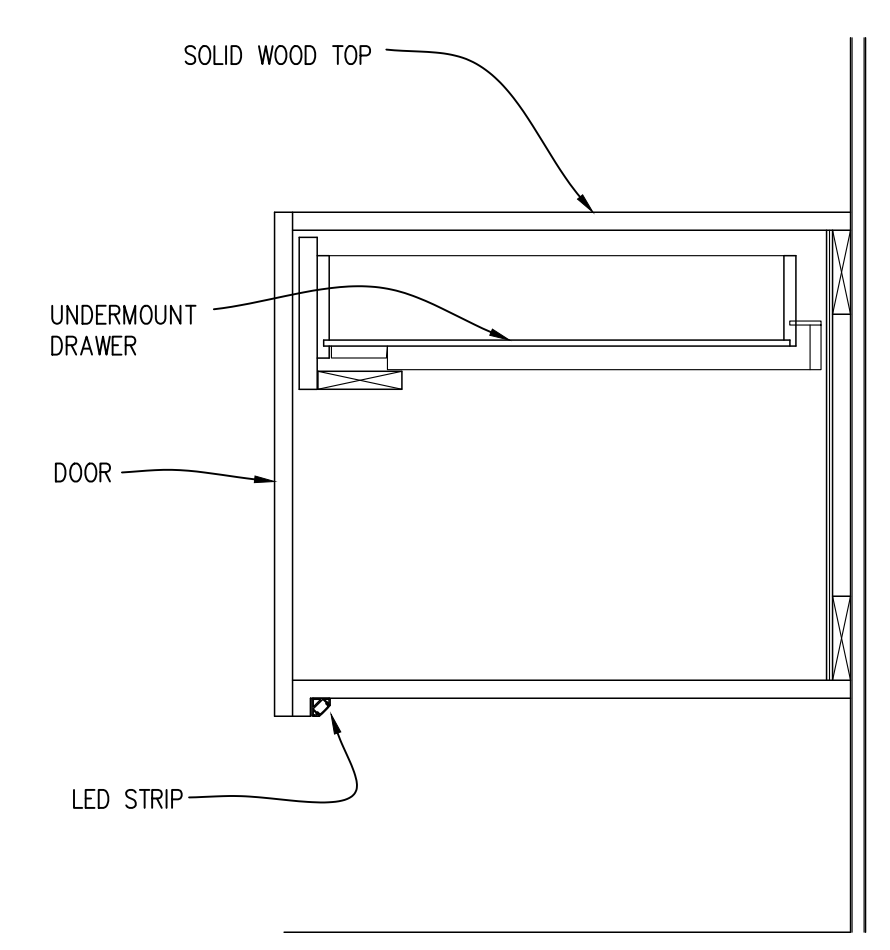
5 PLAN SECTION
3" = 1'-0"



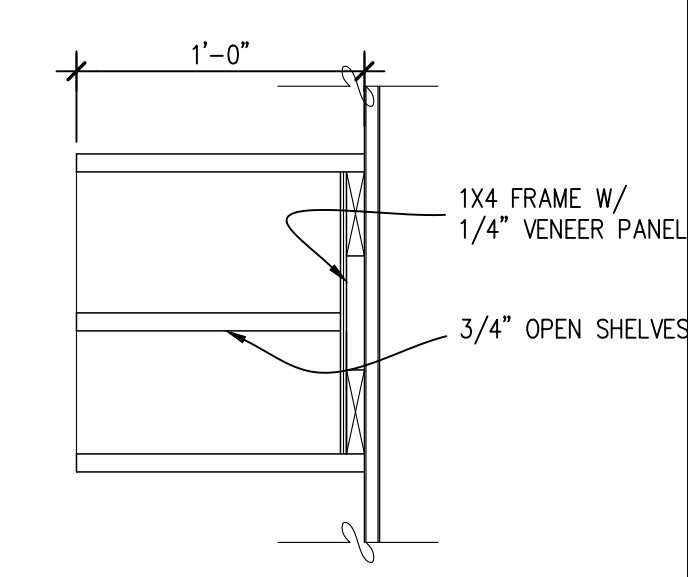
6 DETAIL
3" = 1'-0"



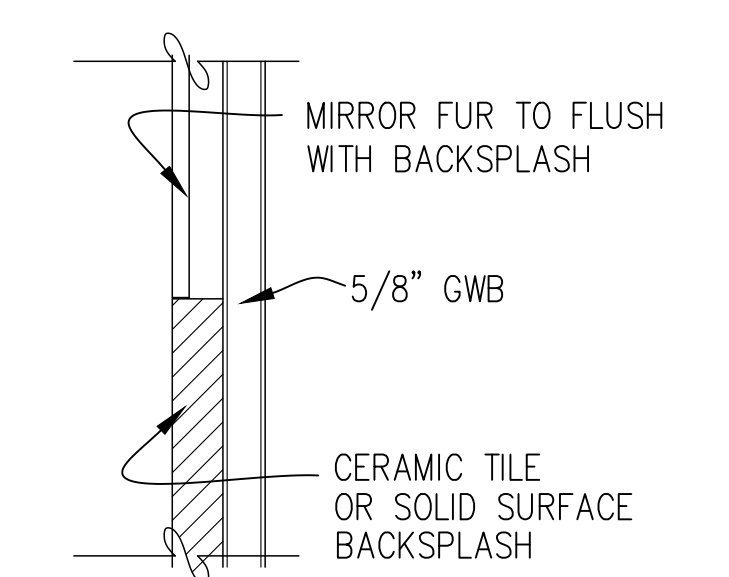
1 DETAIL
1-1/2" = 1'-0"



3 DETAIL
1-1/2" = 1'-0"

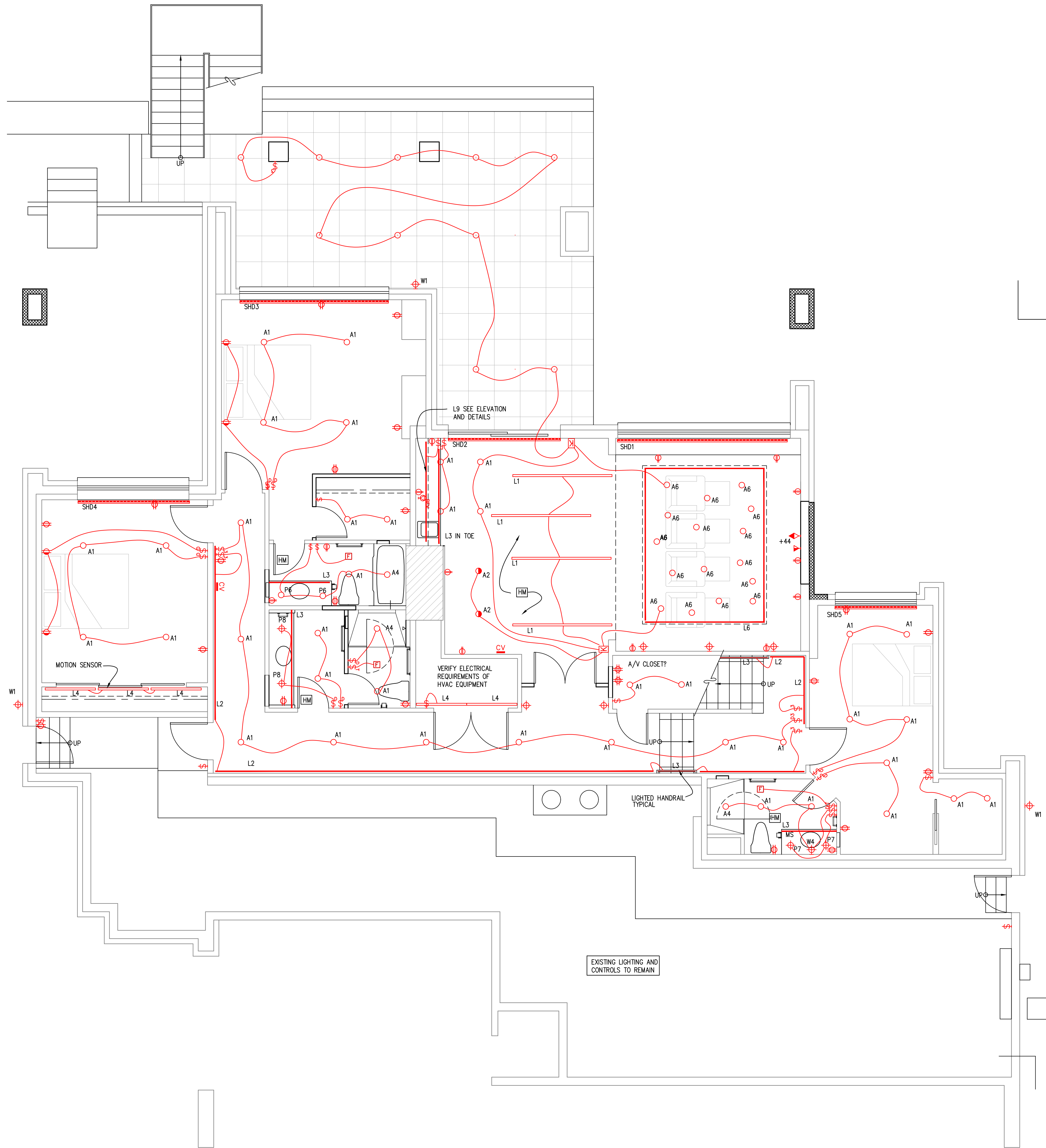


4 DETAIL
1-1/2" = 1'-0"



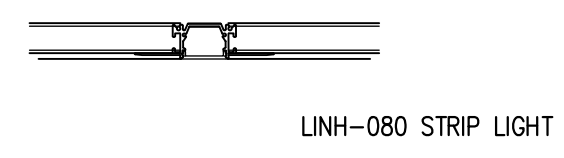
2 DETAIL
3" = 1'-0"

ELECTRICAL SYMBOLS			
○	RECESSED LIGHT/ROUND TRIM	⚡	SWITCH
◻	RECESSED LIGHT/SQUARE TRIM	⚡	3-WAY SWITCH
⊕	WALL MOUNTED LIGHT	⚡	DIMMING SWITCH
⊕	SURFACE/PENDANT LIGHT	⚡	SWITCH W/ TIMER
⊕	WALLWASH LIGHT	⚡	SWITCH W/ OCCUPANCY SENSOR
⊕	FLOOD LIGHT	⚡	6-BUTTON KEYPAD, LUTRON
⊕	STRIP LIGHT	⚡	SMART DIMMER SWITCH, LUTRON
⊕	STEP LIGHT	⊕	DUPLEX RECEPTACLE
⊕	CERAMIC SOCKET	⊕	DUPLEX RECEPT./HALF-SWITCHED
⊕	SMOKE DETECTOR (SD)	⊕	DUPLEX RECEPT. W/ DUAL USB-C
⊕	CARBON MONOXIDE DETECTOR (CM)	⊕	FOURPLEX RECEPTACLE
⊕	COMBO-SMOKE/CARBON MONOXIDE DETECTOR (S/CM)	⊕	FLOOR RECEPTACLE
⊕	HEAT DETECTOR	⊕	CEILING/SOFFIT RECEPTACLE
⊕	EXHAUST FAN (VENT TO EXTERIOR)	⊕	1xxv SPECIAL PURPOSE
⊕	CENTRAL VACUUM WALL PORT	⊕	2xxv SPECIAL PURPOSE
⊕	MOTION SENSOR	⊕	TELEPHONE
⊕	DOORBELL	⊕	TELEVISION
⊕	THERMOSTAT	⊕	TELEVISION/MULTI-FUNCTION CABLE
⊕	GARAGE DOOR CONTROL PANEL	⊕	CAT 6 COMPUTER NETWORK/DATA
⊕	CIRCUIT BREAKER PANEL	⊕	FIBER OPTIC OUTLET
⊕	METER	⊕	SPEAKER OUTLET
		⊕	SOUND SPEAKER
		⊕	WINDOW SHADE

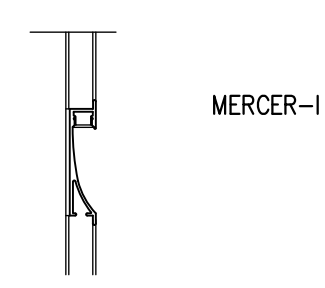


NOTE:
 SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUAL ALARM WILL ACTIVATE ALL OF THE ALARMS.

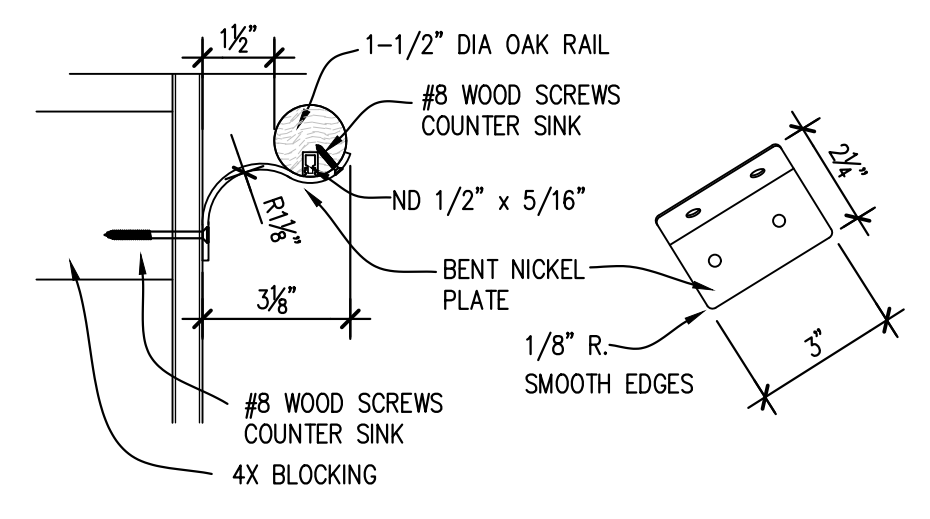
LOWER FLOOR ELECTRICAL PLAN
 1/4" = 1'-0"



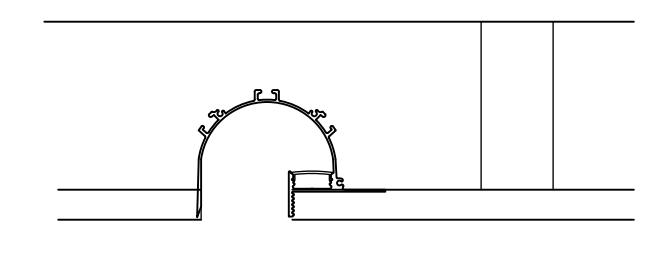
1 DETAIL
3" = 1'-0"



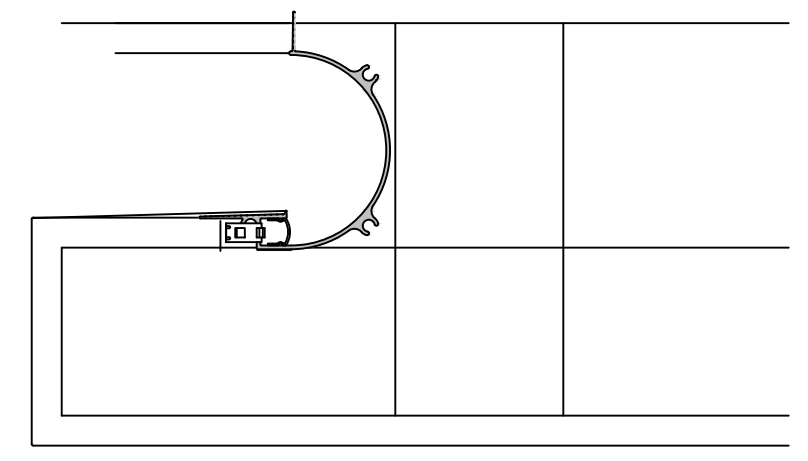
2 DETAIL
3" = 1'-0"



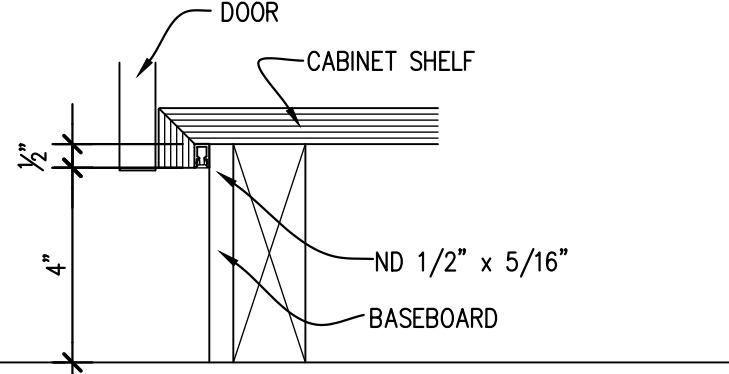
3 DETAIL
3" = 1'-0"



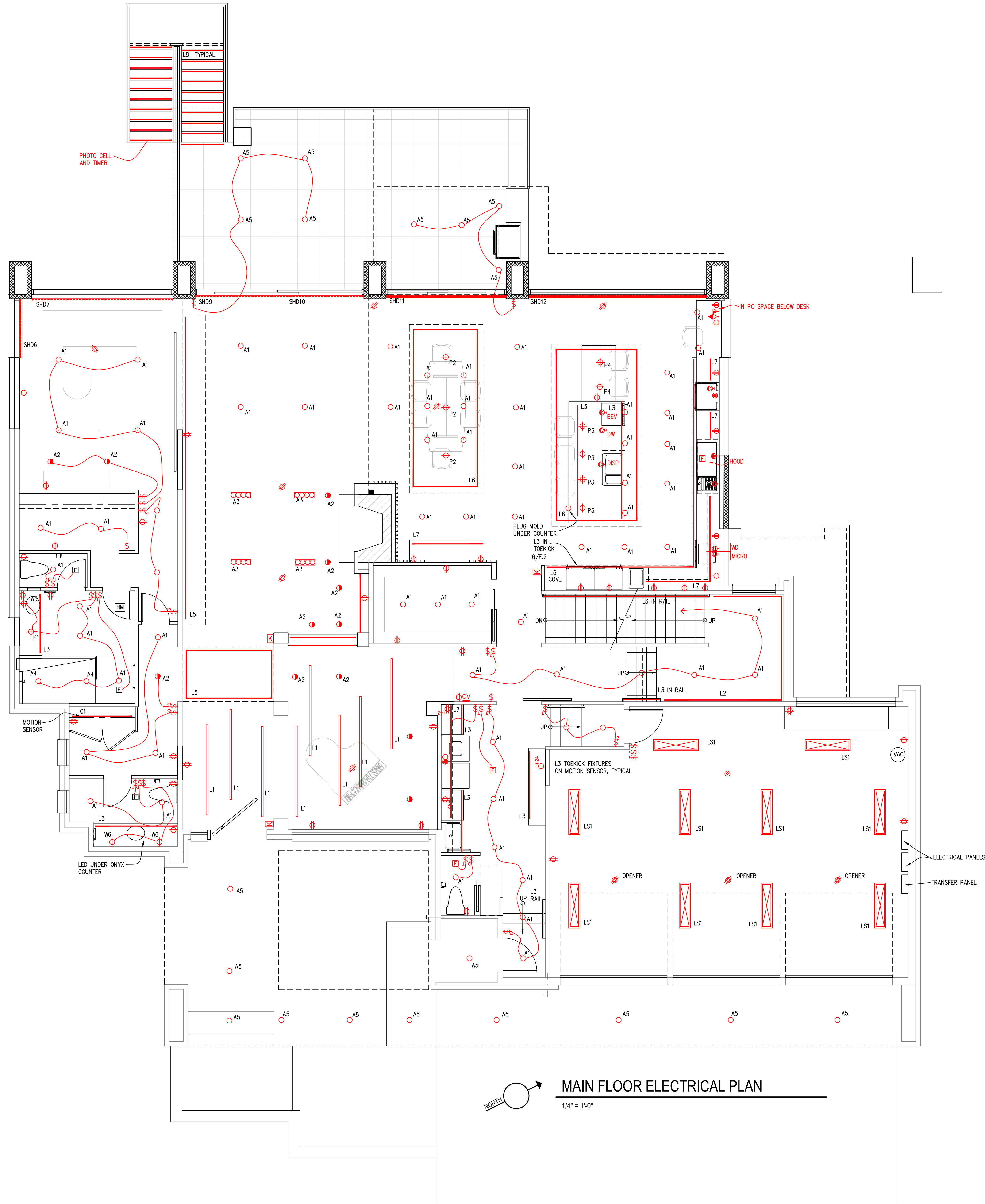
4 DETAIL
3" = 1'-0"



5 DETAIL
3" = 1'-0"

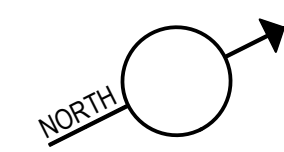
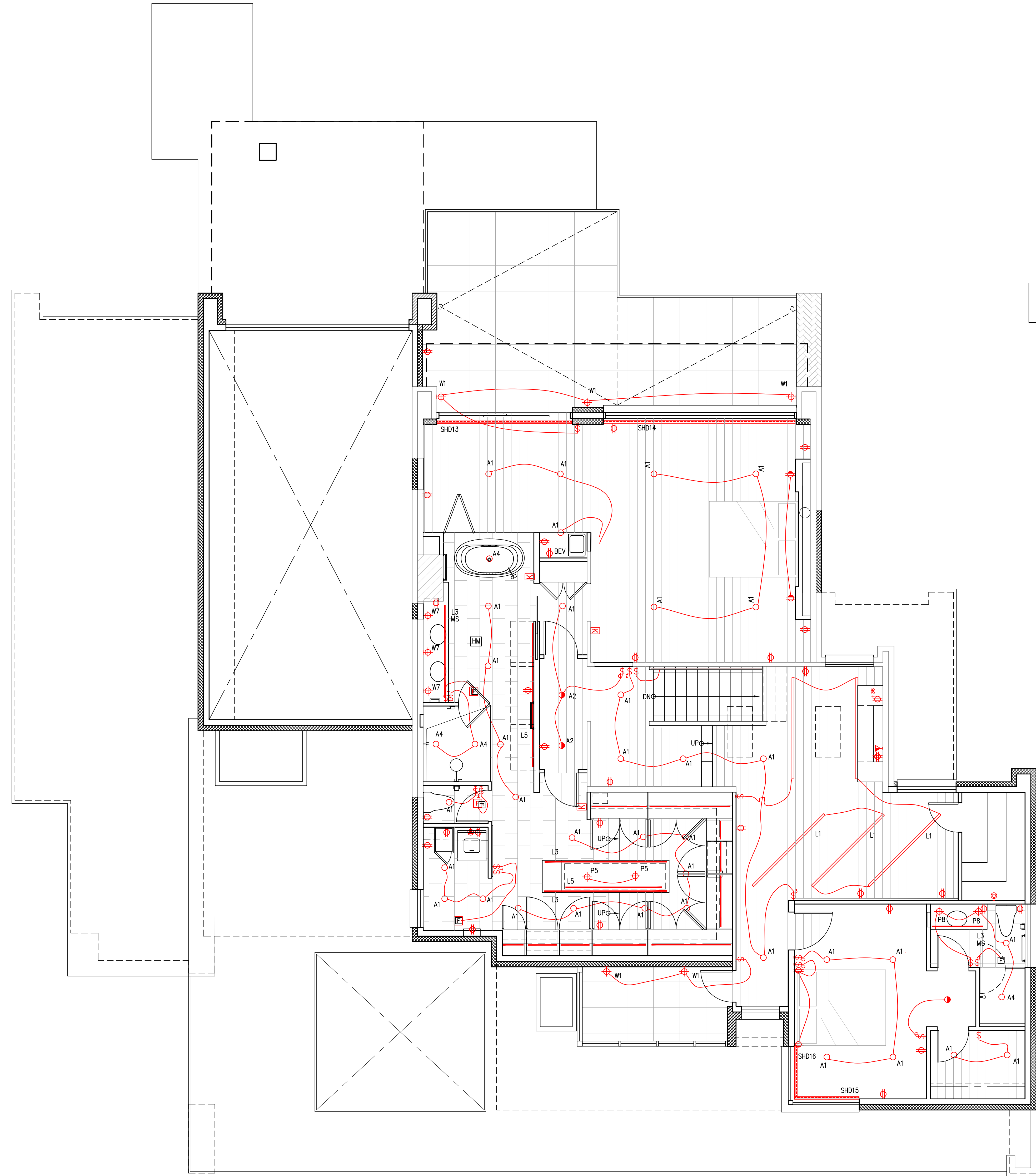


6 DETAIL
3" = 1'-0"



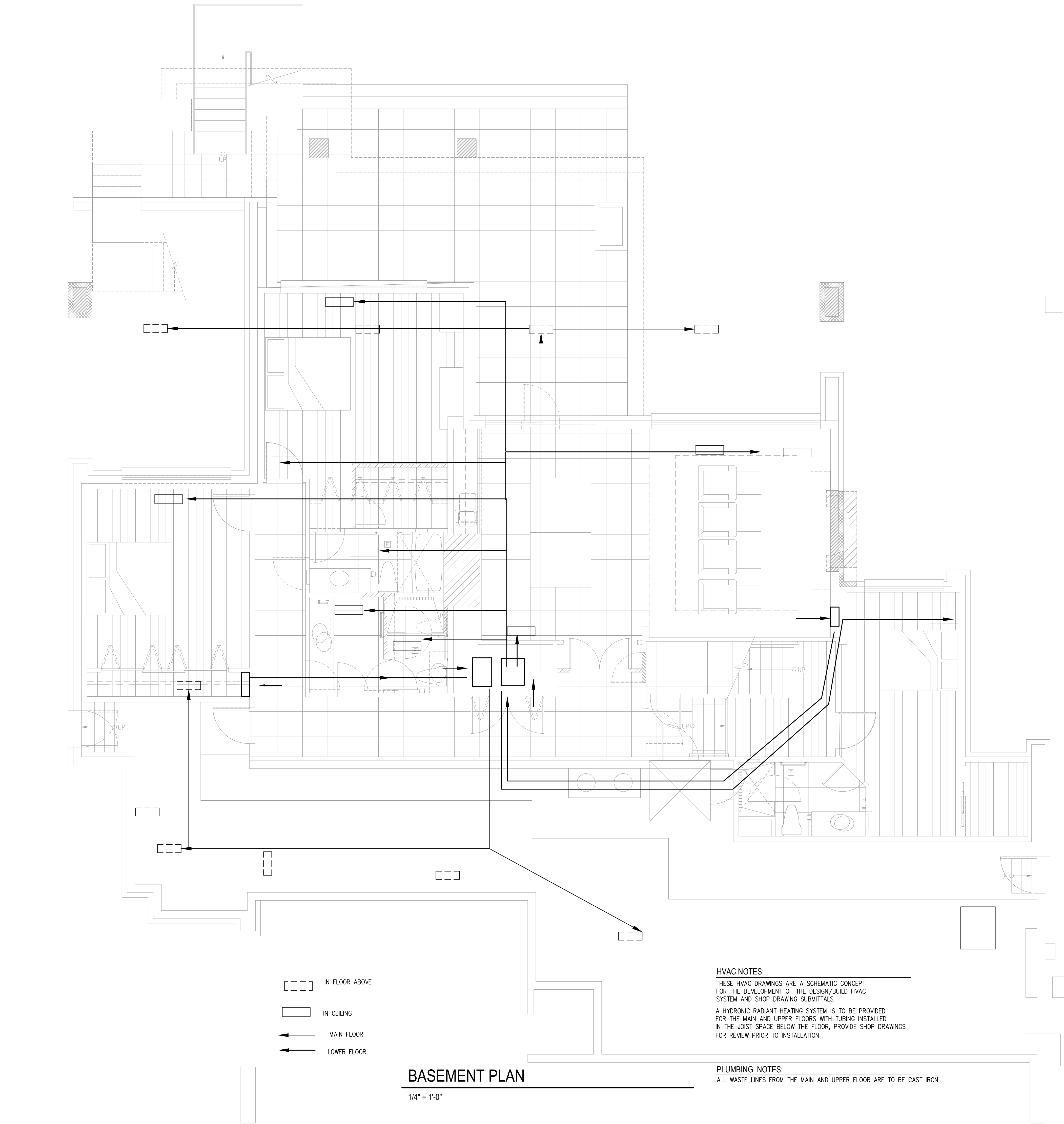
NORTH
MAIN FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

No.	Date	Revision



UPPER FLOOR ELECTRICAL PLAN

1/4" = 1'-0"



- IN FLOOR ABOVE
- IN CEILING
- MAIN FLOOR
- ← LOWER FLOOR

BASEMENT PLAN
1/4" = 1'-0"

HVAC NOTES:
 THESE HVAC DRAWINGS ARE A SCHEMATIC CONCEPT FOR THE DEVELOPMENT OF THE DESIGN/BUILD HVAC SYSTEM AND SHOP DRAWING SUBMITTALS
 A HYDRONIC RADIANT HEATING SYSTEM IS TO BE PROVIDED FOR THE MAIN AND UPPER FLOORS WITH TUBING INSTALLED IN THE JOIST SPACE BELOW THE FLOOR. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO INSTALLATION

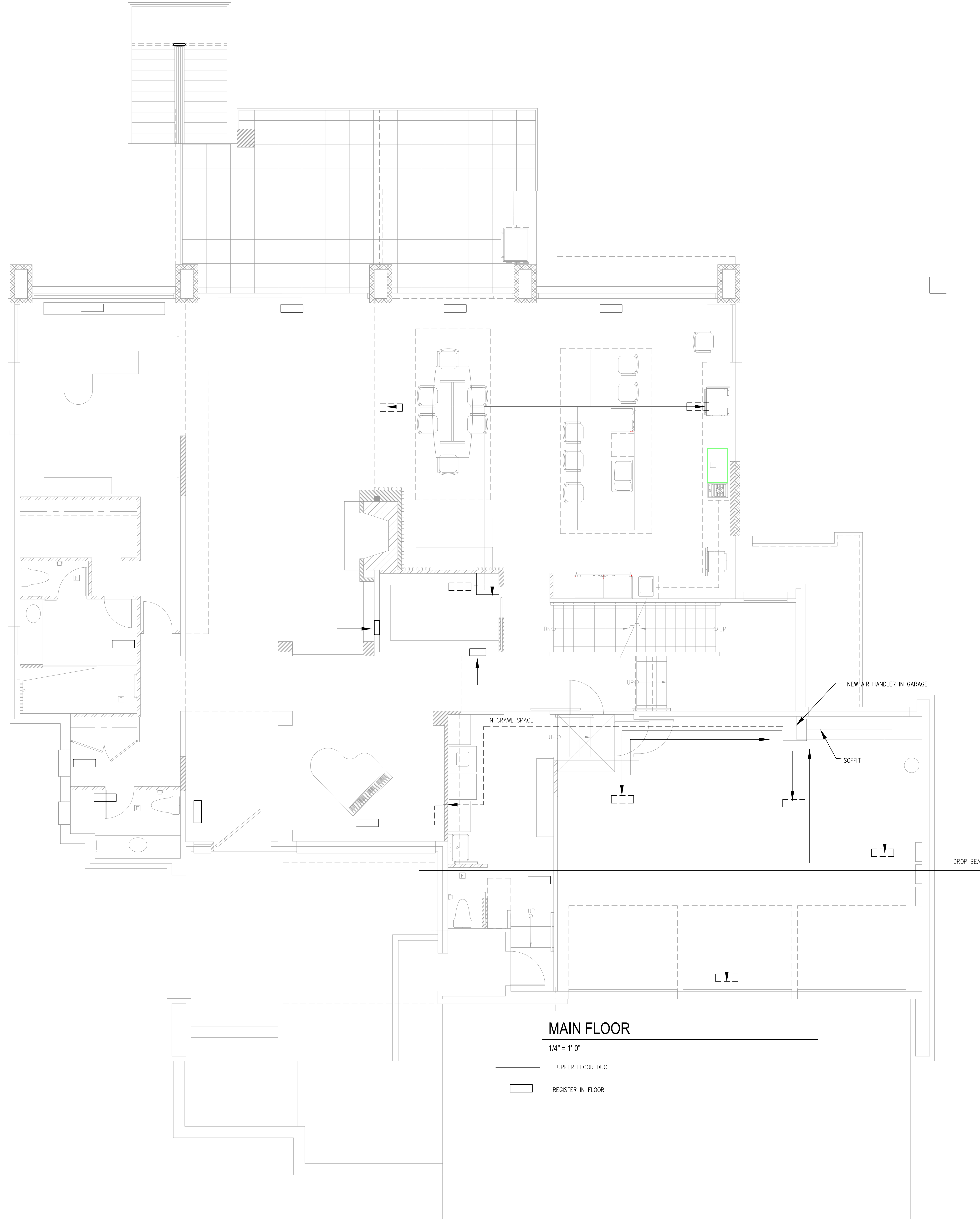
PLUMBING NOTES:
 ALL WASTE LINES FROM THE MAIN AND UPPER FLOOR ARE TO BE CAST IRON

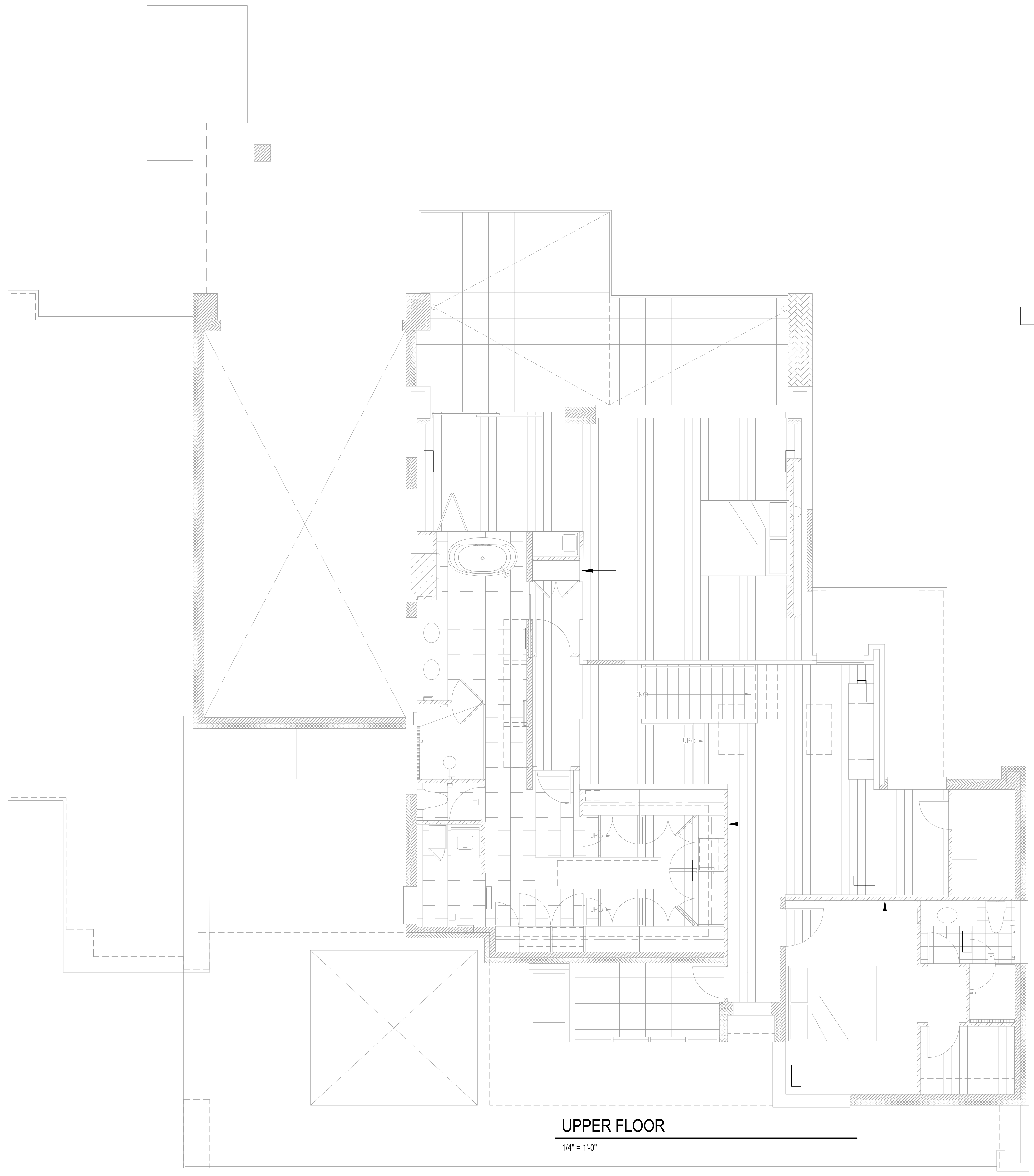
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9/28/23 PRICING SET

No.	Date	Revision

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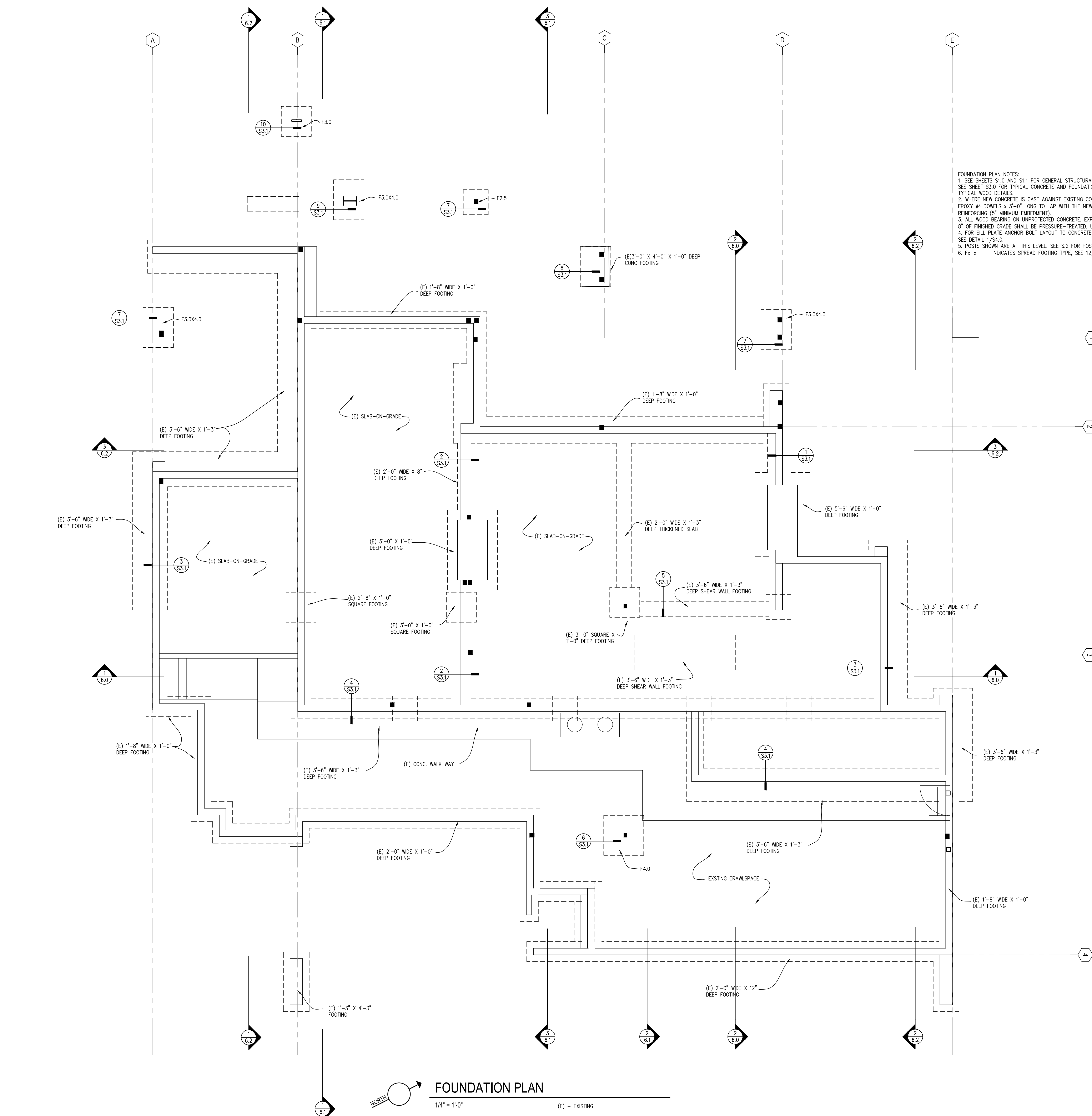


UPPER FLOOR

1/4" = 1'-0"

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No.	Date	Revision
	9/28/23	PRICING SET

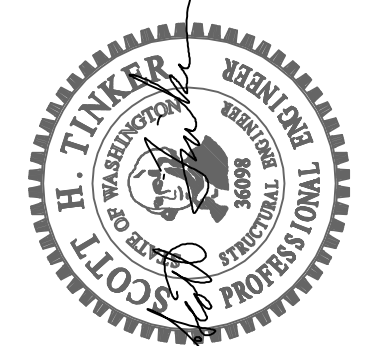


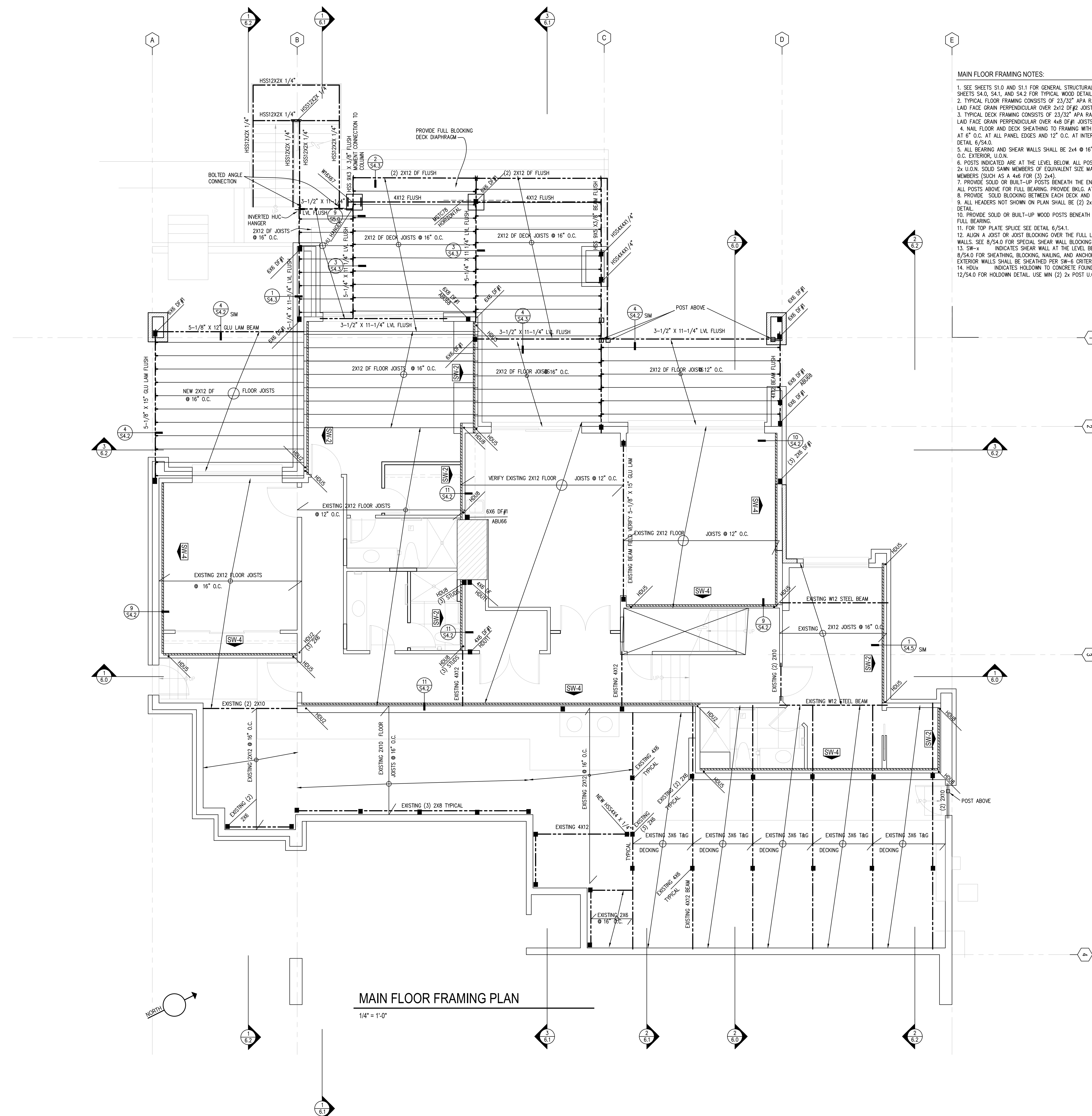
FOUNDATION PLAN NOTES:
 1. SEE SHEETS S1.0 AND S1.1 FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEET S3.0 FOR TYPICAL CONCRETE AND FOUNDATION DETAILS. SEE SHEET S4.0 FOR TYPICAL WOOD DETAILS.
 2. WHERE NEW CONCRETE IS CAST AGAINST EXISTING CONCRETE FOUNDATIONS, DRILL AND EPOXY #4 DOWELS X 3'-0" LONG TO LAP WITH THE NEW FOOTING LONGITUDINAL REINFORCING (5" MINIMUM EMBEDMENT).
 3. ALL WOOD BEARING ON UNPROTECTED CONCRETE, EXPOSED TO WEATHER, OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESSURE-TREATED, U.O.N.
 4. FOR SILL PLATE ANCHOR BOLT LAYOUT TO CONCRETE FOUNDATION WALLS AND SLABS, SEE DETAIL 1/S4.0.
 5. POSTS SHOWN ARE AT THIS LEVEL. SEE S.2 FOR POST SIZES.
 6. Fx-x INDICATES SPREAD FOOTING TYPE, SEE 12/S3.0 FOR SCHEDULE.

FOUNDATION PLAN
 1/4" = 1'-0" (E) - EXISTING



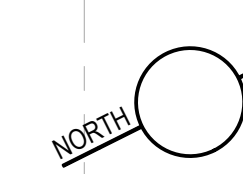
No. Date Revision





MAIN FLOOR FRAMING PLAN

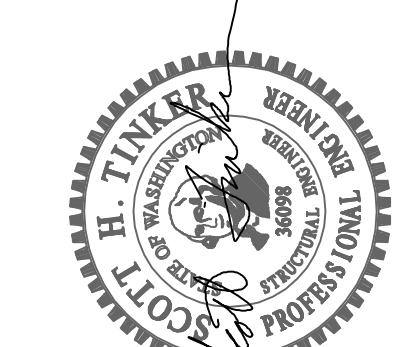
1/4" = 1'-0"



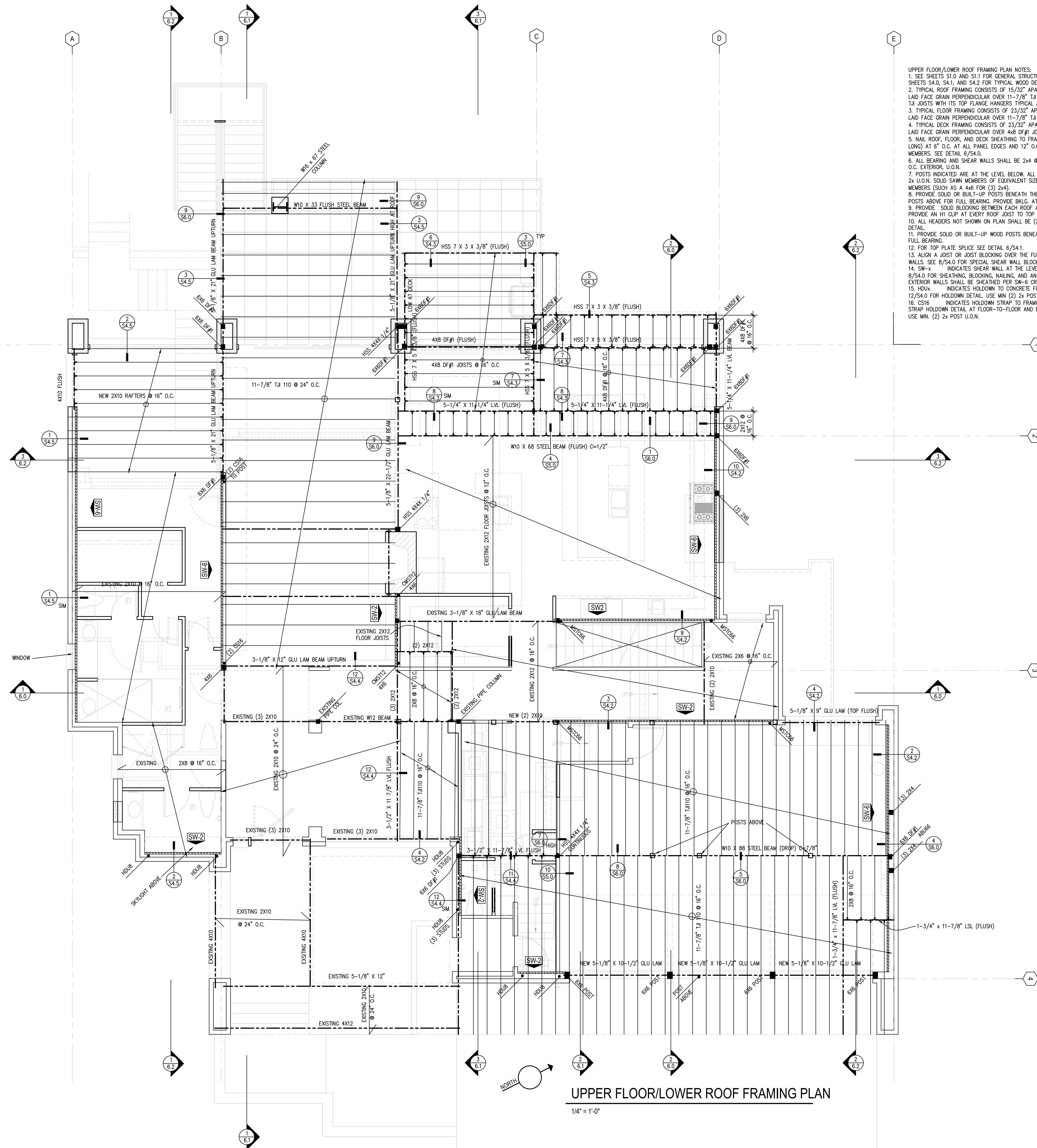
- MAIN FLOOR FRAMING NOTES:
- SEE SHEETS S1.0 AND S1.1 FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEETS S4.0, S4.1, AND S4.2 FOR TYPICAL WOOD DETAILS.
 - TYPICAL FLOOR FRAMING CONSISTS OF 23/32" APA RATED SHEATHING (INDEX 48/24), LAID FACE GRAIN PERPENDICULAR OVER 2X12 DF#2 JOISTS @ 16" O.C., U.O.N.
 - TYPICAL BECK FRAMING CONSISTS OF 23/32" APA RATED SHEATHING (INDEX 48/24), LAID FACE GRAIN PERPENDICULAR OVER 4X8 DF#1 JOISTS @ 16" O.C., U.O.N.
 - NAIL FLOOR AND DECK SHEATHING TO FRAMING WITH 8d NAILS (0.131" Ø x 2.5" LONG) AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. SEE DETAIL 6/54.0.
 - ALL BEARING AND SHEAR WALLS SHALL BE 2x4 @ 16" O.C. INTERIOR AND 2x6 @ 16" O.C. EXTERIOR, U.O.N.
 - POSTS INDICATED ARE AT THE LEVEL BELOW. ALL POSTS NOT SPECIFIED SHALL BE (2) 2x U.O.N. SOLID SAWN MEMBERS OF EQUIVALENT SIZE MAY BE SUBSTITUTED FOR BUILT-UP MEMBERS (SUCH AS A 4x6 FOR (3) 2x4).
 - PROVIDE SOLID OR BUILT-UP POSTS BENEATH THE ENDS OF ALL FLOOR BEAMS AND ALL POSTS ABOVE FOR FULL BEARING. PROVIDE ENLG. AT JOISTS PER DETAIL 7/54.1.
 - PROVIDE SOLID BLOCKING BETWEEN EACH BECK AND FLOOR JOIST AT SUPPORTS.
 - ALL HEADERS NOT SHOWN ON PLAN SHALL BE (2) 2x10. SEE 10/54.1 FOR HEADER DETAIL.
 - PROVIDE SOLID OR BUILT-UP WOOD POSTS BENEATH THE ENDS OF ALL BEAMS FOR FULL BEARING.
 - FOR TOP PLATE SPLICE SEE DETAIL 6/54.1.
 - ALIGN A JOIST OR JOIST BLOCKING OVER THE FULL LENGTH OF ALL BEARING/SHEAR WALLS. SEE 8/54.0 FOR SPECIAL SHEAR WALL REQUIREMENTS.
 - INDICATES SHEAR WALL AT THE LEVEL BELOW. SEE SHEAR WALL SCHEDULE.
 - 8/54.0 FOR SHEATHING, BLOCKING, NAILING, AND ANCHOR BOLT REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE SHEATHED PER SW-6 CRITERIA, U.O.N.
 - INDICATES HOLDDOWN TO CONCRETE FOUNDATION WALLS OR FOOTINGS. SEE 12/54.0 FOR HOLDDOWN DETAIL. USE MIN (2) 2x POST U.O.N.



No. Date Revision



MAIN FLOOR FRAMING PLAN

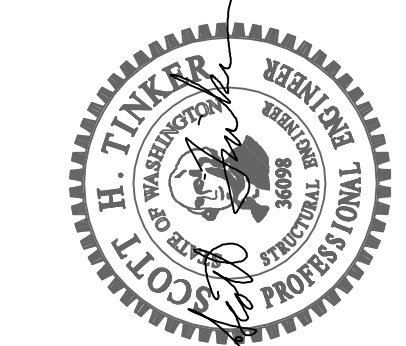


- UPPER FLOOR/LOWER ROOF FRAMING PLAN NOTES.
- SEE SHEETS S1.0 AND S1.1 FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEETS S4.0, S4.1, AND S4.2 FOR TYPICAL WOOD DETAILS.
 - TYPICAL ROOF FRAMING CONSISTS OF 15/32" APA RATED SHEATHING (INDEX 32/12), LAID FACE GRAIN PERPENDICULAR OVER 11-7/8" TJI 110 JOISTS @ 24" O.C., U.O.N. HANG TJI JOISTS WITH ITS TOP FLANGE HANGERS TYPICAL AT FLUSH BEAMS, U.O.N.
 - TYPICAL FLOOR FRAMING CONSISTS OF 23/32" APA RATED SHEATHING (INDEX 48/24), LAID FACE GRAIN PERPENDICULAR OVER 11-7/8" TJI 110 JOISTS @ 16" O.C., U.O.N.
 - TYPICAL DECK FRAMING CONSISTS OF 23/32" APA RATED SHEATHING (INDEX 48/24), LAID FACE GRAIN PERPENDICULAR OVER 4x8 DF#1 JOISTS @ 16" O.C., U.O.N.
 - NAIL ROOF, FLOOR, AND DECK SHEATHING TO FRAMING WITH 8d NAILS (0.131" Ø x 2.5" LONG) AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. SEE DETAIL 6/54.0.
 - ALL BEARING AND SHEAR WALLS SHALL BE 2x4 @ 16" O.C. INTERIOR AND 2x6 @ 16" O.C. EXTERIOR, U.O.N.
 - POSTS INDICATED ARE AT THE LEVEL BELOW. ALL POSTS NOT SPECIFIED SHALL BE (2) 2x U.O.N. SOLID SAWN MEMBERS OF EQUIVALENT SIZE MAY BE SUBSTITUTED FOR BUILT-UP MEMBERS (SUCH AS A 4x6 FOR (3) 2x4).
 - PROVIDE SOLID OR BUILT-UP POSTS BENEATH THE ENDS OF ALL FLOOR BEAMS AND ALL JOISTS ABOVE FOR FULL BEARING. PROVIDE BKLG. AT JOISTS PER DETAIL 7/54.1.
 - PROVIDE SOLID BLOCKING BETWEEN EACH ROOF AND FLOOR JOIST AT SUPPORTS. PROVIDE AN H1 CLIP AT EVERY ROOF JOIST TO TOP PLATE.
 - ALL HEADERS NOT SHOWN ON PLAN SHALL BE (2) 2x10. SEE 10/54.1 FOR HEADER DETAIL.
 - PROVIDE SOLID OR BUILT-UP WOOD POSTS BENEATH THE ENDS OF ALL BEAMS FOR FULL BEARING.
 - FOR TOP PLATE SPLICE SEE DETAIL 6/54.1.
 - ALIGN A JOIST OR JOIST BLOCKING OVER THE FULL LENGTH OF ALL BEARING/SHEAR WALLS. SEE 8/54.0 FOR SPECIAL SHEAR WALL BLOCKING REQUIREMENTS.
 - SW-x INDICATES SHEAR WALL AT THE LEVEL BELOW. SEE SHEAR WALL SCHEDULE 8/54.0 FOR SHEATHING, BLOCKING, NAILING, AND ANCHOR BOLT REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE SHEATHED PER SW-6 CRITERIA, U.O.N.
 - HDXx INDICATES HOLDDOWN TO CONCRETE FOUNDATION WALLS OR FOOTINGS. SEE 12/54.0 FOR HOLDDOWN DETAIL. USE MIN (2) 2x POST U.O.N.
 - CS16 INDICATES HOLDOWN STRAP TO FRAMING BELOW WALL. SEE 10/54.0 FOR STRAP HOLDOWN DETAIL AT FLOOR-TO-FLOOR AND BEAM SUPPORTING SHEAR WALL END. USE MIN. (2) 2x POST U.O.N.

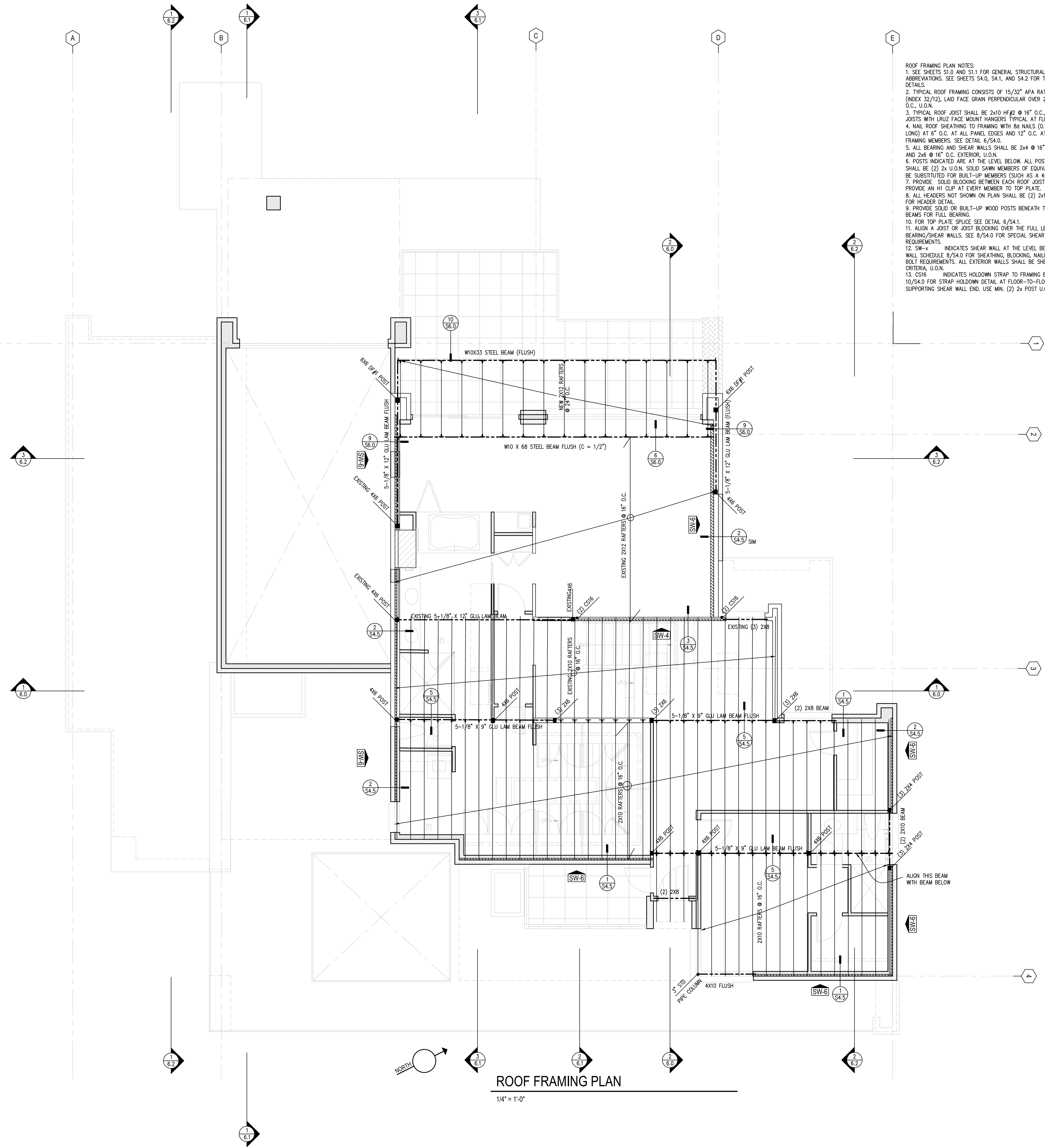
UPPER FLOOR/LOWER ROOF FRAMING PLAN
1/4" = 1'-0"



No. Date Revision



UPPER FLOOR
FRAMING PLAN

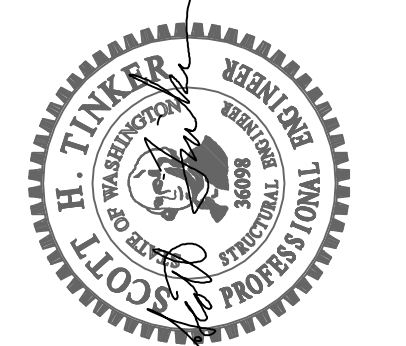


- ROOF FRAMING PLAN NOTES:
- SEE SHEETS S1.0 AND S1.1 FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEETS S4.0, S4.1, AND S4.2 FOR TYPICAL WOOD DETAILS.
 - TYPICAL ROOF FRAMING CONSISTS OF 15/32" APA RATED SHEATHING (INDEX 32/12), LAID FACE GRAIN PERPENDICULAR OVER 2x FRAMING @ 16" O.C., U.O.N.
 - TYPICAL ROOF JOIST SHALL BE 2x10 HF#2 @ 16" O.C., U.O.N. HANG JOISTS WITH LRUZ FACE MOUNT HANGERS TYPICAL AT FLUSH BEAMS.
 - NAIL ROOF SHEATHING TO FRAMING WITH 8d NAILS (0.131" Ø x 2.5" LONG) AT 8" O.C. AT ALL PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. SEE DETAIL 6/S4.0.
 - ALL BEARING AND SHEAR WALLS SHALL BE 2x4 @ 16" O.C. INTERIOR AND 2x6 @ 16" O.C. EXTERIOR, U.O.N.
 - POSTS INDICATED ARE AT THE LEVEL BELOW. ALL POSTS NOT SPECIFIED SHALL BE (2) 2x U.O.N. SOLID SAWN MEMBERS OF EQUIVALENT SIZE MAY BE SUBSTITUTED FOR BUILT-UP MEMBERS (SUCH AS A 4x6 FOR (3) 2x4).
 - PROVIDE SOLID BLOCKING BETWEEN EACH ROOF JOIST AT SUPPORTS. PROVIDE AN HI CLIP AT EVERY MEMBER TO TOP PLATE.
 - ALL HEADERS NOT SHOWN ON PLAN SHALL BE (2) 2x10. SEE 10/S4.1 FOR HEADER DETAIL.
 - PROVIDE SOLID OR BUILT-UP WOOD POSTS BENEATH THE ENDS OF ALL BEAMS FOR FULL BEARING.
 - FOR TOP PLATE SPLICE SEE DETAIL 6/S4.1.
 - ALIGN A JOIST OR JOIST BLOCKING OVER THE FULL LENGTH OF ALL BEARING/SHEAR WALLS. SEE 8/S4.0 FOR SPECIAL SHEAR WALL BLOCKING REQUIREMENTS.
 - SW-x INDICATES SHEAR WALL AT THE LEVEL BELOW. SEE SHEAR WALL SCHEDULE 8/S4.0 FOR SHEATHING, BLOCKING, NAILING, AND ANCHOR BOLT REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE SHEATHED PER SW-6 CRITERIA, U.O.N.
 - CS16 INDICATES HOLDOWN STRAP TO FRAMING BELOW WALL. SEE 10/S4.0 FOR STRAP HOLDOWN DETAIL AT FLOOR-TO-FLOOR AND BEAM SUPPORTING SHEAR WALL END. USE MIN. (2) 2x POST U.O.N.

ROOF FRAMING PLAN
1/4" = 1'-0"



No. Date Revision



ROOF FRAMING PLAN

Sheet No. **S.4**
Project No. 2222
Date: 6/7/23

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

STEEL

31. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON THE LATEST EDITIONS OF THE A.I.S.C. SPECIFICATIONS AND CODES:

- A. AISC - STEEL CONSTRUCTION MANUAL, 15TH EDITION
- B. AISC 308-16 - CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
- C. 2014 RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS.

32. STRUCTURAL STEEL, WIDE FLANGE (W AND WT) SHAPES SHALL CONFORM TO ASTM A992, $F_y = 50$ KSI; ALL OTHER ROLLED SHAPES SHALL CONFORM TO ASTM A36, $F_y = 36$ KSI. STEEL PLATE SHALL CONFORM TO ASTM A36, $F_y = 36$ KSI. STEEL PIPE SHALL CONFORM TO ASTM A53, TYPE E OR S, GRADE B, $F_y = 35$ KSI. STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE C, $F_y = 50$ KSI. CONNECTION BOLTS SHALL CONFORM TO ASTM A307. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 GRADE 36, $F_y = 36$ KSI.

33. ARCHITECTURALLY EXPOSED STRUCTURAL STEEL SHALL CONFORM TO SECTION 10 OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.

34. ALL A325 CONNECTION BOLTS SHALL BE INSTALLED TO THE SNUG-TIGHT CONDITION PER RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. ALL NUTS SHALL CONFORM TO ASTM A563. ALL WASHERS SHALL CONFORM TO ASTM F436 OR ASTM F454 TYPE 325. ALL BOLT HOLES SHALL BE STANDARD SIZE UNLESS OTHERWISE NOTED.

35. ALL A307 CONNECTION BOLTS SHALL BE PROVIDED WITH LOCK WASHERS UNDER NUTS OR SELF-LOCKING NUTS. ALL BOLT HOLES SHALL BE STANDARD SIZE UNLESS OTHERWISE NOTED.

36. ALL WELDING SHALL BE IN CONFORMANCE WITH A.I.S.C. AND A.W.S. STANDARDS AND SHALL BE PERFORMED BY W.A.B.O. CERTIFIED WELDERS USING E70 XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY A.W.S.) SHALL BE USED. WELDING OF GRADE 60 REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING LOW HYDROGEN ELECTRODES. WELDING OF GRADE 40 REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING E70XX ELECTRODES. WELDING WITHIN 4" OF COLD BENDS IN REINFORCING STEEL IS NOT PERMITTED. SEE REINFORCING NOTE FOR MATERIAL REQUIREMENTS OF WELDED BARS. ALL WELDING SHALL BE PERFORMED BY WELDERS WITH AWS / W.A.B.O. CERTIFICATION WITH THE MATERIAL AND METHOD REQUIRED.

SHOP DRAWINGS SHALL SHOW ALL WELDING WITH AWS A2.4 SYMBOLS. WELDS SHOWN ON DRAWINGS ARE MINIMUM SIZES. INCREASE WELD SIZE TO AWS MINIMUM SIZES BASED ON PLATE THICKNESS. MINIMUM WELDING SHALL BE 3/16-INCH. THE WELDS SHOWN ARE FOR THE FINAL CONNECTIONS. FIELD WELD ARROWS ARE SHOWN WHERE A FIELD WELD IS REQUIRED BY THE STRUCTURAL DESIGN; THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF A WELD SHOULD BE SHOP OR FIELD WELDED IN ORDER TO FACILITATE THE STRUCTURAL STEEL DELIVERY AND ERECTION.

37. WELDING OF LATERAL FORCE RESISTING MEMBERS SHALL BE PERFORMED IN ACCORDANCE WITH A WELDING PROCEDURE SPECIFICATION (WPS) AS REQUIRED IN AWS D11 AND APPROVED BY THE STRUCTURAL ENGINEER BEFORE WORK BEGINS. THE WPS VARIABLES SHALL BE WITHIN THE PARAMETERS ESTABLISHED BY THE FILLER METAL MANUFACTURER. WELDING ELECTRODES SHALL BE E70T6-K2 OR E70T6 WITH A MINIMUM SPECIFIED CHARPY V-NOTCH (CVN) OF 20 ft-lbs AT -20 DEGREES FAHRENHEIT AND 40 ft-lbs AT 0 DEGREES FAHRENHEIT. REMOVE BOTTOM FLANGE WELD TAB AT MOMENT FRAME CONNECTIONS AND REINFORCE WITH 5/16" FILLET WELD IN CONFORMANCE WITH FEMA-353 RECOMMENDATIONS. WELD ACCESS HOLE DETAILING AT MOMENT FRAME CONNECTIONS SHALL CONFORM WITH FEMA-350 AND FEMA-353 RECOMMENDATIONS.

WOOD

38. FRAMING LUMBER: SHALL BE KILN DRIED OR MC-19 (MOISTURE CONTENT LESS THAN 19%) AND GRADED AND MARKED IN CONFORMANCE WITH N.C.L.L.B. STANDARD NO. 17 GRADING RULES FOR WEST COAST LUMBER. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS (2X, 3X, AND 4X MEMBERS)	DOUGLAS FIR OR HEM-FIR NO. 2
BEAMS AND STRINGERS (INCLUDING 6 X AND LARGER MEMBERS)	DOUGLAS FIR NO. 1
POSTS AND TIMBERS	DOUGLAS FIR NO. 1
STUDS, PLATES & MISCELLANEOUS LIGHT FRAMING (AS NOTED ON PLANS / DETAILS)	DOUGLAS FIR OR HEM-FIR NO. 2

39. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM D3757 AND ANSI A190.1 STANDARDS. EACH MEMBER SHALL BEAR AN A.I.T.C. IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN A.I.T.C. CERTIFICATE OF CONFORMANCE. CERTIFICATES OF CONFORMANCE MUST BE MADE AVAILABLE TO BUILDING INSPECTORS. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, $F_b = 2,400$ PSI, $F_v = 240$ PSI, $E = 1,800$ KSI. ALL CANTILEVERED OR CONTINUOUS BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, $F_b = 2,400$ PSI, $F_v = 240$ PSI, $E = 1,800$ KSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS TO 5000' RADIUS UNLESS SHOWN OTHERWISE ON THE PLANS. ALL GLUE LAMINATED COLUMNS SHALL BE DOUGLAS FIR COMBINATION 2, $F_c = 1,900$ PSI, $F_{b1} = 1,800$ PSI, $F_{b2} = 1,700$ PSI, $E = 1,700$ KSI (4 LAMS MINIMUM DEPTH). CONTRACTOR SHALL VERIFY AVAILABILITY OF THE GL MEMBER SIZES SHOWN ON THE DRAWINGS AND ADJUST THE CONNECTOR SIZES IF NEEDED FOR LARGER MEMBER SIZES.

40. LAMINATED VENEER LUMBER (LVL) SHALL BE DESIGNED AND MANUFACTURED PER ASTM D5456. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, AND THE INDEPENDENT INSPECTION AGENCY'S LOGO. ALL LAMINATED VENEER LUMBER SHALL BE MANUFACTURED USING DOUGLAS FIR VENEER GLUED WITH A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER. MINIMUM STRUCTURAL PROPERTIES ARE AS FOLLOWS:

$$F_b = 2600 \text{ PSI}, E = 2.0 \times 10^6 \text{ PSI}, F_v = 285 \text{ PSI}$$

DESIGN SHOWN ON PLANS IS BASED ON MATERIALS MANUFACTURED BY THE MEYERHAEUSER CORPORATION. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER.

41. LAMINATED STRAND LUMBER (LSL) SHALL BE DESIGNED AND MANUFACTURED PER ASTM D5456. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, AND THE INDEPENDENT INSPECTION AGENCY'S LOGO. ALL LAMINATED STRAND LUMBER SHALL BE MANUFACTURED USING A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559. MINIMUM STRUCTURAL PROPERTIES ARE AS FOLLOWS:

RIM JOISTS AND BLOCKING (1-1/4" MINIMUM THICKNESS AT NON-SHEAR WALLS; SEE SCHEDULE FOR MINIMUM THICKNESS AT SHEAR WALLS):

$$F_b = 1700 \text{ PSI}, E = 1.3 \times 10^6 \text{ PSI}, F_v = 400 \text{ PSI}$$

BEAMS AND HEADERS:

$$F_b = 2325 \text{ PSI}, E = 1.55 \times 10^6 \text{ PSI}, F_v = 310 \text{ PSI}$$

DESIGN SHOWN ON PLANS IS BASED ON MATERIALS MANUFACTURED BY THE MEYERHAEUSER CORPORATION.

ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER.

42. WOOD JOIST DESIGN SHOWN ON PLANS IS BASED ON JOISTS MANUFACTURED BY THE MEYERHAEUSER CORPORATION. ALTERNATE 1-JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE I.C.C. OR IAPMO UES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH WOOD JOIST PROVIDED. GLUE FLOOR JOISTS TO SHEATHING AS REQUIRED BY THE JOIST MANUFACTURER.

43. WOOD SHEATHING SHALL BE APA RATED, EXTERIOR GLUE; EXPOSURE I, IN CONFORMANCE WITH THE REQUIREMENTS FOR THEIR TYPE IN DOC P5-1 OR P5-2. SEE PLANS FOR THICKNESS, PANEL IDENTIFICATION INDEX AND NAILING REQUIREMENTS.

UNLESS OTHERWISE NOTED ON THE PLANS, ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH (2) 10d-F NAILS AT EACH END, UNLESS OTHERWISE NOTED. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PANEL EDGES AND NAIL WITH EDGE NAILING SPACED PER PLANS. WHERE NOT NOTED OTHERWISE, NAIL PANEL EDGES WITH 8d NAILS @ 6" O.C. EDGES, 12" O.C. IN THE FIELD.

44. ALL WOOD EXPOSED TO WEATHER, OR BEARING ON UNPROTECTED CONCRETE BELOW GRADE, OR BEARING ON UNPROTECTED CONCRETE LESS THAN 8" FROM EXPOSED EARTH SHALL BE PRESSURE-TREATED, U.O.N. PRESSURE TREATMENT SHALL BE WITH AN APPROVED PRESERVATIVE CONFORMING TO AMERICAN WOOD PRESERVERS ASSOCIATION U1 AND M4 AND SHALL BE BRANDED WITH A QUALITY CONTROL AGENCY MARK BY THE AMPA OR EQUAL. ALL METAL HARDWARE IN CONTACT WITH TREATED WOOD SHALL BE PROTECTED WITH A GIBS GALVANIZED COATING (ZMAX) OR BETTER. ALL NAILS IN TREATED WOOD SHALL BE HOT-DIP GALVANIZED OR BETTER. PROVIDE 2 LAYERS OF 30# ASPHALT IMPREGNATED BUILDING PAPER BETWEEN NON-PRESSURE-TREATED LEDGERS, BLOCKING, ETC., AND CONCRETE.

45. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NO. C-C-2021. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE I.C.C. OR IAPMO UES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. CONNECTORS SHALL BE SIZED TO MATCH THE SIZE OF THE FRAMING MEMBERS BEING CONNECTED. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD, UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE COMMON. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED. ALL BOLTS TIGHTENED TO SNUG TIGHT.

46. WOOD FASTENERS:

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

DRAWING ID	NAIL NAME	NAIL DIAMETER	NAIL LENGTH
"6d"	6d Common	0.113"	2"
"8d Box"	8d Box	0.113"	2-1/2"
"8d"	8d Common	0.131"	2-1/2"
"10d-F"	10d Framer	0.131"	3"
"10d"	10d Shear	0.148"	2-1/4"
"6d"	6d Sinker	0.148"	3-1/4"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

B. NAILS - SHEATHING FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

C. SCREWS SHALL BE WOOD SCREWS OF THE DIAMETER AND LENGTH NOTED ON THE DRAWINGS. SDS FASTENERS ARE SIMPSON STRONG DRIVE SCREWS.

D. HOT DIPPED GALVANIZED NAILS, BOLTS AND METAL PLATES - ALL NAILS, BOLTS AND METAL PLATES IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED.

47. WOOD FRAMING NOTES: THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE IBC. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. TIGHTEN BOLTS AND LAG SCREWS SNUGLY AGAINST WOOD FRAMING AFTER WOOD HAS REACHED SPECIFIED MOISTURE CONTENT.

B. WALL FRAMING: ALL BEARING AND SHEAR WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2 x 4 STUDS @ 16" O.C. AT INTERIOR WALLS AND 2 x 6 @ 16" O.C. AT EXTERIOR WALLS. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL BEARING AND SHEAR WALLS AND AT EACH SIDE OF ALL OPENINGS. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW.

ALL BEARING STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16d NAILS AT 8" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS WITH 3"x3"x1/4" PLATE WASHERS @ 4'-0" O.C., UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH 10d-F NAILS @ 8" O.C. STAGGERED. REFER TO THE PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING. WHEN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES ATTACHED TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING WITH SCREWS AT 8" O.C. USE 1-1/4" X #6 SCREWS FOR 1/2" GNB AND 5/8" GNB WHERE OCCURS. VERIFY THE FIRE ASSEMBLY REQUIREMENTS WHERE APPLICABLE WITH THE ARCHITECT.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH 10d-F NAILS @ 8" O.C. STAGGERED UNLESS OTHERWISE NOTED.

D. POSITIVE CONNECTIONS: PROVIDE THE FOLLOWING SIMPSON CONNECTORS AT TYPICAL FRAMING UNLESS OTHERWISE NOTED ON PLAN OR DETAIL. PROVIDE CGG/ECCG CAPS AND FBS BASES AT POSTS. PROVIDE BG BASE WHERE POST BEARS ON WOOD FRAMING BELOW. PROVIDE LUS SERIES HANGERS FOR 2X FLOOR AND ROOF JOISTS. CONNECTORS SHALL BE SIZED TO MATCH THE SIZE OF THE FRAMING MEMBERS BEING CONNECTED.



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SEAL:



PROJECT:

HONG AND KAO RESIDENCE

5425 W. MERCER WAY
MERCER ISLAND, WA 98040

APPROVAL:

PERMIT SET 6/7/23

NO.	DESCRIPTION	DATE	BY
ISSUES: ○		REVISIONS: ▲	
P.M.		SHT	
P.E.		MKS	
DRAWN BY:	TA		
SCALE:	AS SHOWN		
DATE:	6/7/23		
JOB NO.	23127.01		

SHEET TITLE:

GENERAL STRUCTURAL NOTES

SHEET NO.

S1.1

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

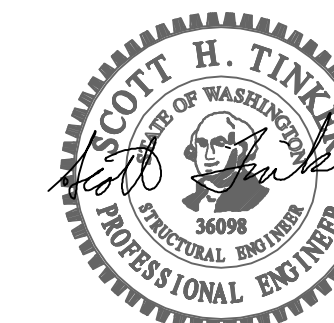
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APPROVAL:

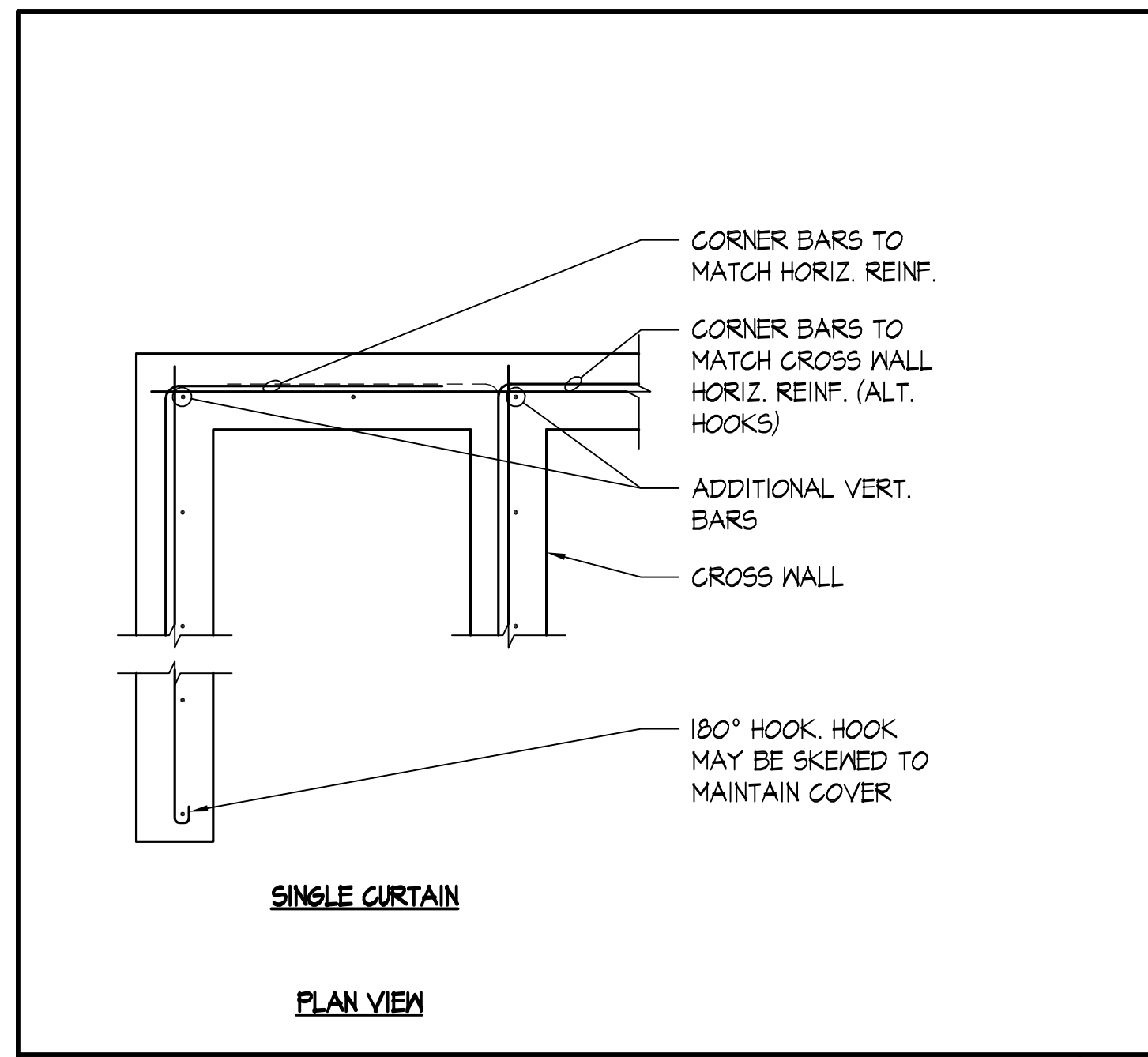
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Table with 4 columns: No., Description, Date, By. Includes rows for ISSUES, REVISIONS, P.M., SHT, P.E., MKS, DRAWN BY, TA, SCALE, AS SHOWN, DATE, 6/7/23, JOB NO., 23127.01, SHEET TITLE.

GENERAL STRUCTURAL NOTES

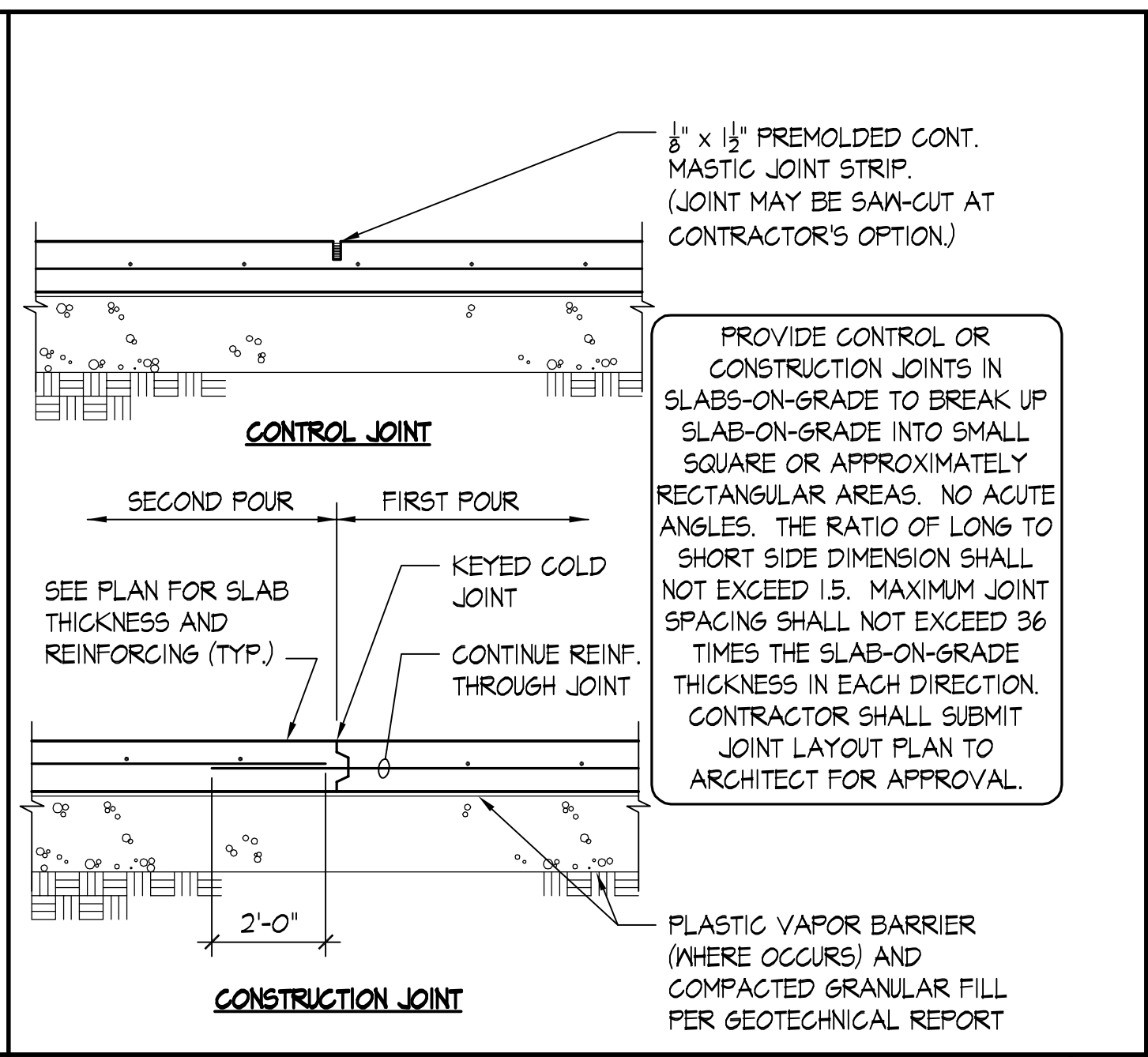
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S1.2



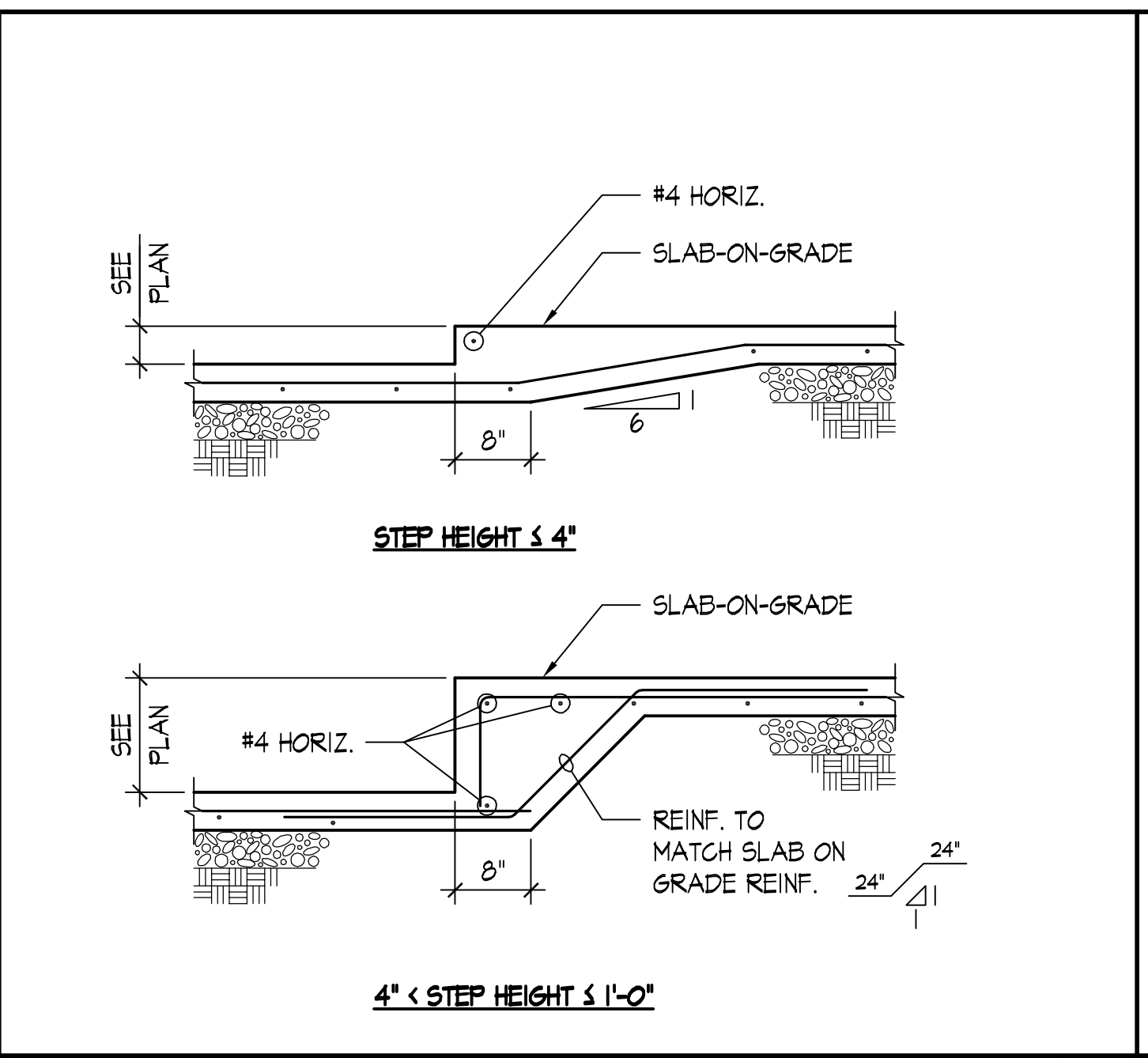
SINGLE CURTAIN

PLAN VIEW



CONTROL JOINT

CONSTRUCTION JOINT



STEP HEIGHT $\leq 4'$

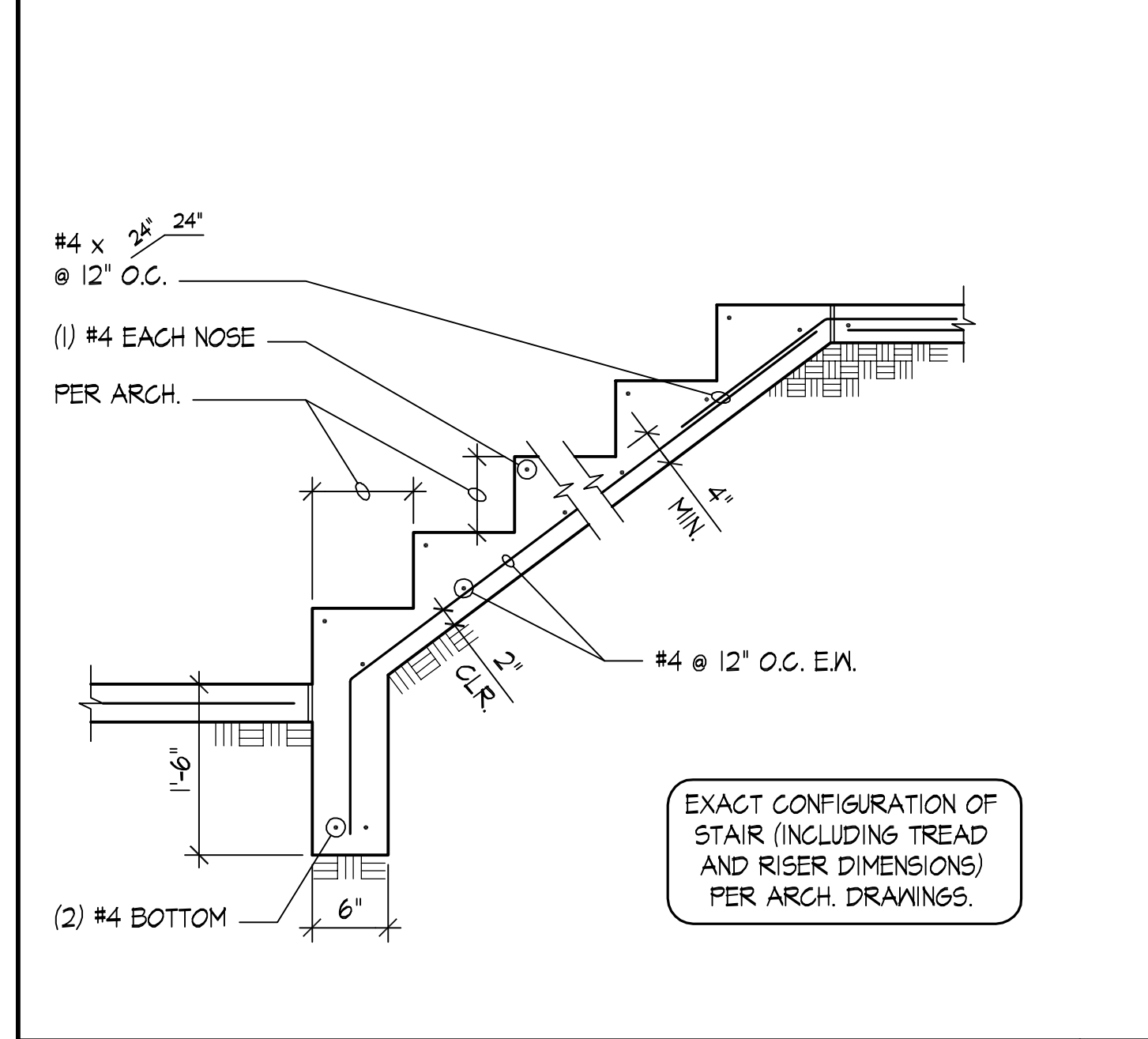
4' \leq STEP HEIGHT $\leq 1'-0''$

TYPICAL CORNER BAR AND WALL END BAR ARRANGEMENT AT CONCRETE WALLS OR FOOTINGS SCALE: NONE

TYPICAL SLAB-ON-GRADE JOINTS SCALE: NONE

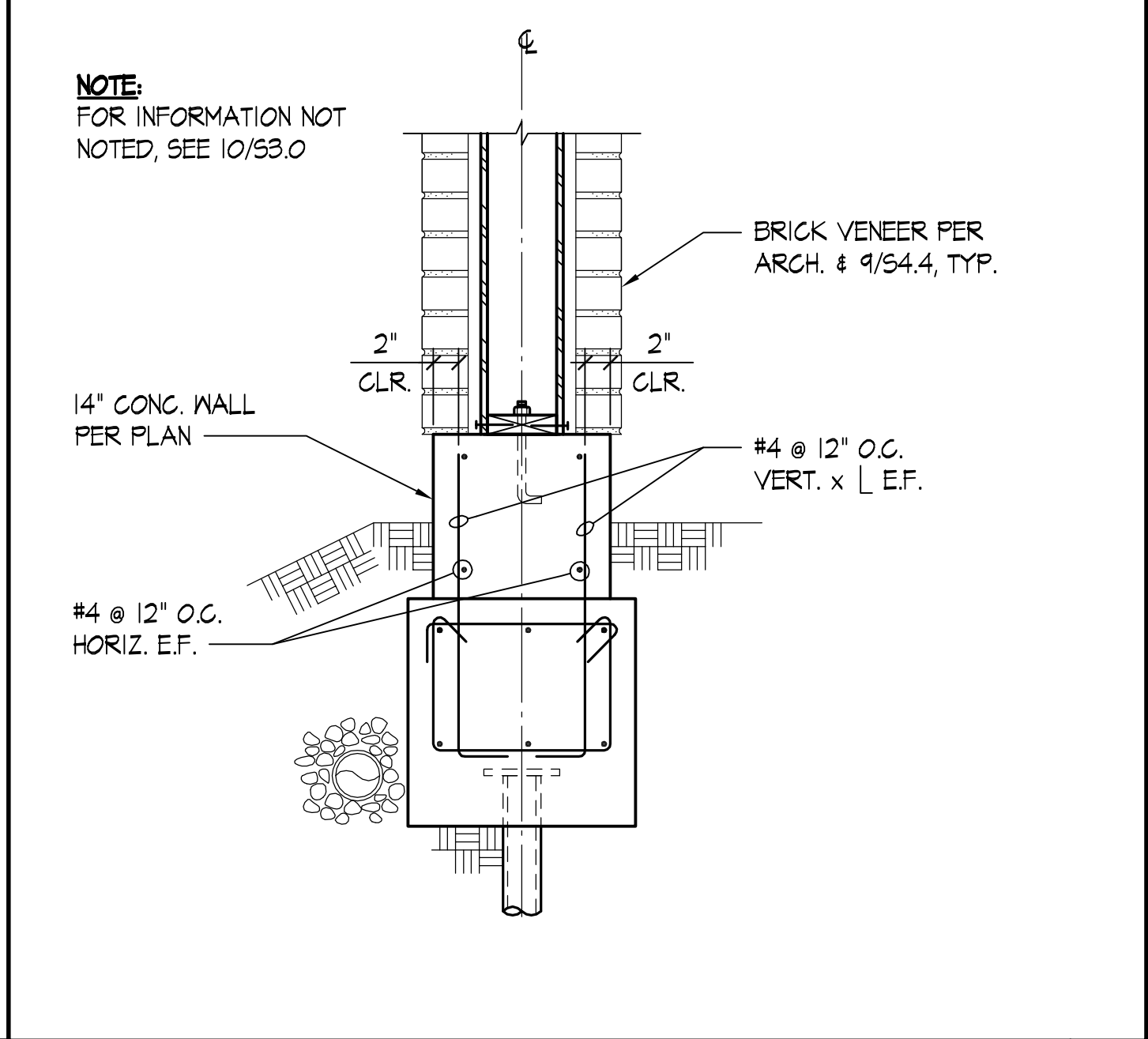
TYPICAL SLAB-ON-GRADE STEP DETAIL SCALE: NONE

DETAIL SCALE: NONE



TYPICAL STAIR ON GRADE

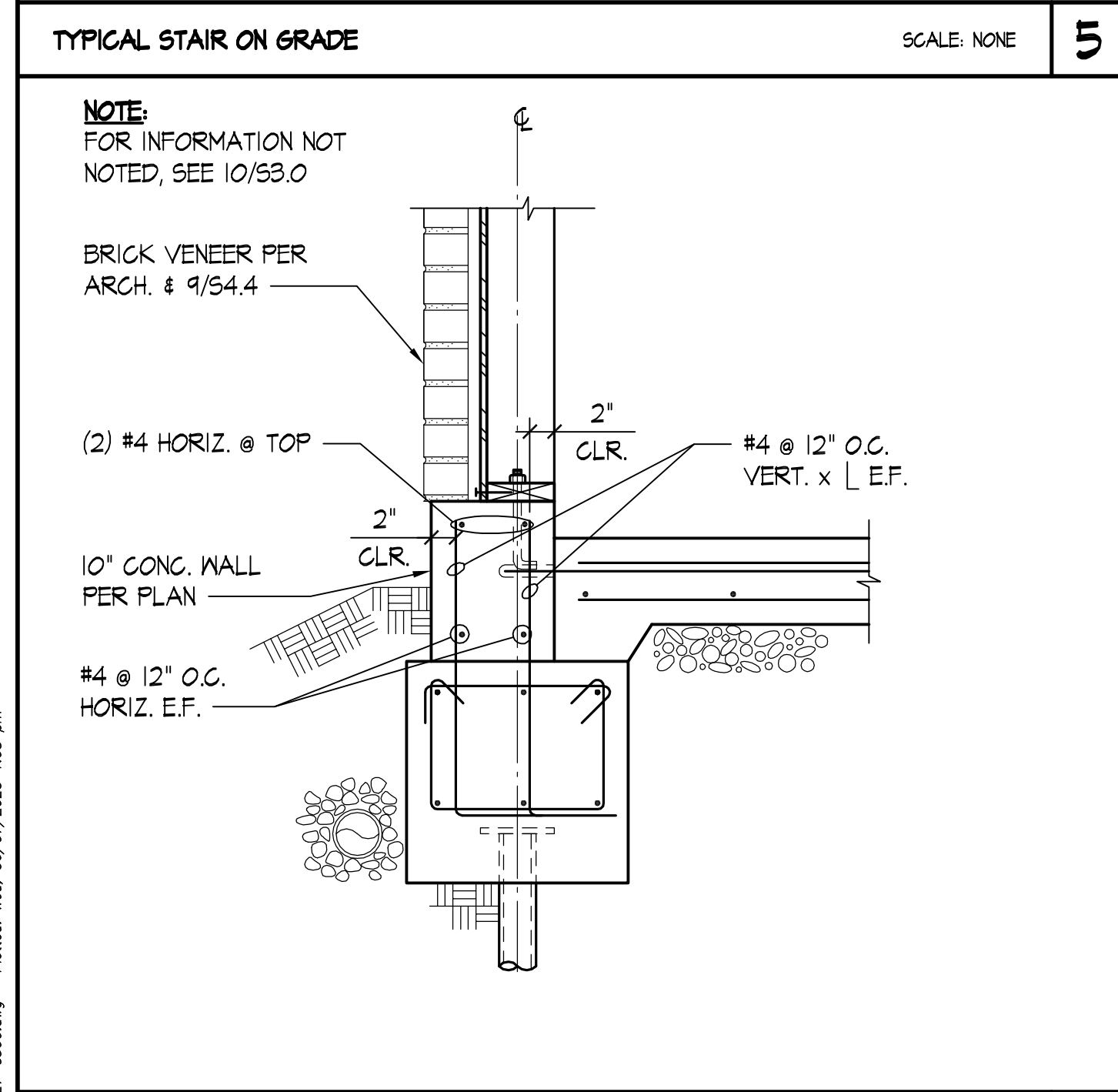
SCALE: NONE



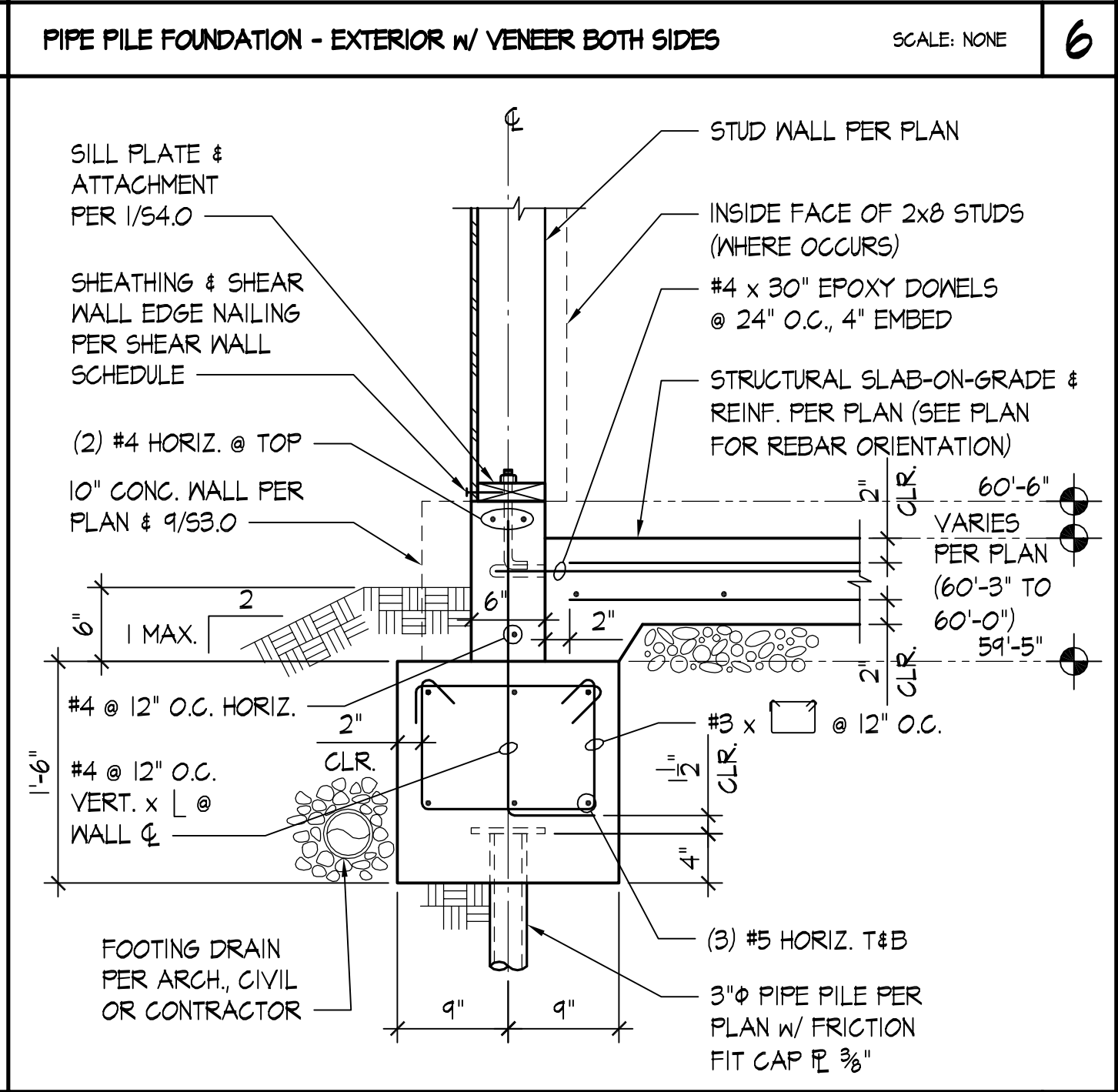
PIPE PILE FOUNDATION - EXTERIOR w/ VENEER BOTH SIDES SCALE: NONE



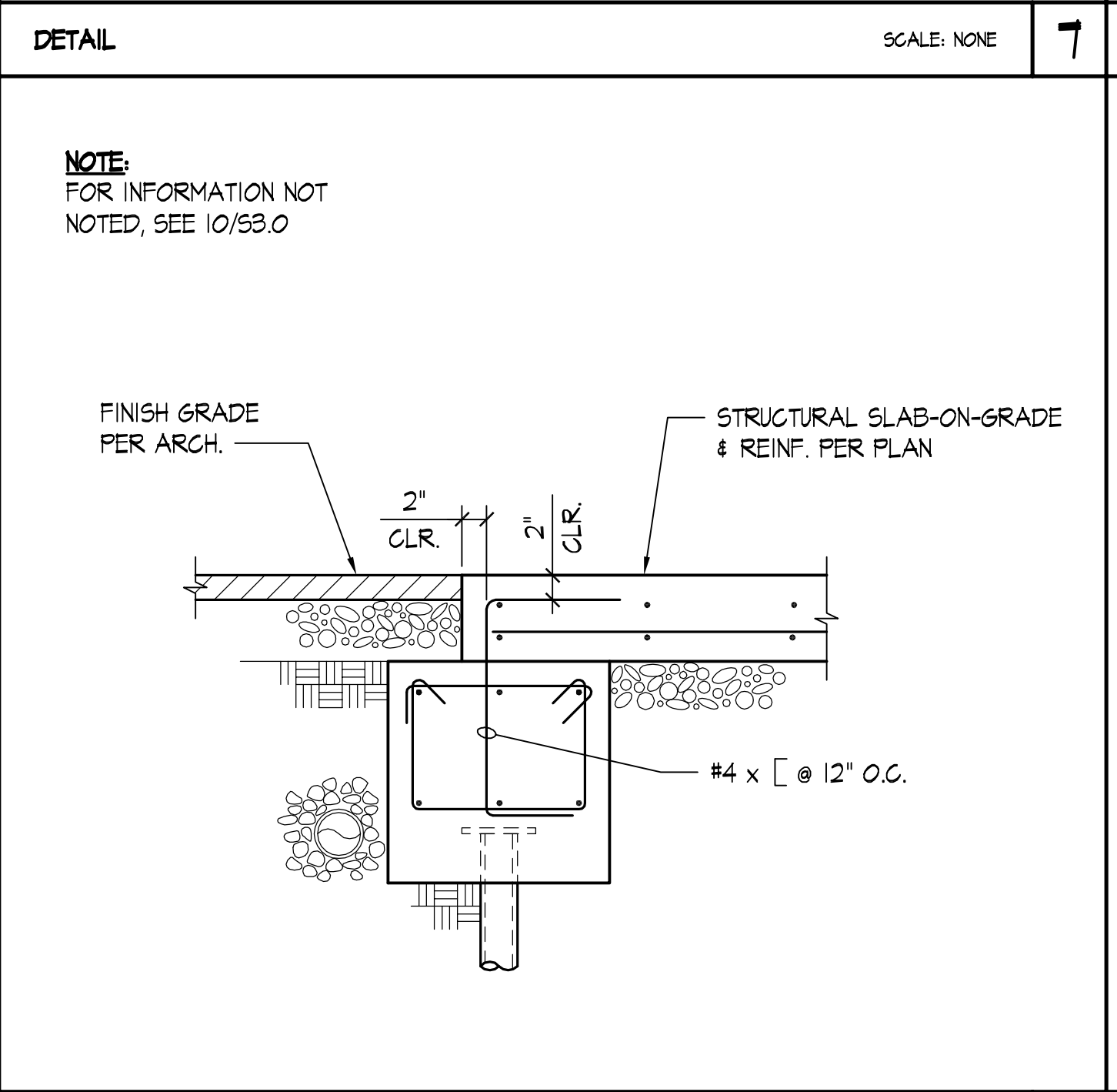
TYPICAL PIPE PILE FOUNDATION - INTERIOR SCALE: NONE



PIPE PILE FOUNDATION - EXTERIOR w/ VENEER SCALE: NONE



TYPICAL PIPE PILE FOUNDATION - EXTERIOR SCALE: NONE



TYPICAL THICKENED SLAB AT DOOR SCALE: NONE

NOTE:
FOR INFORMATION NOT NOTED, SEE 10/53.0

MARK	SIZE	DEPTH	REINFORCING	REMARKS
(F2.0)	2'-0" x 2'-0"	10"	(2) #4 EA. WAY	
(F2.5)	2'-6" x 2'-6"	10"	(3) #4 EA. WAY	
(F3.0)	3'-0" x 3'-0"	12"	(4) #4 EA. WAY	
(F4.0)	4'-0" x 4'-0"	12"	(6) #4 EA. WAY	
(F3.0x4.0)	3'-0" x 4'-0"	12"	(6) #4 TRANSV. (4) #4 LONGIT.	

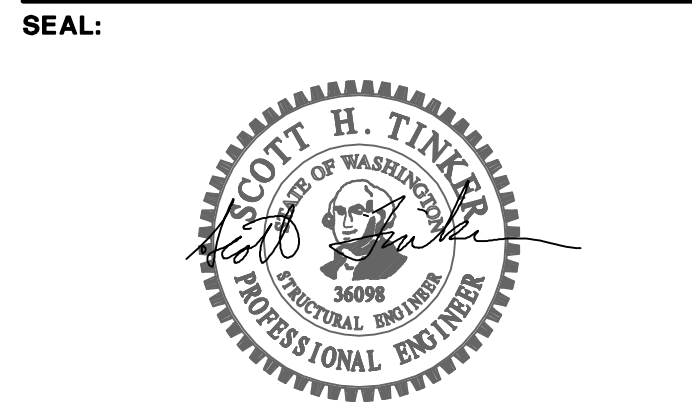
TYPICAL PIPE PILE FOUNDATION - INTERIOR SCALE: NONE

NOTE:
FOR INFORMATION NOT NOTED, SEE 10/53.0

MARK	SIZE	DEPTH	REINFORCING	REMARKS
(F2.0)	2'-0" x 2'-0"	10"	(2) #4 EA. WAY	
(F2.5)	2'-6" x 2'-6"	10"	(3) #4 EA. WAY	
(F3.0)	3'-0" x 3'-0"	12"	(4) #4 EA. WAY	
(F4.0)	4'-0" x 4'-0"	12"	(6) #4 EA. WAY	
(F3.0x4.0)	3'-0" x 4'-0"	12"	(6) #4 TRANSV. (4) #4 LONGIT.	

SPREAD FOOTING SCHEDULE SCALE: NONE

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APPROVAL:

NO.	DESCRIPTION	DATE	BY

PERMIT SET 6/7/23

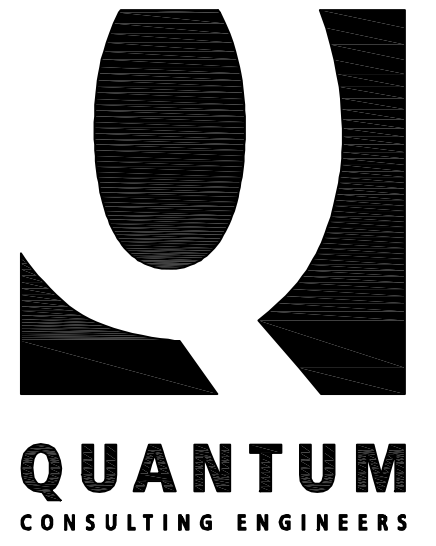
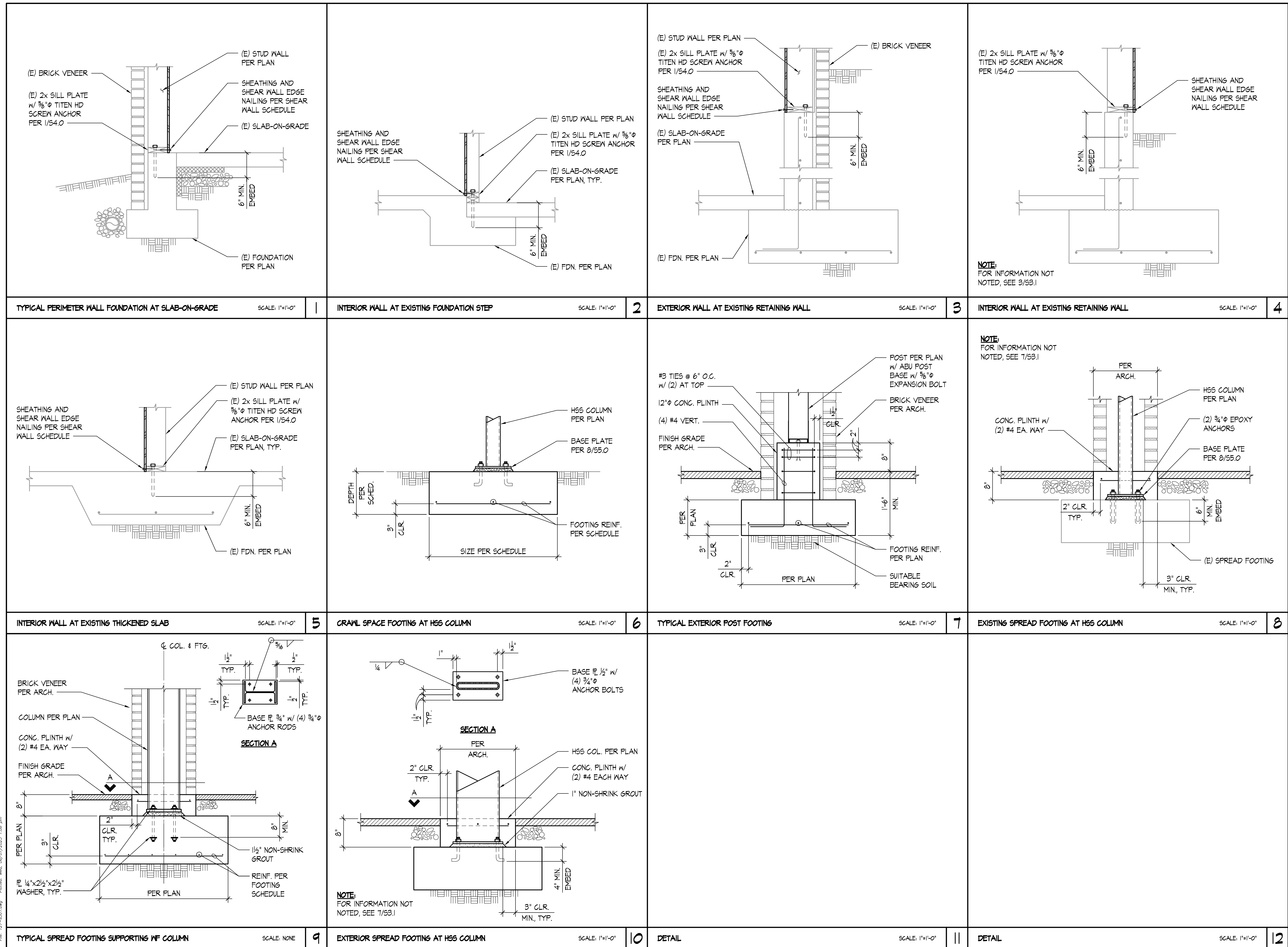
ISSUES:	REVISIONS:
P.M.	SHT
P.E.	MKS
DRAWN BY:	TA
SCALE:	AS SHOWN
DATE:	6/7/23
JOB NO.:	23127.01

FOUNDATION DETAILS

SHEET NO.

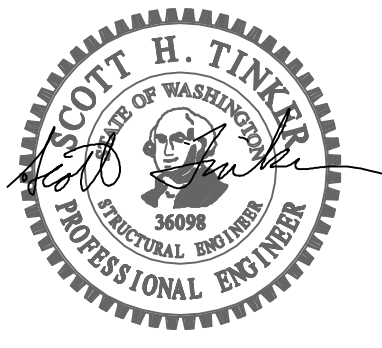
S3.0

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APPROVAL:

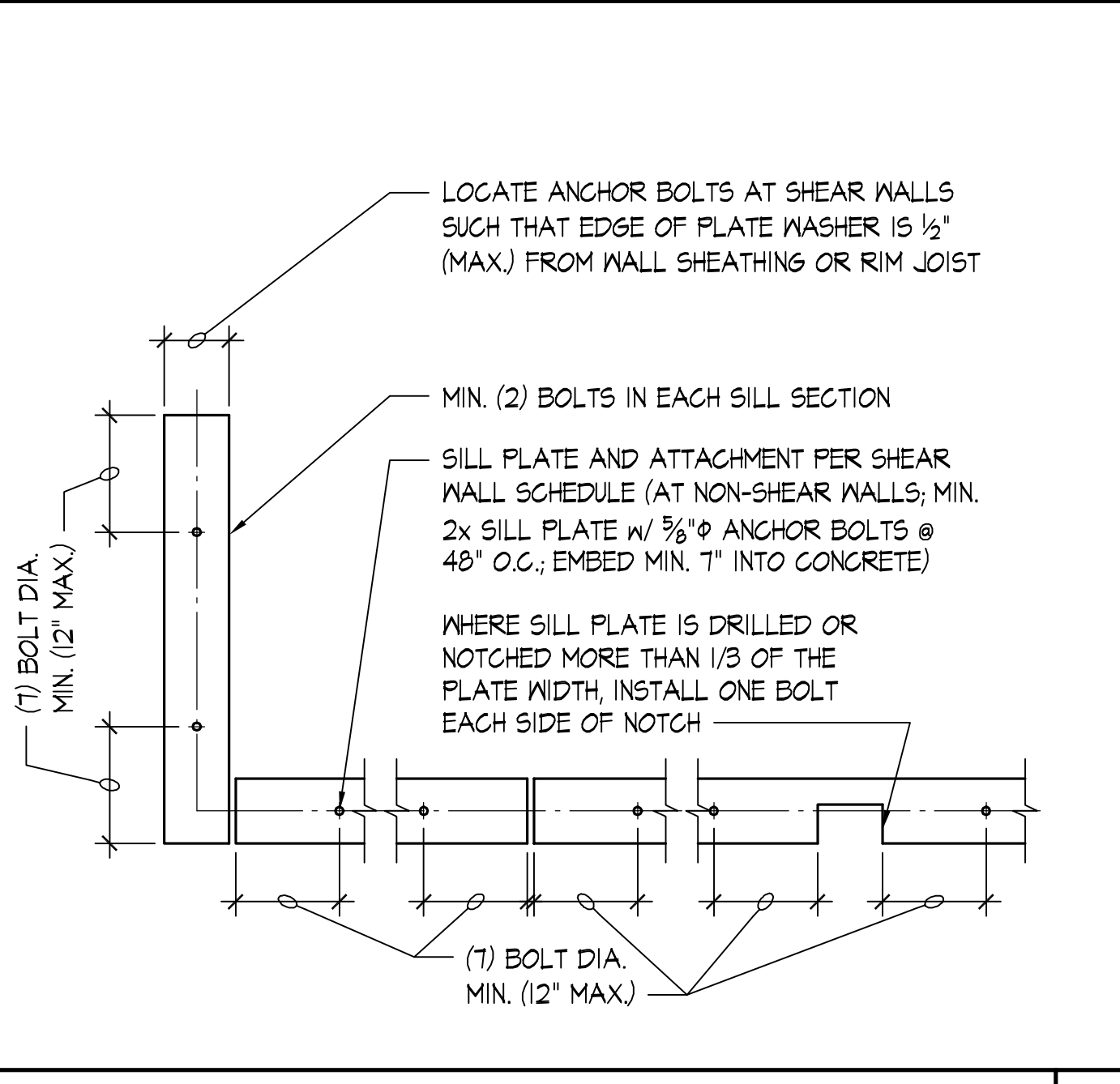
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	PERMIT SET	6/7/23	
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P.E.	MKS		
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SCALE:	AS SHOWN		
DATE:	6/7/23		
JOB NO.	23127.01		

**FOUNDATION
DETAILS**

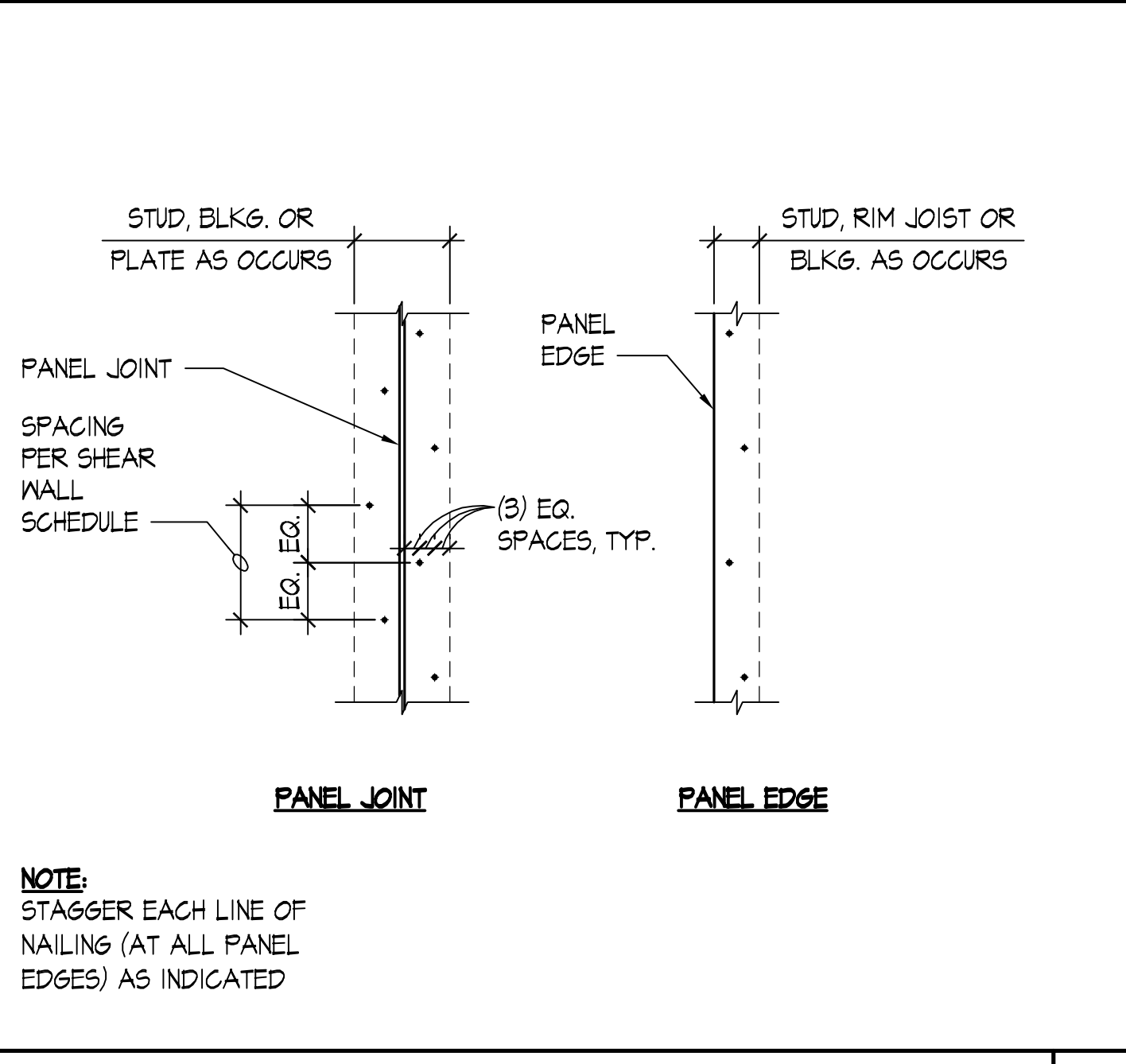
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S3.1

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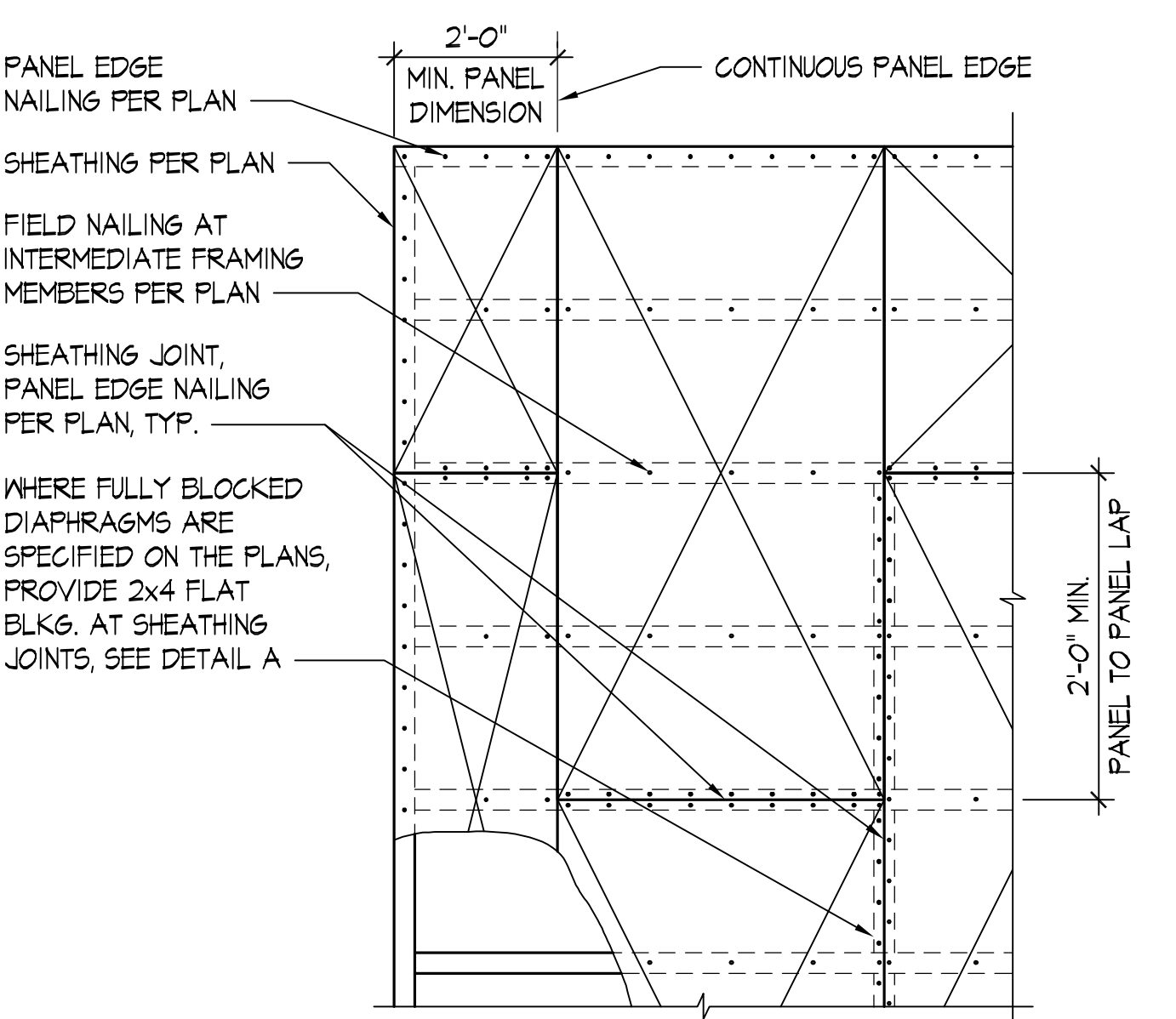
TYPICAL SILL PLATE BOLTING - PLAN VIEW SCALE: NONE



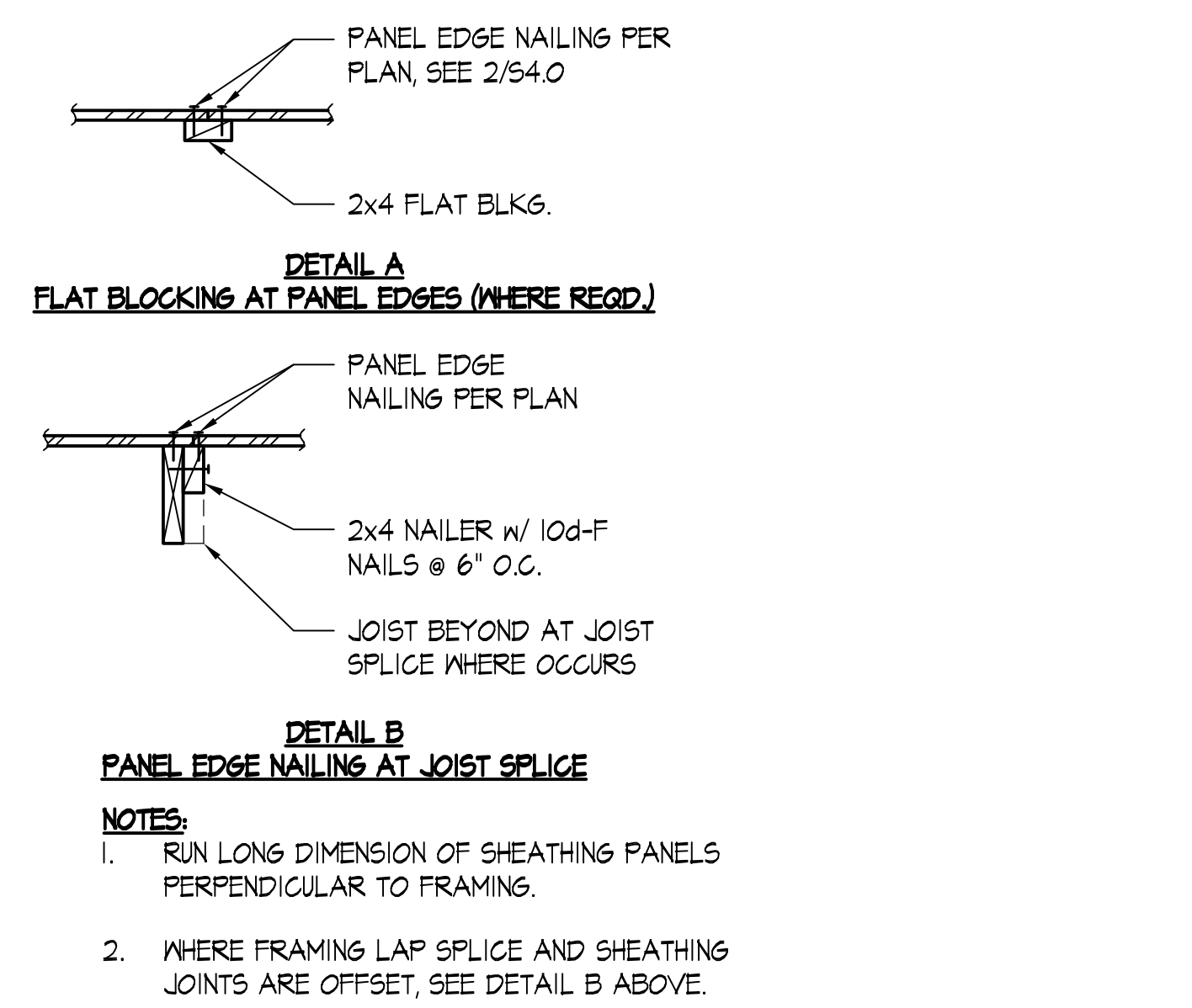
TYPICAL STAGGERED NAILING SCALE: NONE

SHEAR WALL TYPE	SHEAR WALL SHEATHING ①	PANEL EDGE FRAMING ② ⑦	PANEL EDGE NAILING ③	BOTTOM PLATE ATTACHMENT		TOP PLATE ATTACHMENT		
				2x BOTTOM PLATE CONNECTION TO RIM JOIST OR BLOCKING BELOW	ANCHOR BOLTING OF SILL PLATE TO CONCRETE BELOW ④ ⑤		RIM JOIST OR BLOCKING CONNECTION TO TOP PLATE ⑥	
					3x PLATE	2x PLATE	INTERIOR WALL	EXTERIOR WALL
SW-6	7/16" APA ONE-SIDE SHTG.	2x	0.148"φ x 2 1/4" @ 6" O.C.	0.148"φ x 3 1/4" @ 6" O.C. ⑨	3/8"φ @ 48" O.C.	3/8"φ @ 48" O.C.	A35 @ 16" O.C.	LTP4 @ 16" O.C.
SW-4	7/16" APA ONE-SIDE SHTG.	3x OR (2) 2x	0.148"φ x 2 1/4" @ 4" O.C. ⑧	0.148"φ x 3 1/4" @ 4" O.C. ⑨	3/8"φ @ 32" O.C.	3/8"φ @ 24" O.C.	A35 @ 12" O.C.	LTP4 @ 12" O.C.
SW-3	7/16" APA ONE-SIDE SHTG.	3x OR (2) 2x	0.148"φ x 2 1/4" @ 3" O.C. ⑧	0.148"φ x 3 1/4" @ 3" O.C. ⑨	3/8"φ @ 32" O.C.	3/8"φ @ 24" O.C.	A35 @ 8" O.C.	LTP4 @ 8" O.C.
SW-2	7/16" APA ONE-SIDE SHTG.	3x OR (2) 2x	0.148"φ x 2 1/4" @ 2" O.C. ⑧	(2) ROWS 0.148"φ x 3 1/4" @ 4" O.C. ⑩	3/8"φ @ 24" O.C.	3/8"φ @ 16" O.C.	A35 @ 6" O.C.	LTP4 @ 8" O.C.

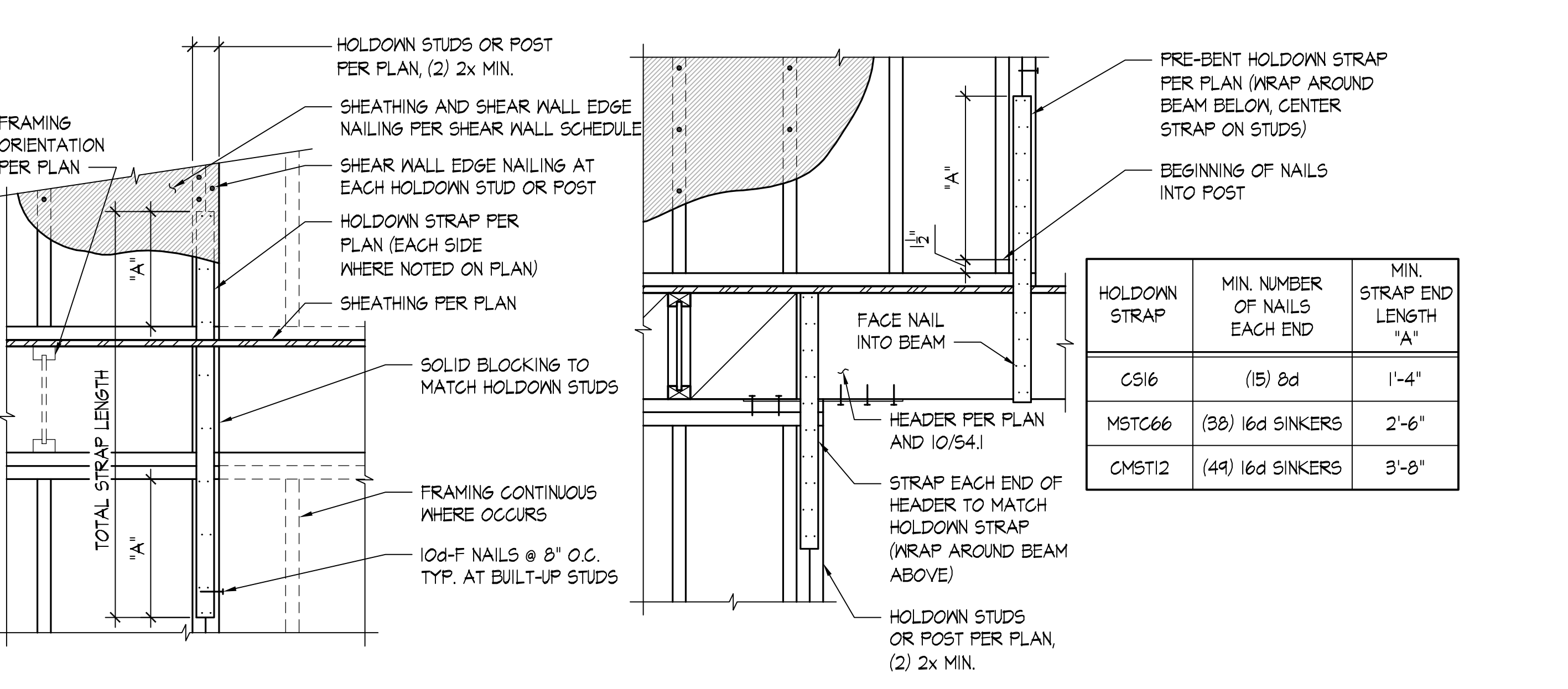
- NOTES:**
- INSTALL PANEL SHEATHING EITHER HORIZONTALLY OR VERTICALLY FOR THE ENTIRE LENGTH OF THE WALL PER PLAN. WALL STUD SPACING SHALL BE 16" O.C. MAXIMUM.
 - ALL INTERMEDIATE WALL STUDS SHALL BE PER PLAN. PROVIDE BACKING FRAMING AT ALL PANEL EDGES INCLUDING HORIZONTAL BLOCKING PER THE SCHEDULE.
 - PROVIDE NAILING TO ALL PANEL EDGES, TOP & BOTTOM PLATES AND HORIZONTAL BLOCKING. PROVIDE THE SAME NAILING PATTERN TO EACH MULTIPLE STUD OF THE BUILT-UP HOLD DOWN POST. NAIL PANEL TO INTERMEDIATE FRAMING MEMBERS W/ 0.148"φ x 2-1/4" @ 12" O.C.
 - EMBED CAST-IN-PLACE 5/8"φ ANCHOR BOLTS 1" MIN. (OR EMBED ADHESIVE ANCHOR BOLTS 5 1/2" IN (E) CONCRETE; SEE STRUCTURAL NOTES). PROVIDE PLATE WASHER 3" x 3" x 1/4" AT EACH ANCHOR BOLT. SILL PLATES SHALL BE TREATED PER GENERAL NOTES, AND SHALL BE 2x OR 3x PER THE SCHEDULE. SEE DETAIL 1/54.0 FOR OTHER REQUIREMENTS.
 - PROVIDE HOT DIPPED GALVANIZED NAILS, BOLTS, OR METAL PLATES FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED MEMBERS.
 - PROVIDE 0.131"φ x 1-1/2" LONG NAILS FOR CLIPS DIRECTLY ATTACHED TO FRAMING MEMBERS; PROVIDE 0.131"φ x 2-1/2" LONG NAILS FOR CLIPS INSTALLED OVER FLOOR OR WALL SHEATHING ON FRAMING MEMBERS. SEE 6/54.1 FOR TOP PLATE SPLICE.
 - ALTERNATIVE TO 3x STUDS IS (2) 2x STUDS NAILED TOGETHER WITH 0.148"φ x 3" LONG NAILS WITH THE SAME SPACING AS THE PANEL EDGE NAILING PER THE SCHEDULE (STAGGER).
 - STAGGER THE PANEL EDGE NAILS PER 2/54.0.
 - RIM JOIST/BLOCKING MINIMUM WIDTH OF 1 3/4". STAGGER NAILS PER 2/54.0 WHERE SPACING IS LESS THAN 6" O.C.
 - RIM JOIST/BLOCKING MINIMUM WIDTH OF 1 3/4" AT EXTERIOR WALLS, 3/2" AT INTERIOR WALLS. STAGGER NAILS SIMILAR TO 2/54.0.



TYPICAL ROOF AND FLOOR DIAPHRAGM SHEATHING SCALE: NONE

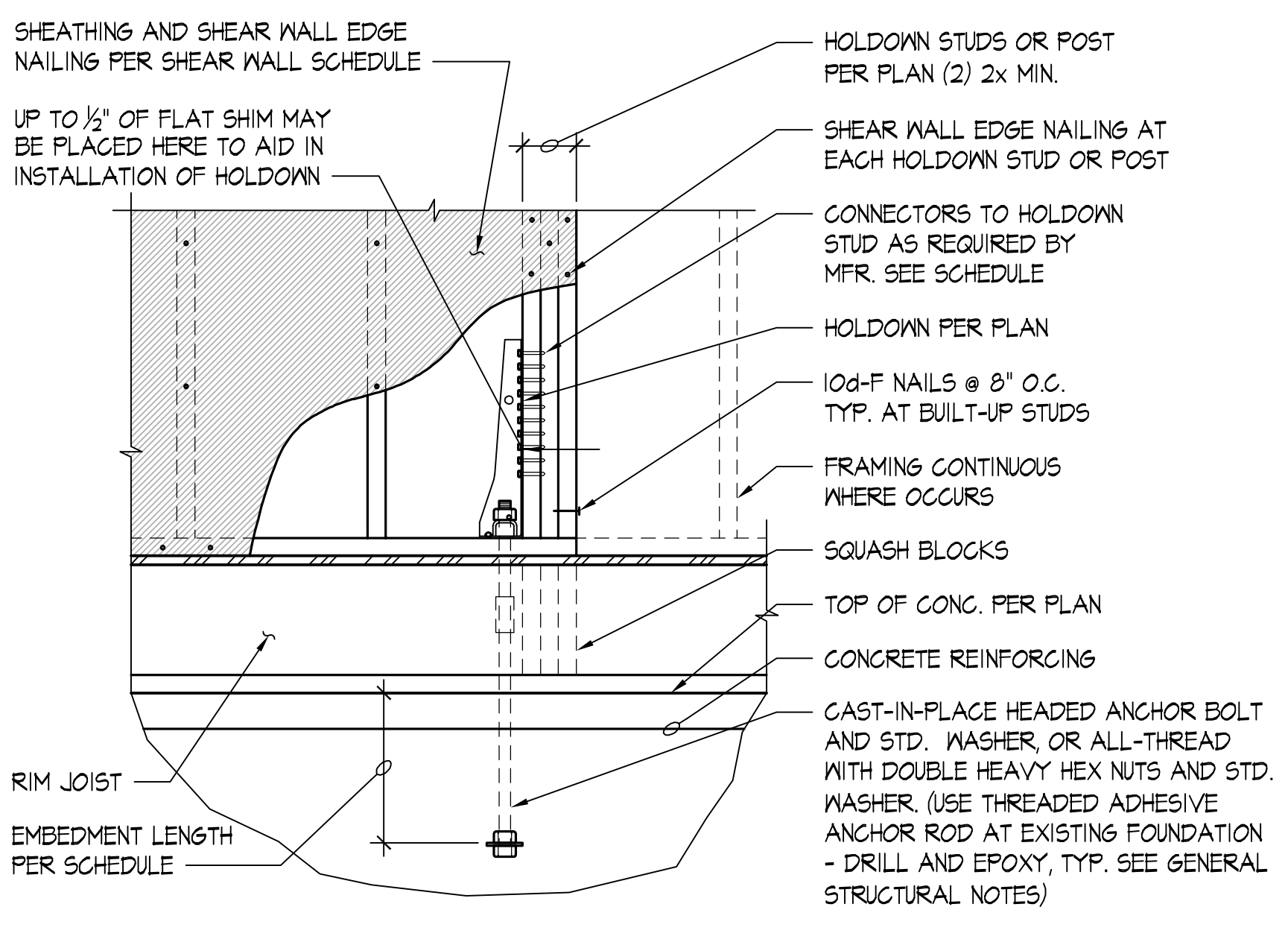


TYPICAL FLOOR TO FLOOR HOLDOWN STRAP & FLOOR TO HEADER HOLDOWN STRAP SCALE: NONE



TYPICAL FLOOR TO FLOOR HOLDOWN STRAP & FLOOR TO HEADER HOLDOWN STRAP SCALE: NONE

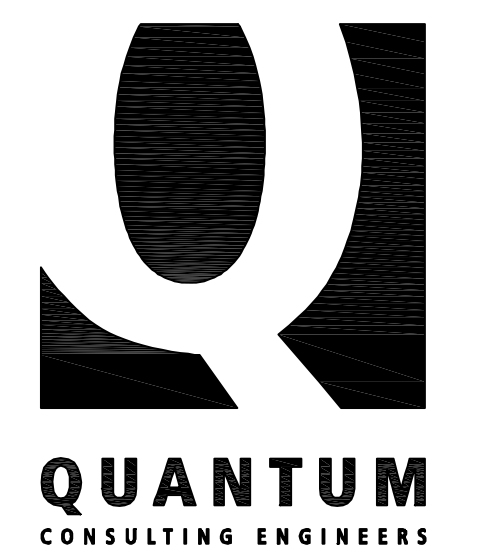
SHEAR WALL SCHEDULE - 10d NAILS SCALE: NONE



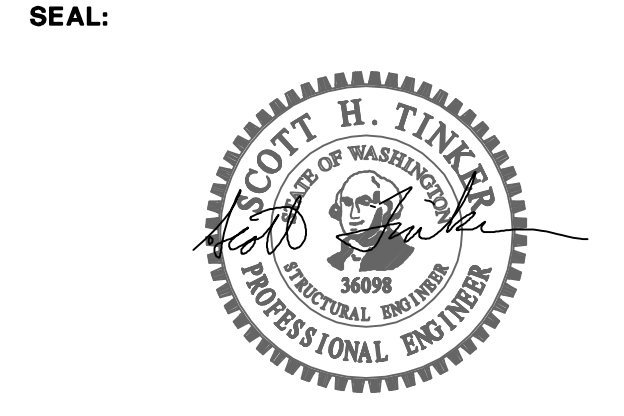
TYPICAL HOLDDOWN TO CONCRETE AT RIM JOIST SCALE: NONE

HOLDOWN	ANCHOR BOLT φ	ANCHOR BOLT IN CONCRETE EMBED LENGTH	CONNECTORS TO HOLDOWN STUDS
HDU2	3/8"φ	13"	(6) 1/4"x2 1/2" SDS
HDU4	3/8"φ	13"	(10) 1/4"x2 1/2" SDS
HDU5	3/8"φ	13"	(14) 1/4"x2 1/2" SDS
HDU8	7/8"φ	18"	(20) 1/4"x2 1/2" SDS
HDU11	1"φ	20"	(30) 1/4"x2 1/2" SDS

NOTE: PROVIDE HOT DIPPED GALVANIZED NAILS, BOLTS, OR METAL PLATES FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED MEMBERS.



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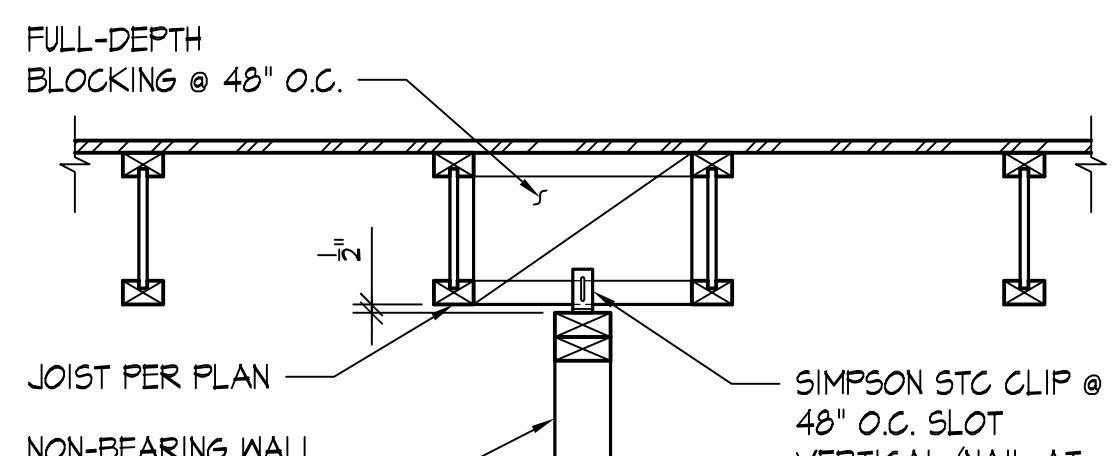
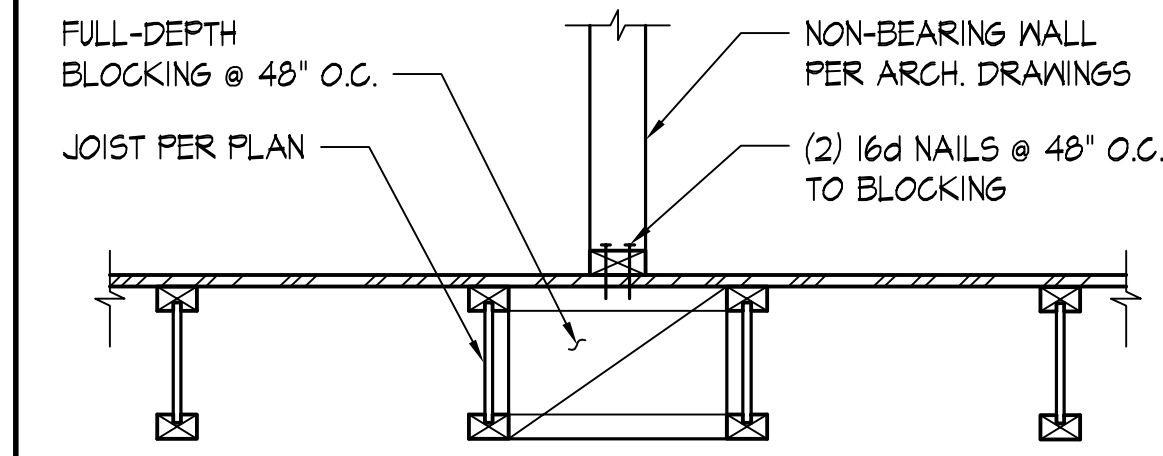
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P.M.	SHT		
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TYPICAL WOOD DETAILS

SHEET NO.

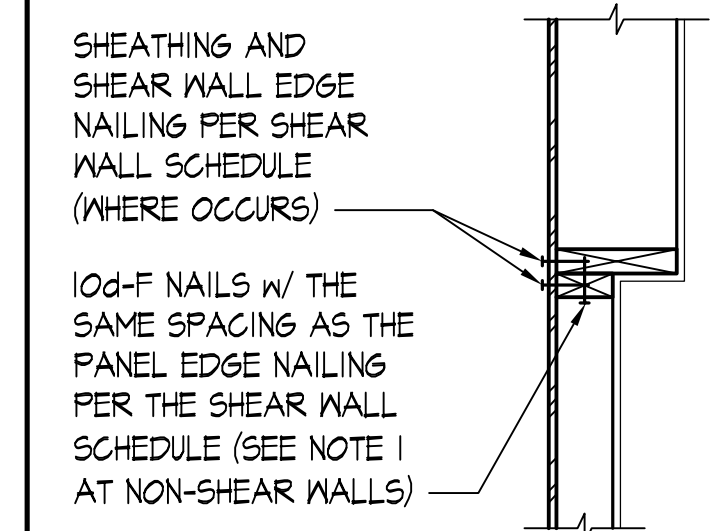
S4.0



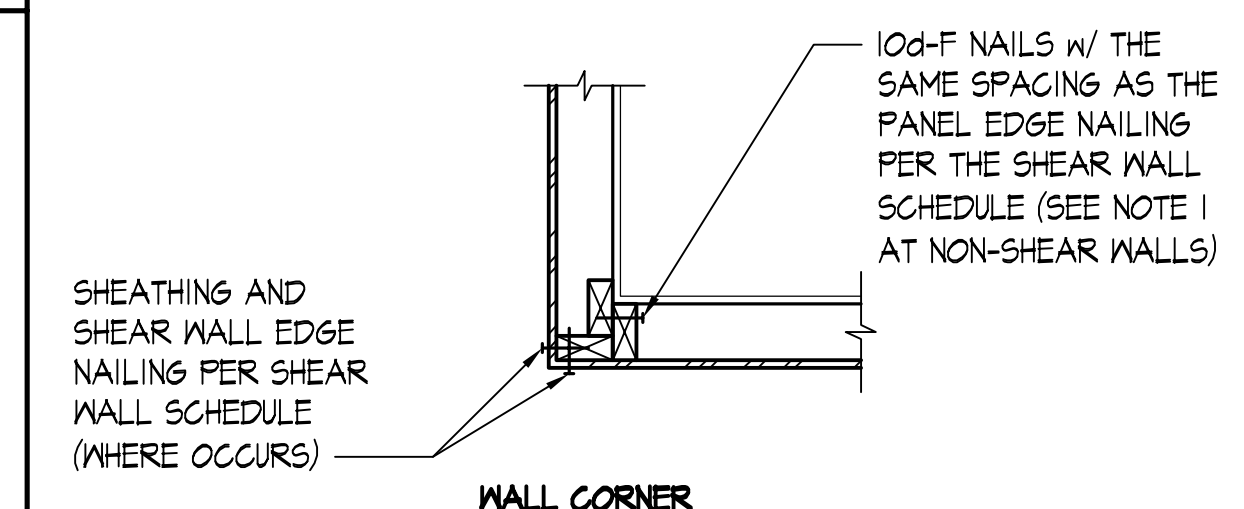
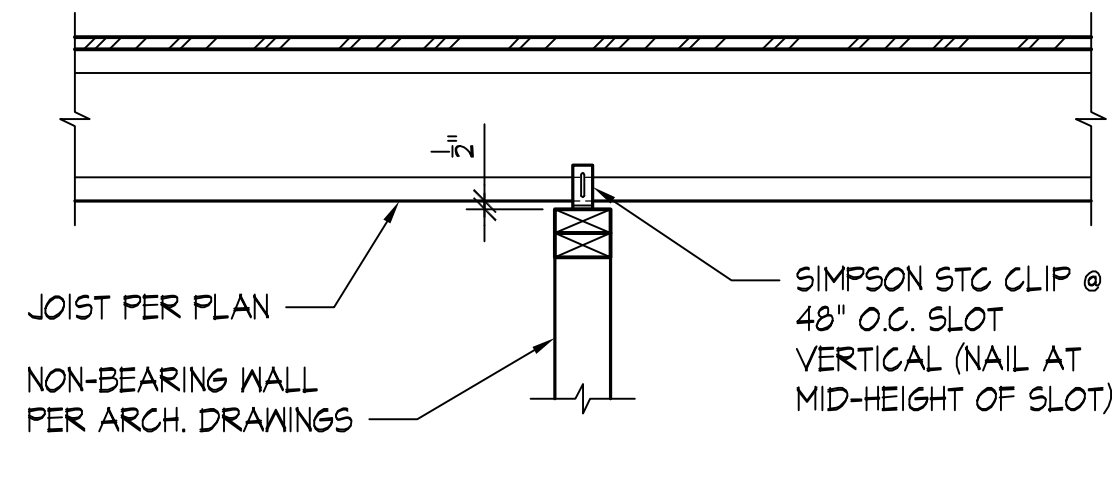
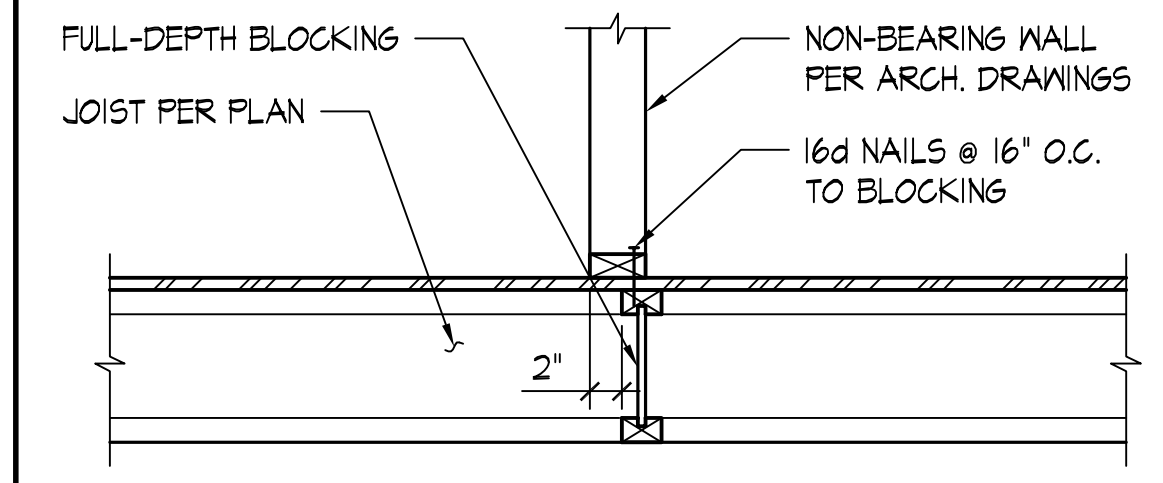
SIZE	MAX. SPAN
2x4 @ 24\"/>	

NOTES:
CEILING JOIST TABLE BASED ON
HF #2, Fb=850 PSI (REPETITIVE
MEMBER USE), Fv = 150 PSI
E=1.3X10⁶ PSI, DEFL. < L/240
ATTIC LIVE LOAD = 10.0 PSF
CEILING DEAD LOAD = 5.0 PSF

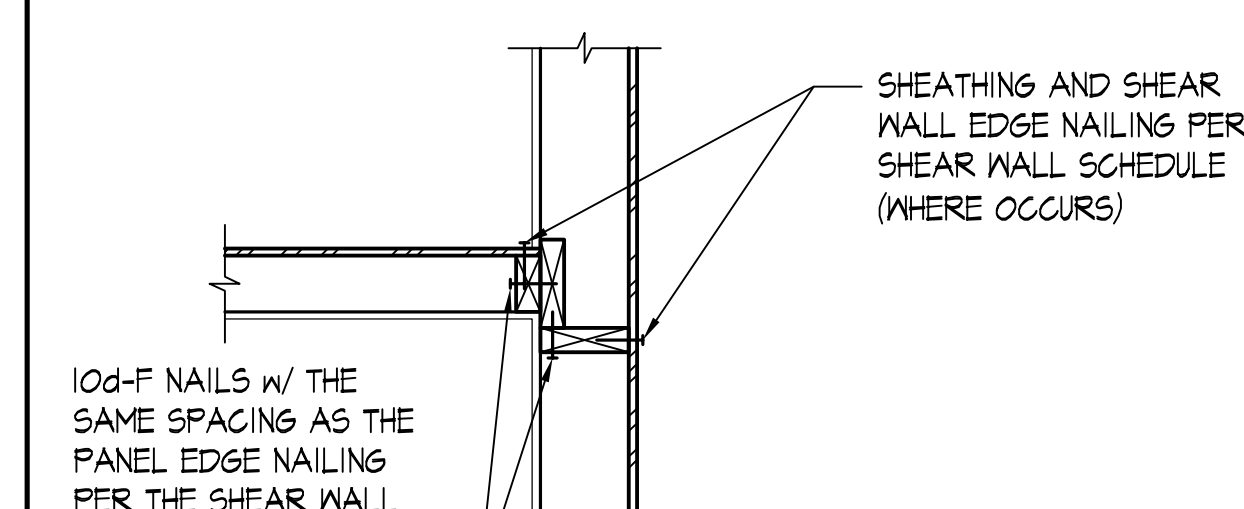
NOTES:
1. AT NON-SHEAR WALLS, NAIL STUDS TOGETHER W/ 10d-F NAILS @ 8\"/>



VARYING WALL SIZE



WALL CORNER

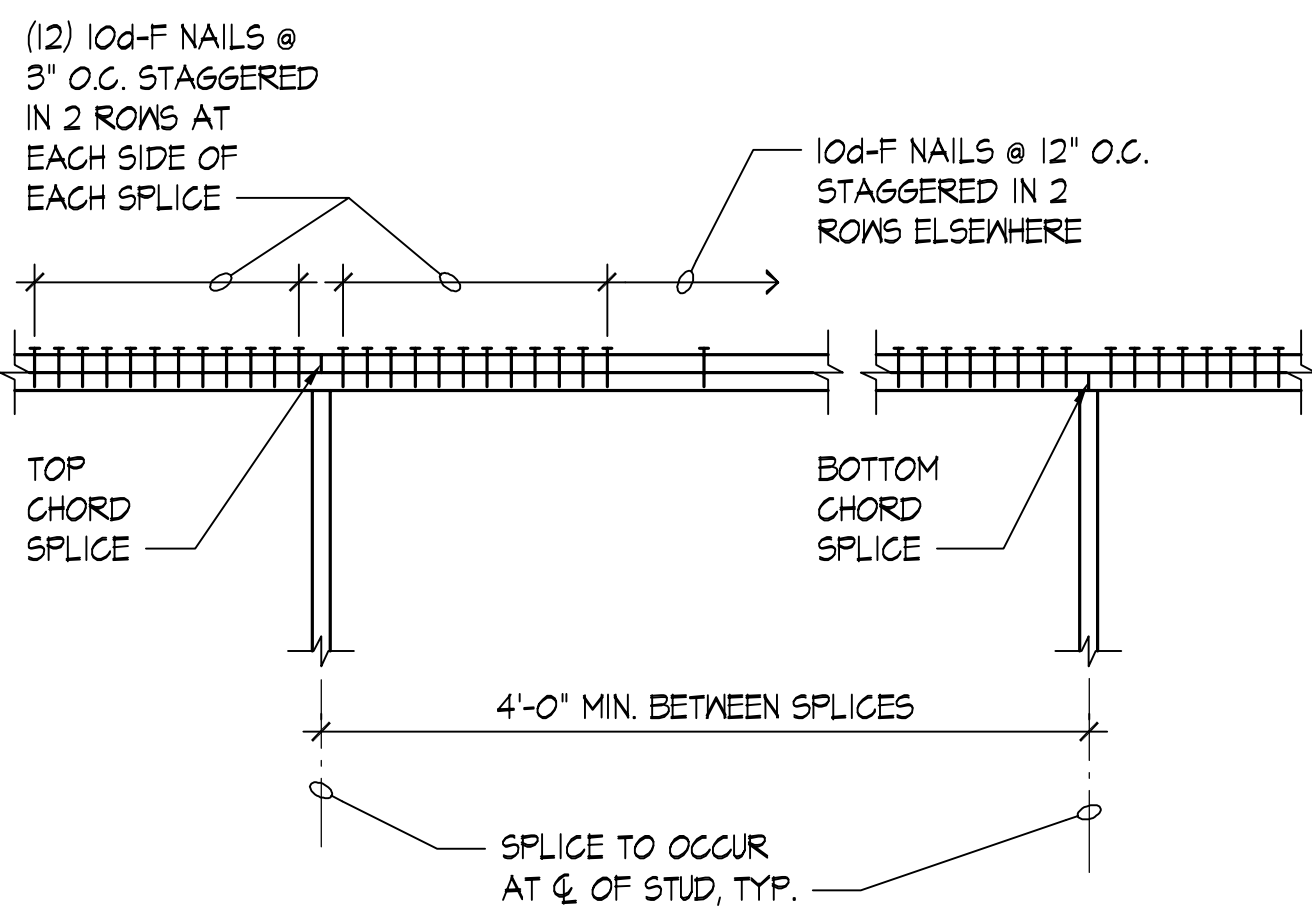
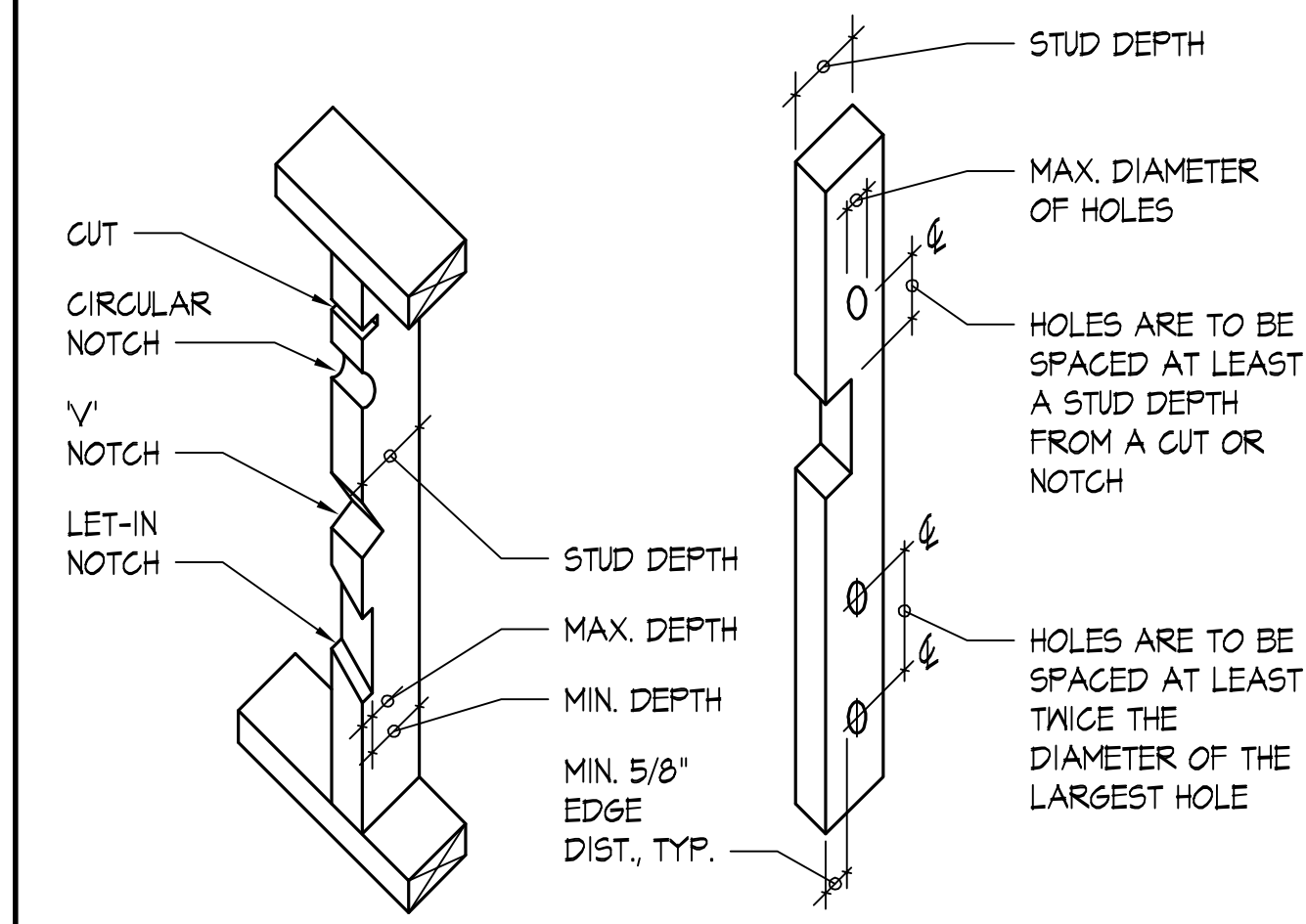


WALL INTERSECTION

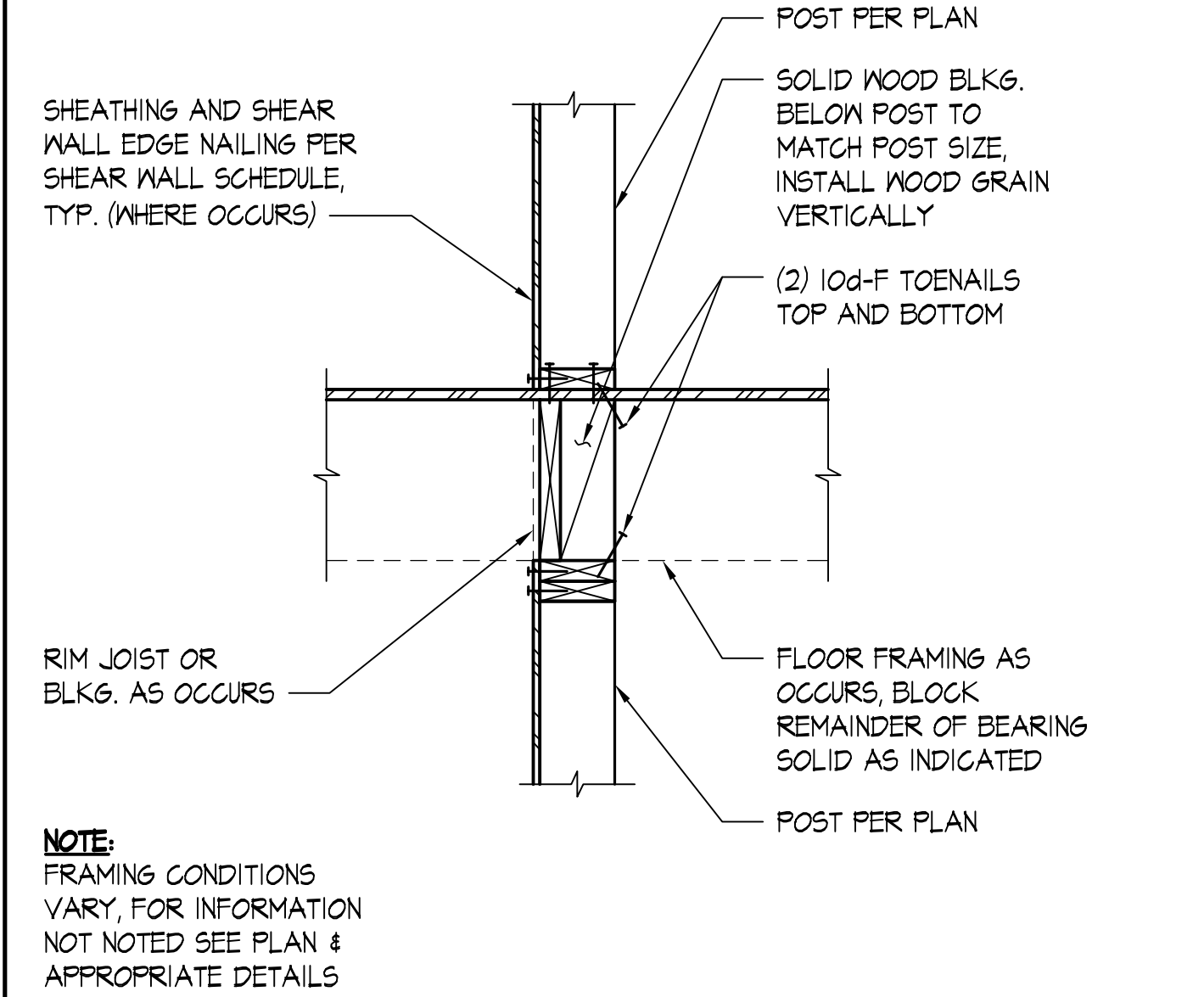
TYPICAL NON-BEARING WALL SUPPORT (BOTTOM) - I-JOIST SCALE: NONE

TYPICAL NON-STRUCTURAL WALL SUPPORT (TOP) - I-JOIST SCALE: NONE

CEILING JOIST SCHEDULE SCALE: NONE



TYPICAL TOP PLATE SPLICE SCALE: NONE



TYPICAL POST AT FLOOR SCALE: NONE

TYPICAL WALL INTERSECTIONS - RESIDENTIAL SCALE: NONE

A. CUTTING AND NOTCHING WOOD STUDS (DO NOT NOTCH MORE THAN 3 ADJACENT STUDS W/O REVIEW BY ENGINEER)

BEARING WALL STUDS:

STUD SIZE	MAX. DEPTH OF SAW CUT OR NOTCH	MIN. DEPTH REMAINING AFTER CUT OR NOTCH
2x4	7/8"	2-3/8"
2x6	1-3/8"	4-1/8"
2x8	1-7/8"	5-3/8"

NON-BEARING WALL STUDS:

STUD SIZE	MAX. DEPTH OF SAW CUT OR NOTCH	MIN. DEPTH REMAINING AFTER CUT OR NOTCH
2x4	1-1/2"	2"
2x6	2-3/8"	3-1/8"
2x8	3"	4-1/4"

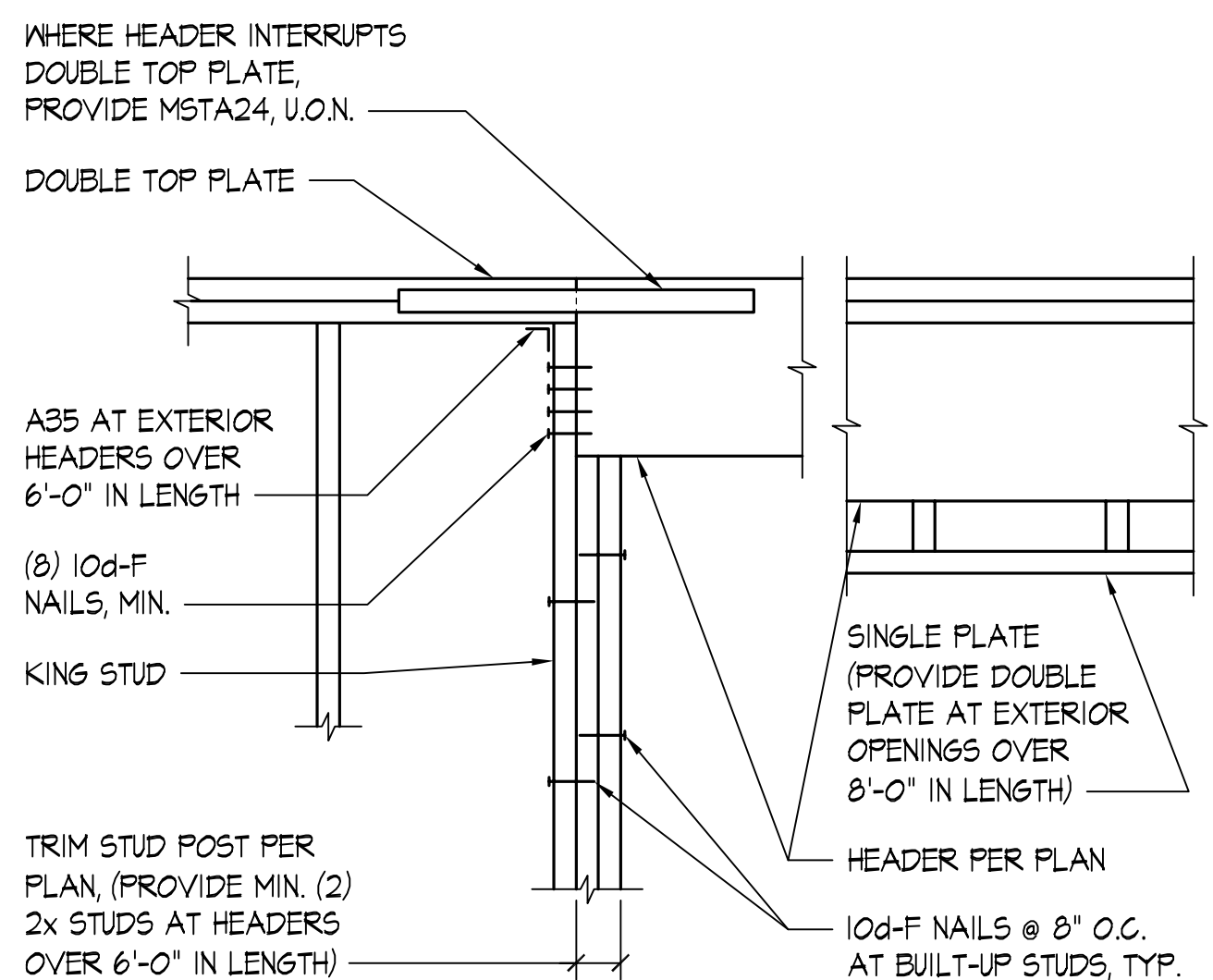
B. HOLES IN WOOD STUDS

BEARING WALL:

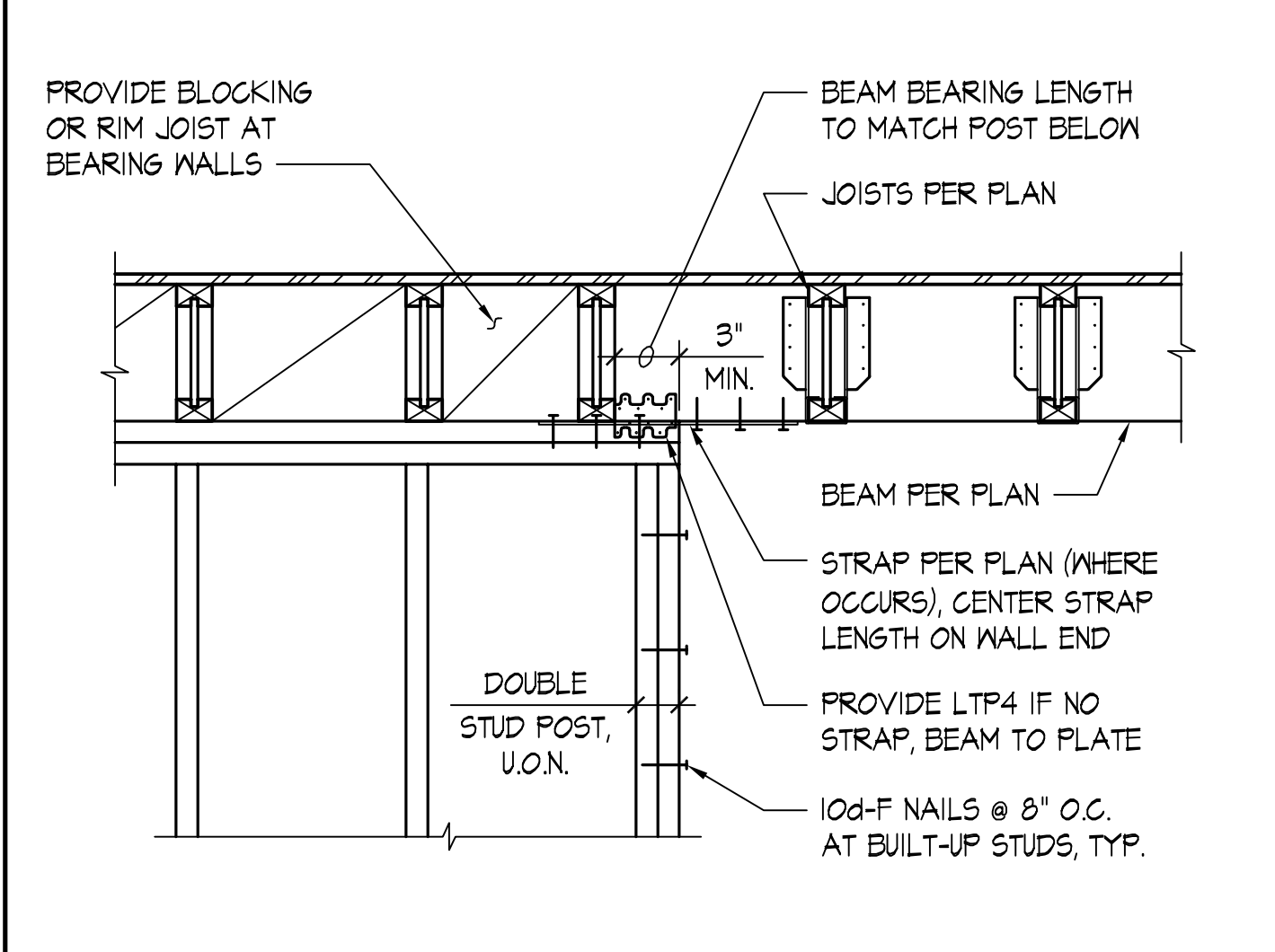
STUD SIZE	MAX. DIAMETER OF HOLE
2x4	1-1/2"
2x6	2-3/8"
2x8	3"

NON-BEARING WALL:

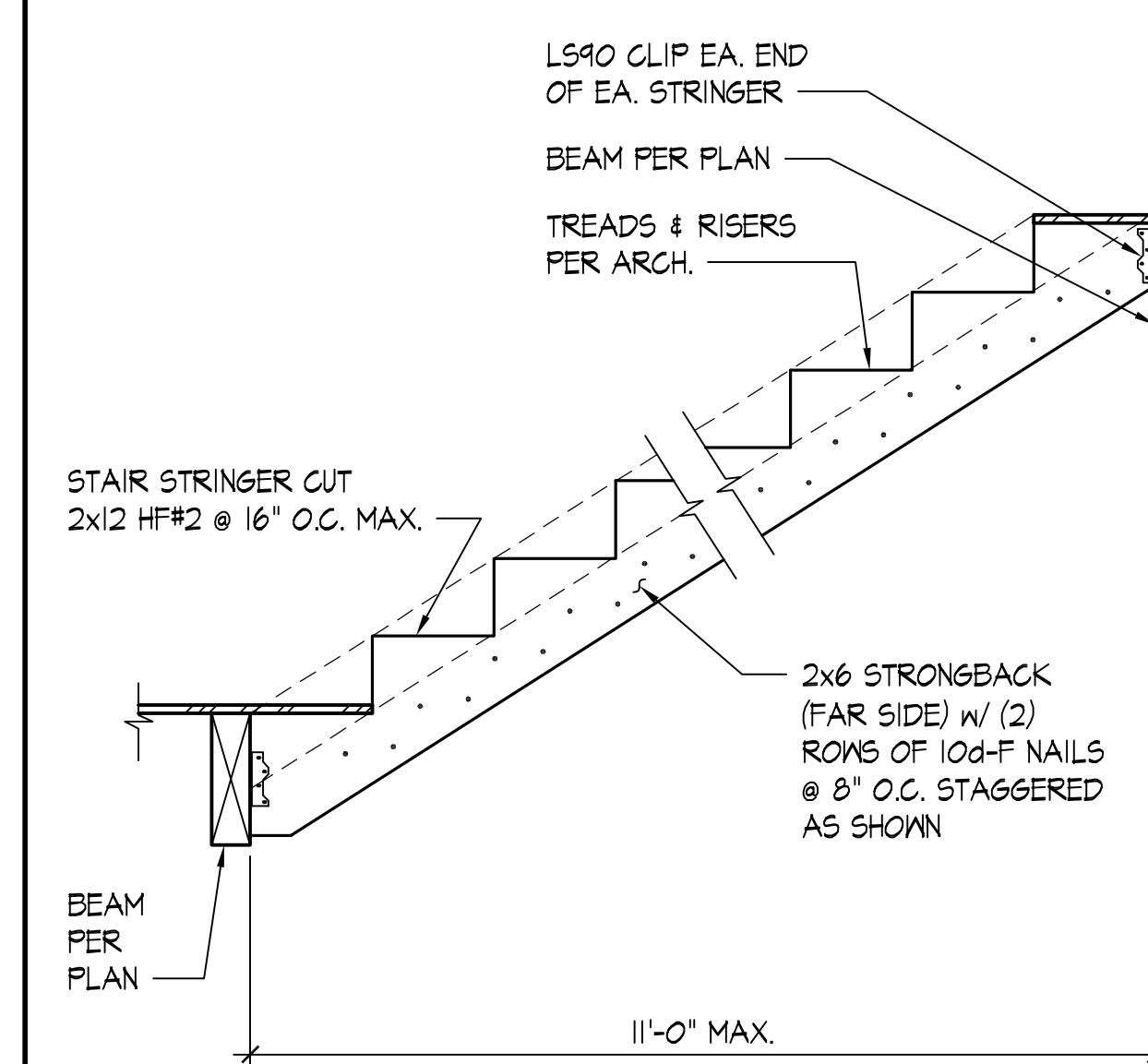
STUD SIZE	MAX. DIAMETER OF HOLE
2x4	2-1/4"
2x6	3-3/8"
2x8	4-1/2"



TYPICAL HEADER SCALE: NONE



TYPICAL FLUSH BEAM SCALE: NONE



TYPICAL STAIR STRINGER SCALE: NONE



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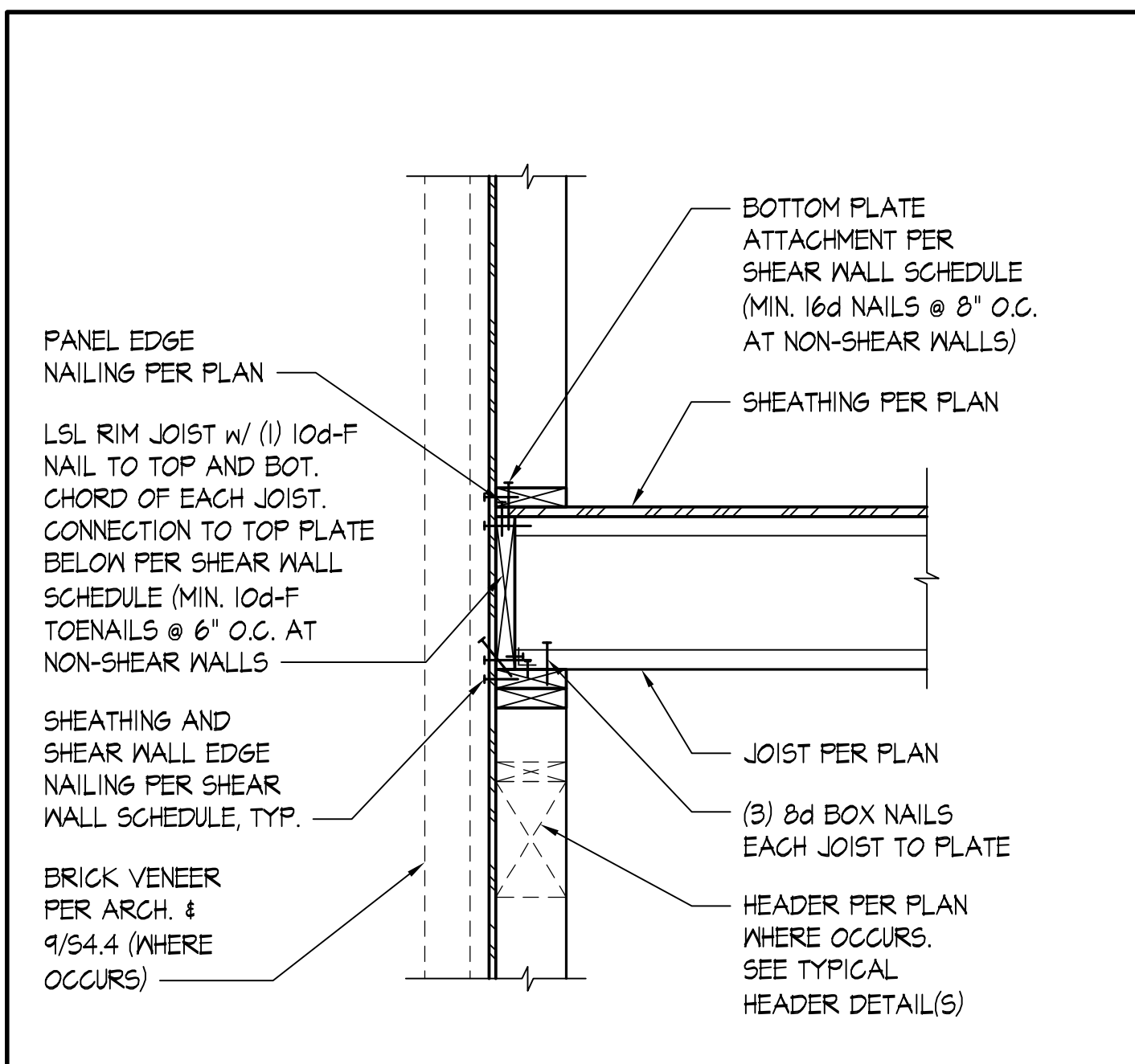
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P.E. MKS
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SCALE: AS SHOWN
DATE: 6/7/23
JOB NO. 23127.01
SHEET TITLE:

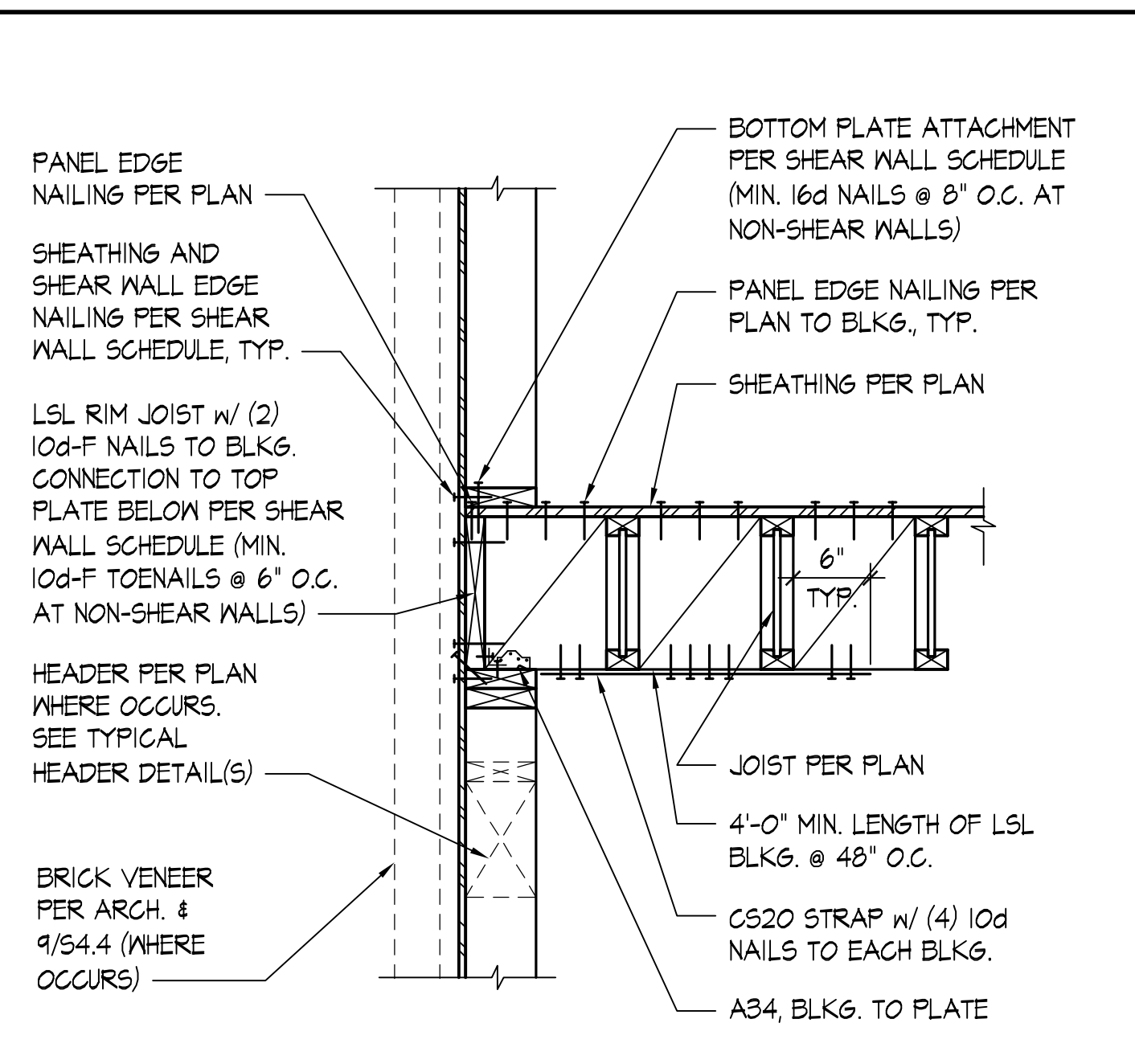
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S4.1

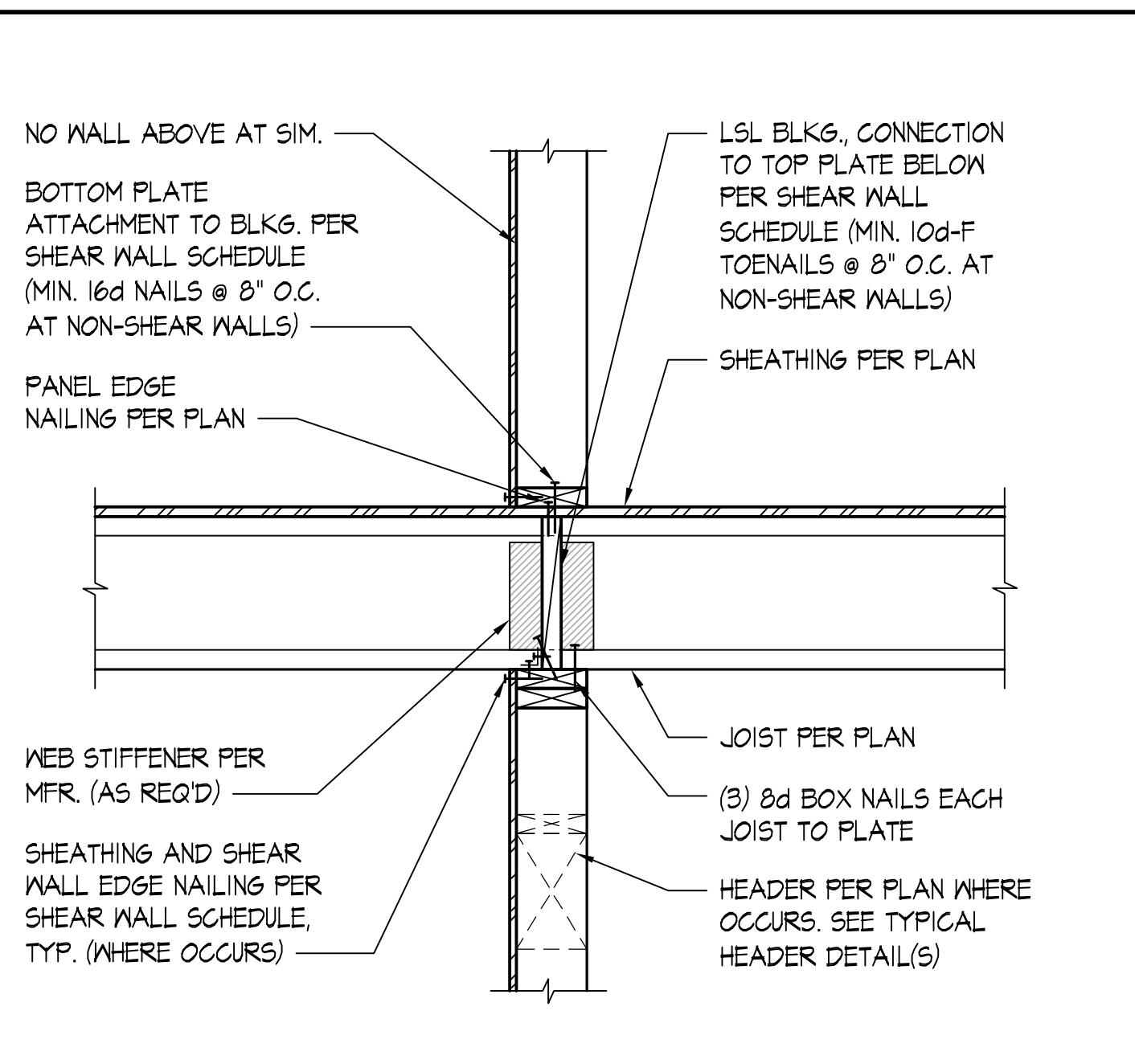
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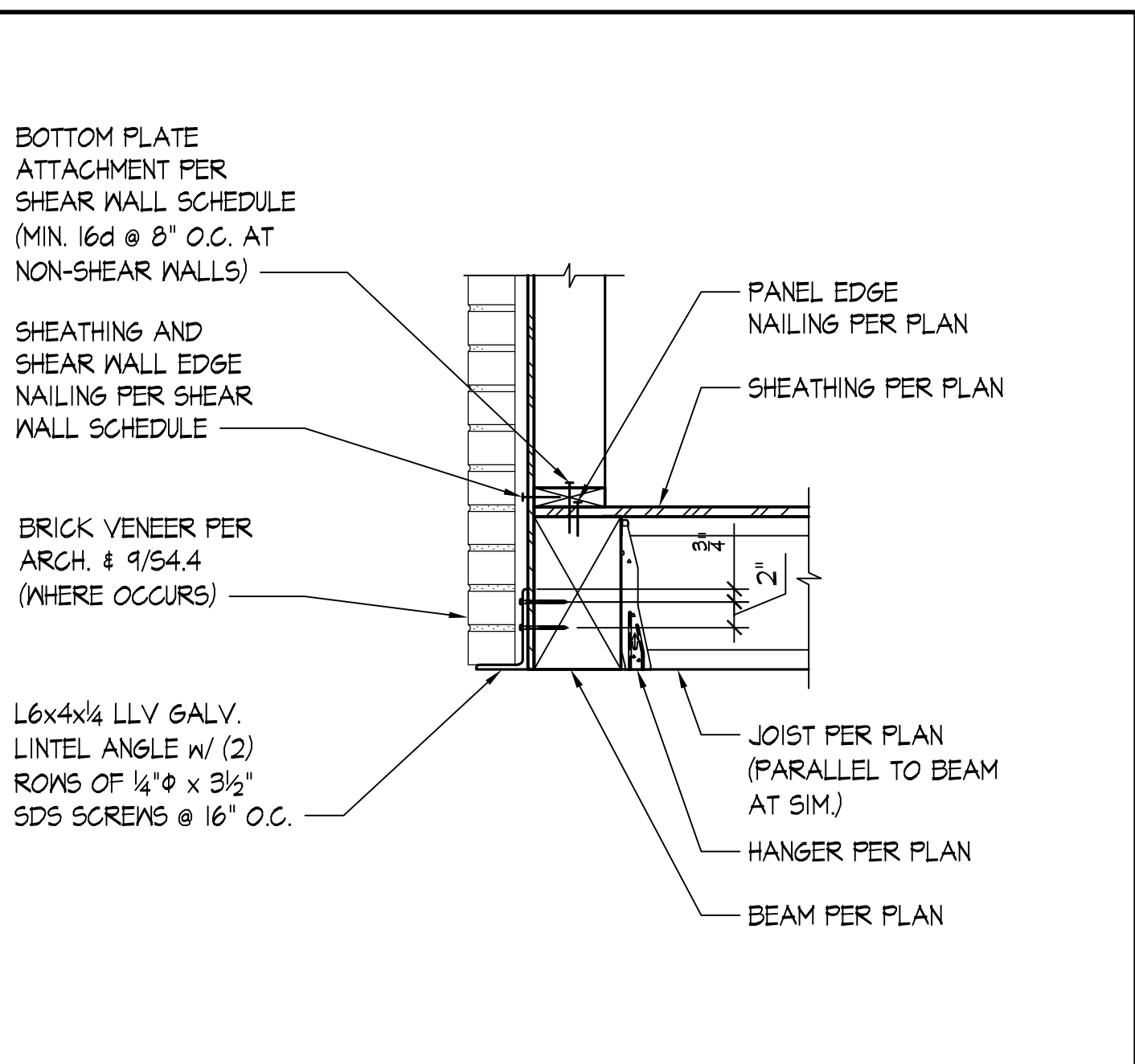
TYPICAL EXTERIOR WALL - I-JOIST PERPENDICULAR SCALE: NONE 1



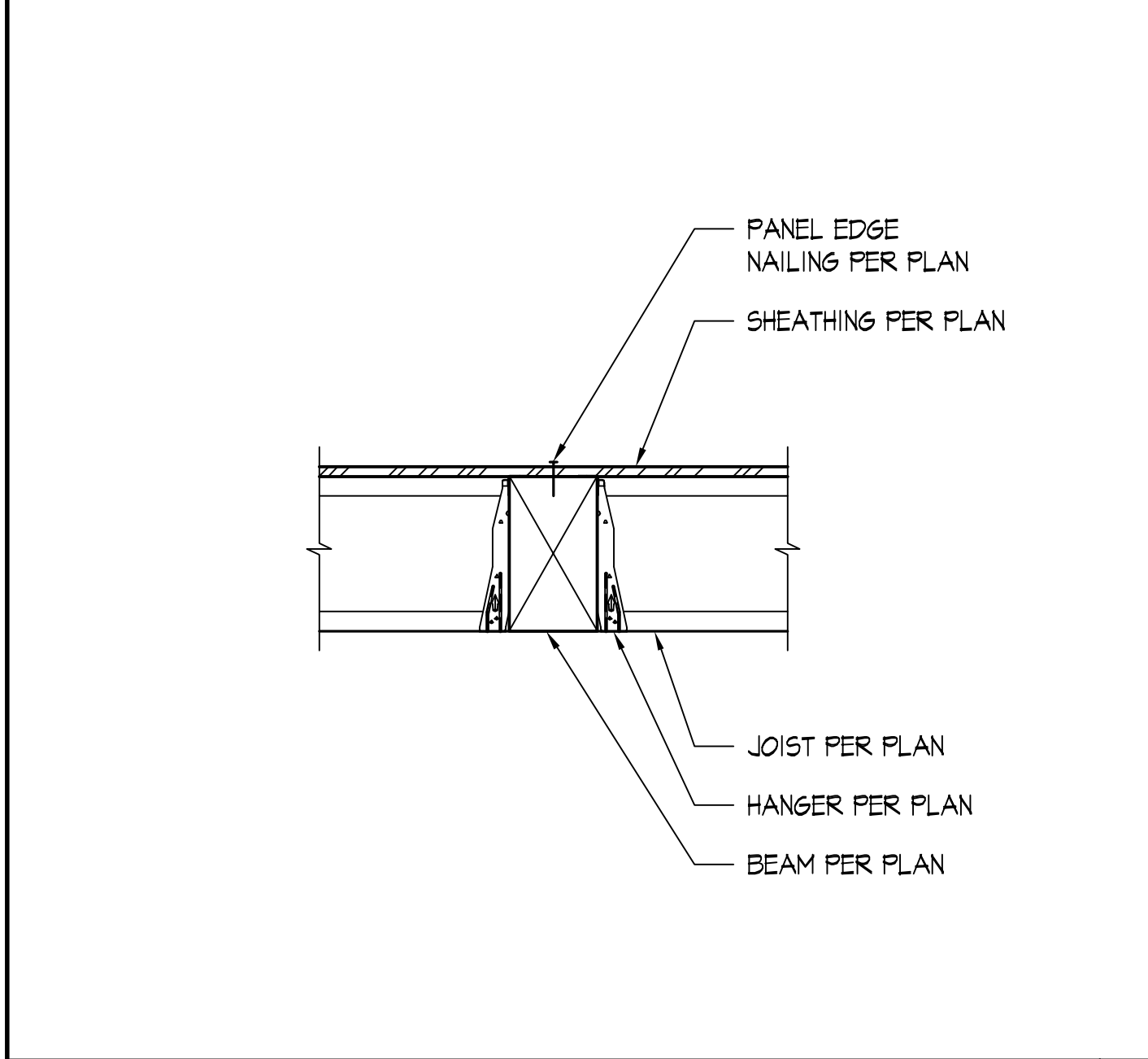
TYPICAL EXTERIOR WALL - I-JOIST PARALLEL SCALE: NONE 2



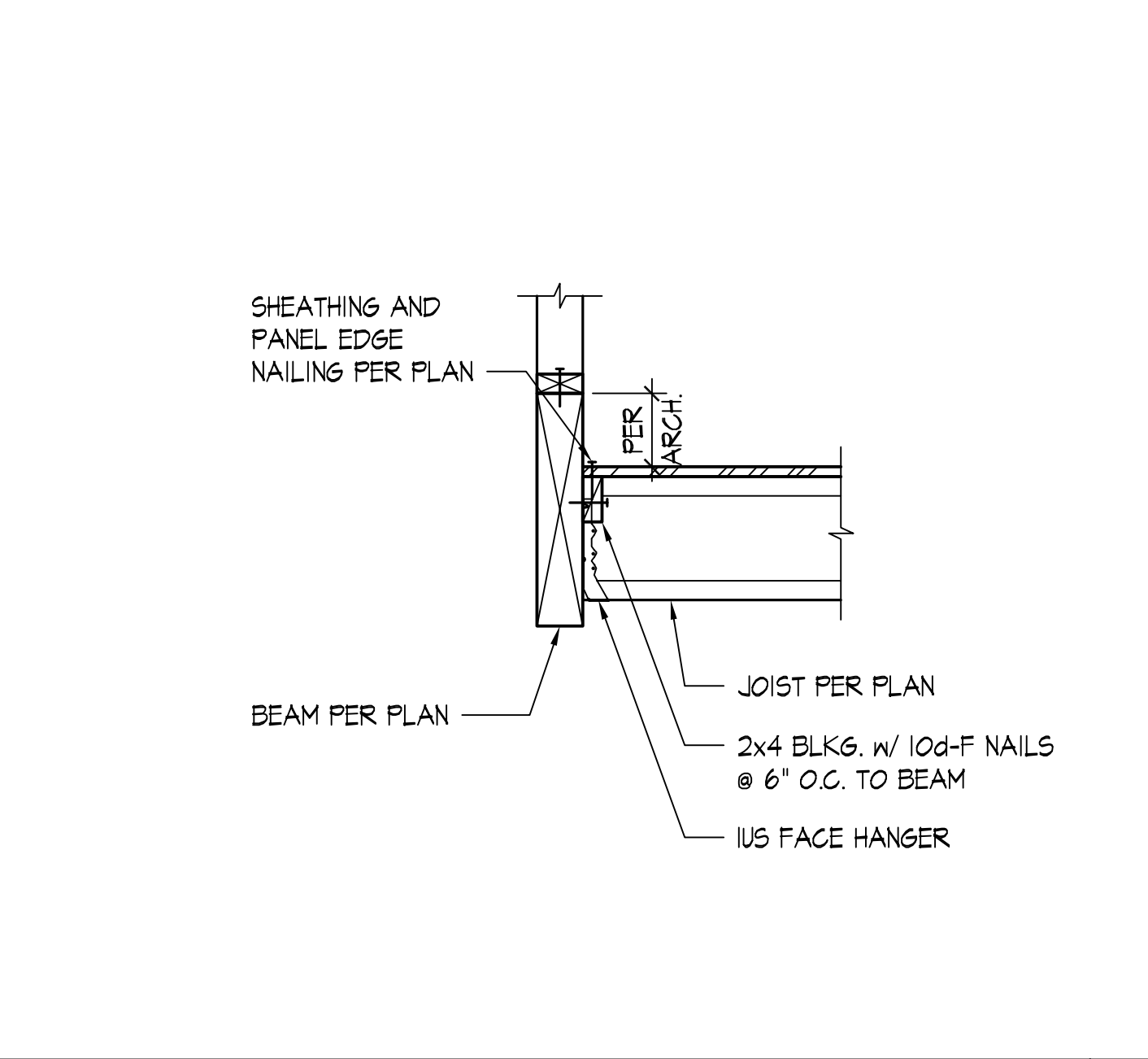
TYPICAL INTERIOR WALL - I-JOIST PERPENDICULAR SCALE: NONE 3



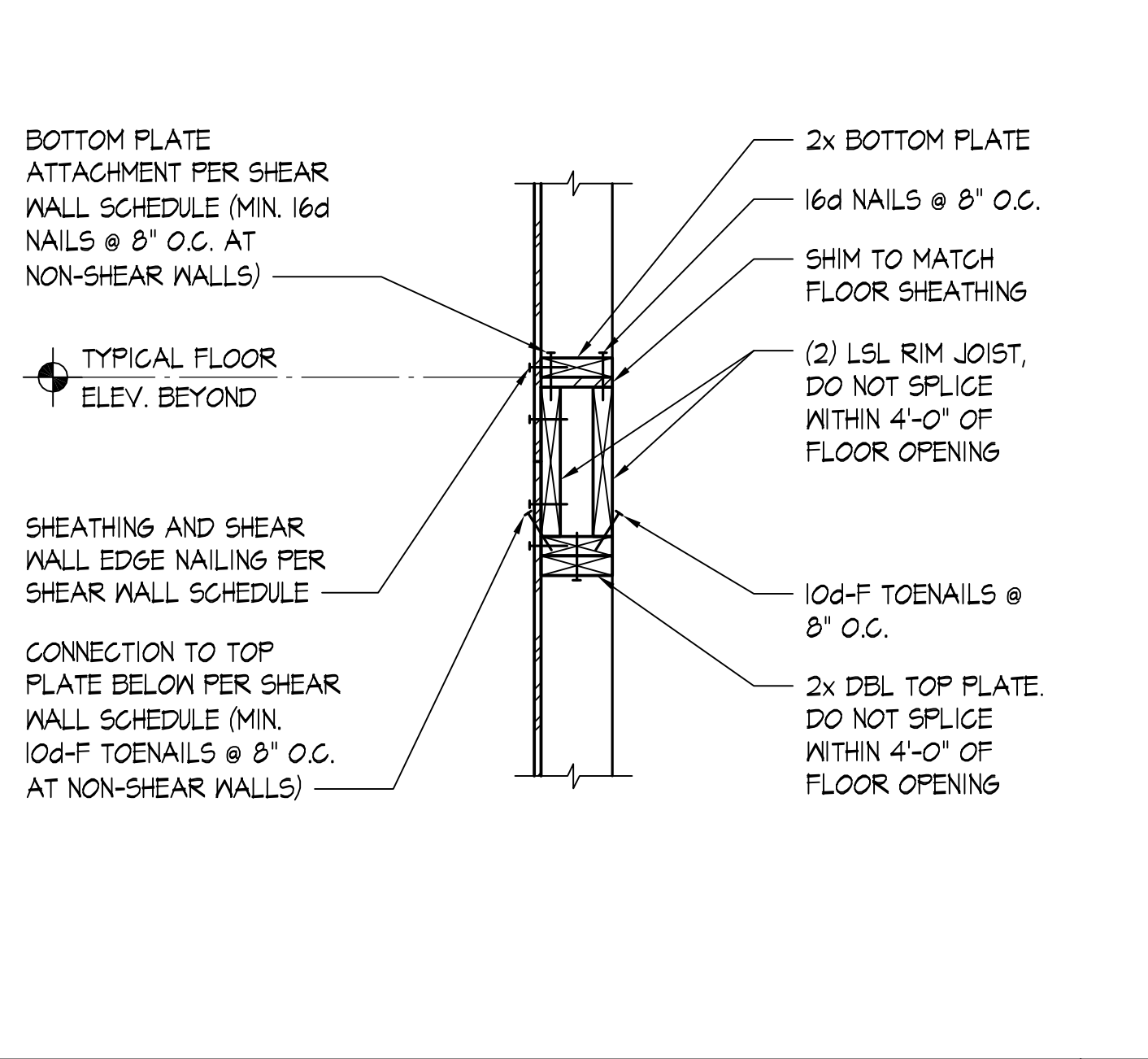
TYPICAL STRUCTURAL WALL TO PARALLEL PERIMETER BEAM BELOW - I-JOIST PERPENDICULAR SCALE: NONE 4



TYPICAL I-JOIST TO FLUSH BEAM CONNECTION SCALE: NONE 5



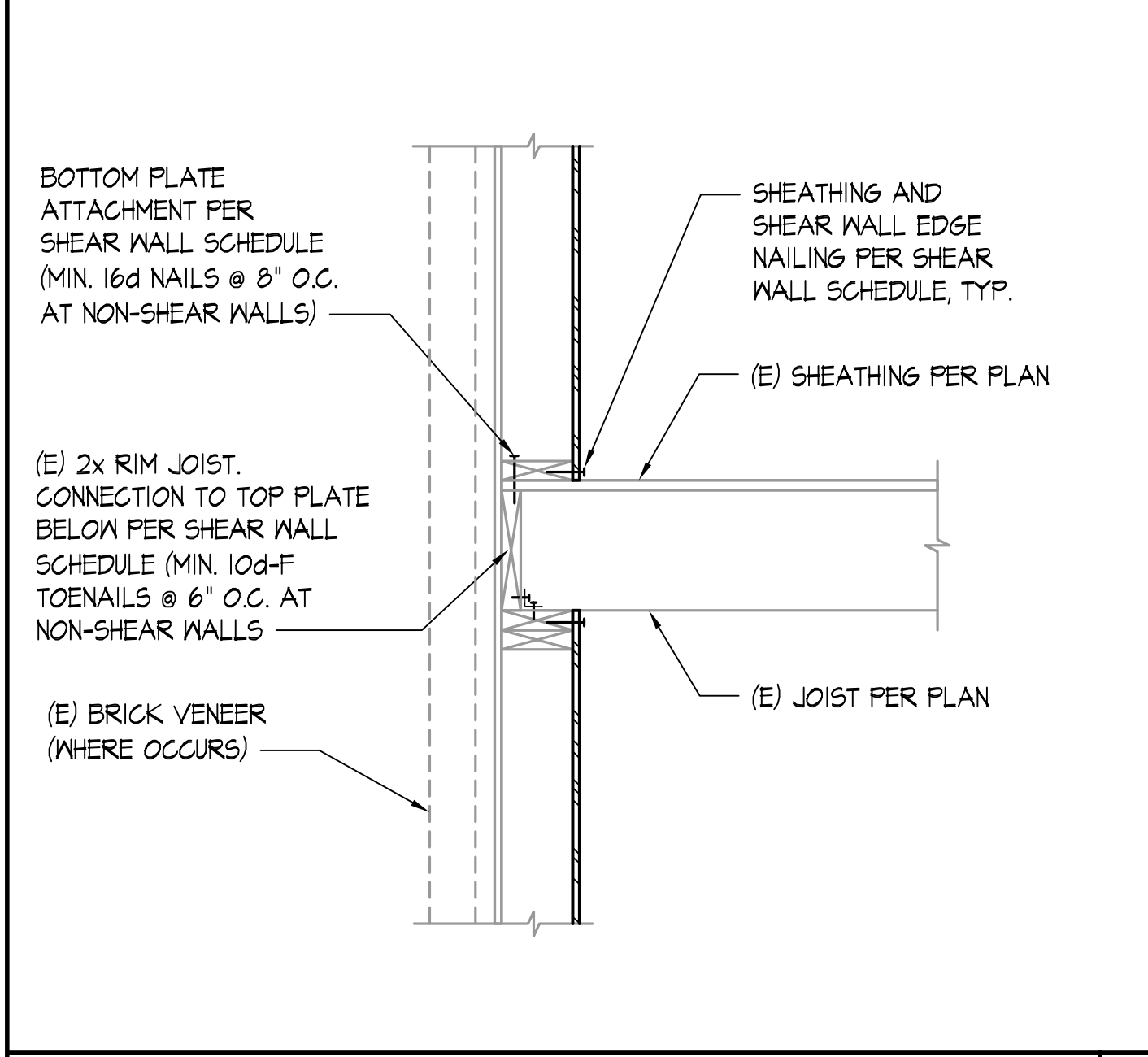
FLOOR JOIST TO UP-SET BEAM CONNECTION SCALE: NONE 6



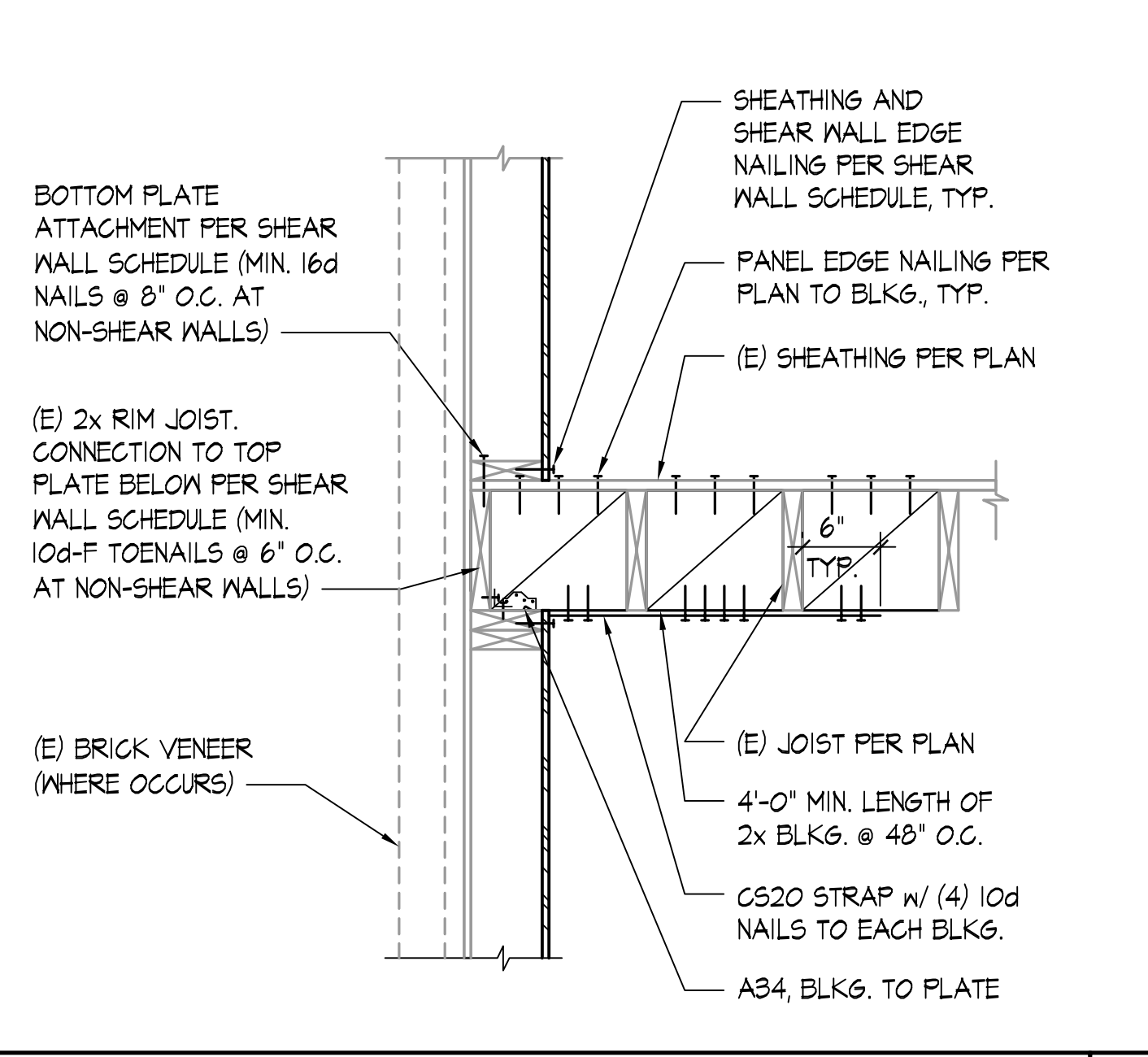
EXTERIOR WALL AT FLOOR OPENING - I-JOIST SCALE: NONE 7



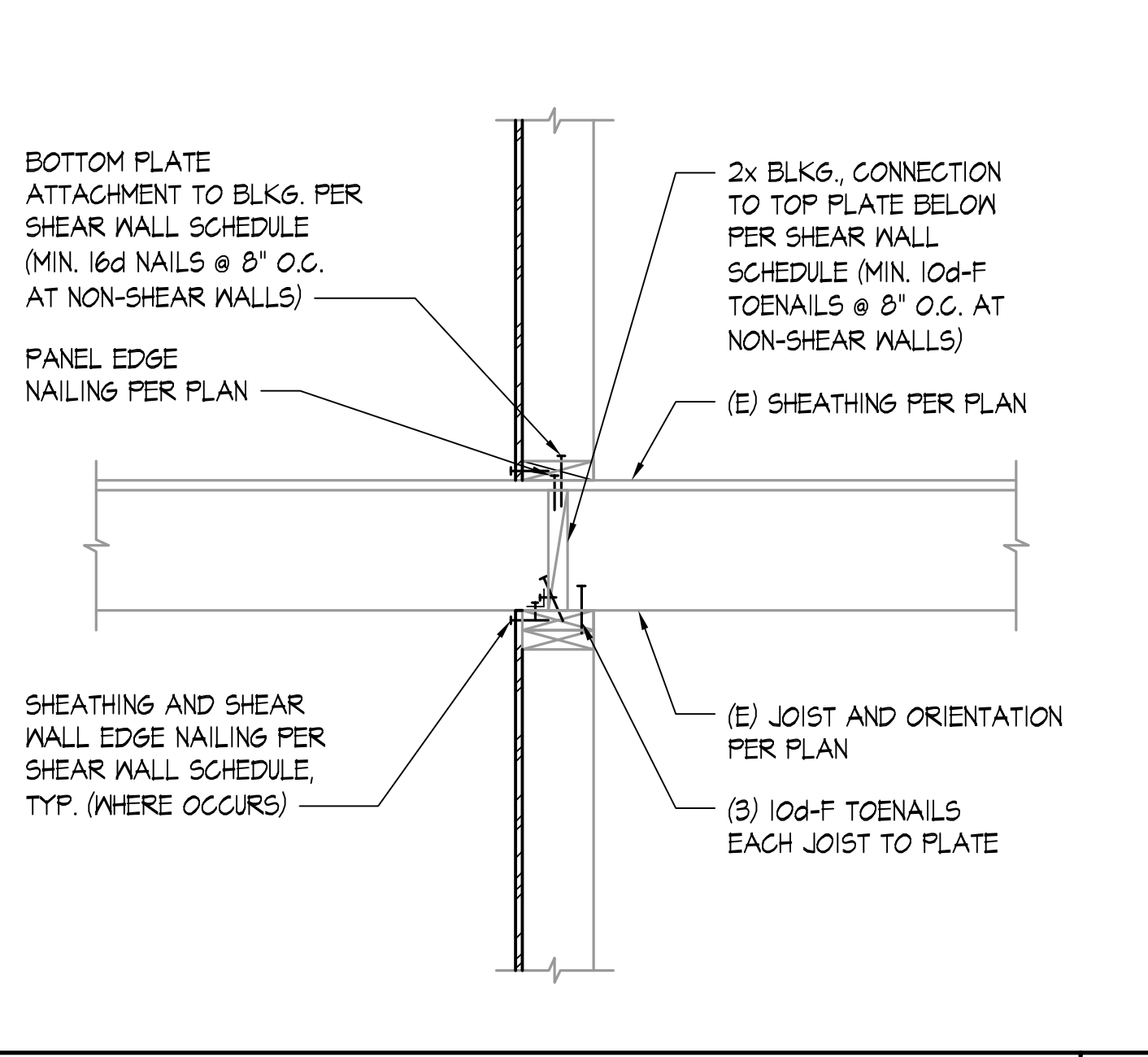
DETAIL SCALE: NONE 8



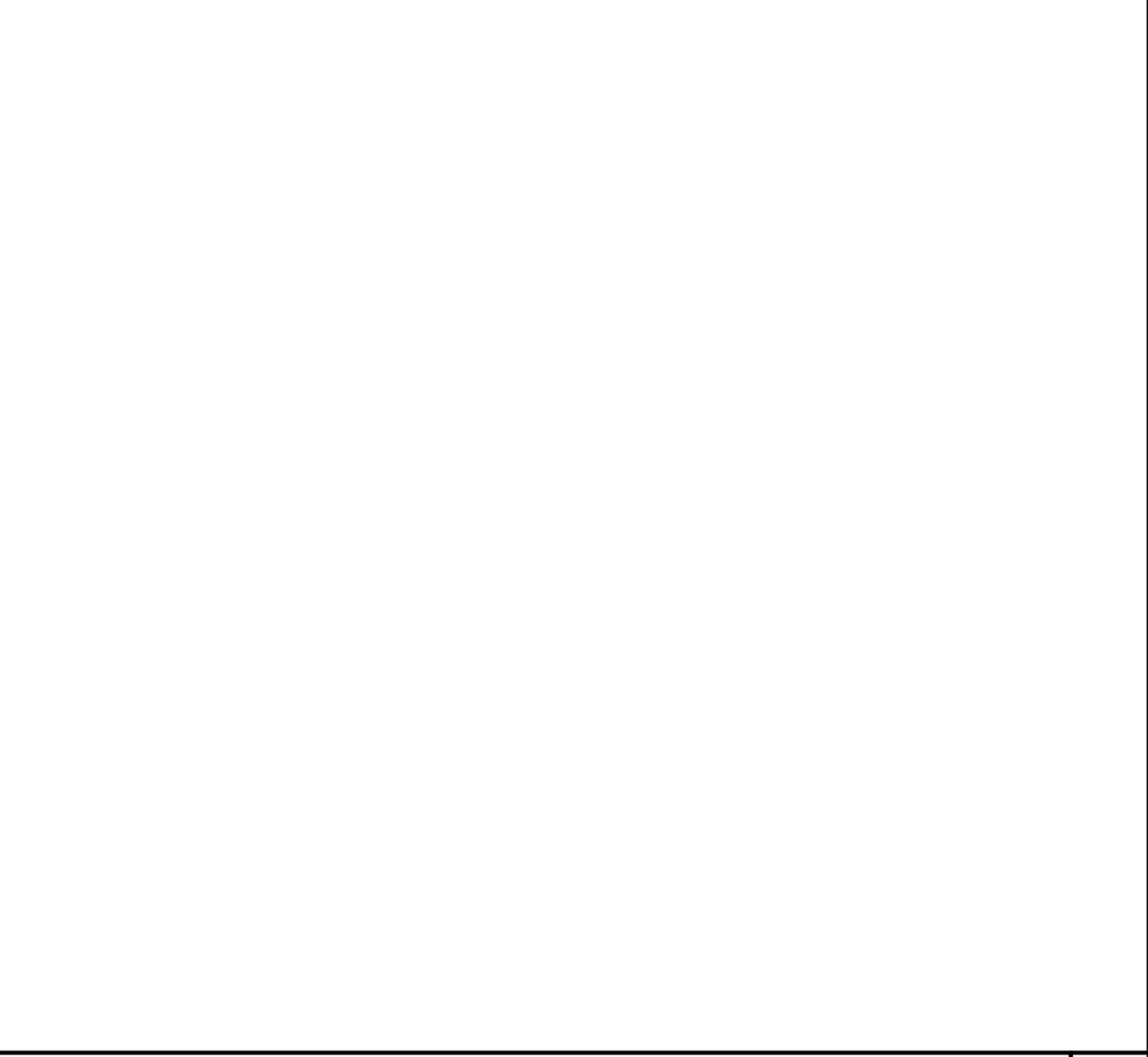
TYPICAL EXTERIOR WALL - (E) 2x JOIST PERPENDICULAR SCALE: NONE 9



TYPICAL EXTERIOR WALL - (E) 2x JOIST PARALLEL SCALE: NONE 10



TYPICAL INTERIOR WALL - (E) 2x JOIST PERPENDICULAR SCALE: NONE 11



DETAIL SCALE: NONE 12



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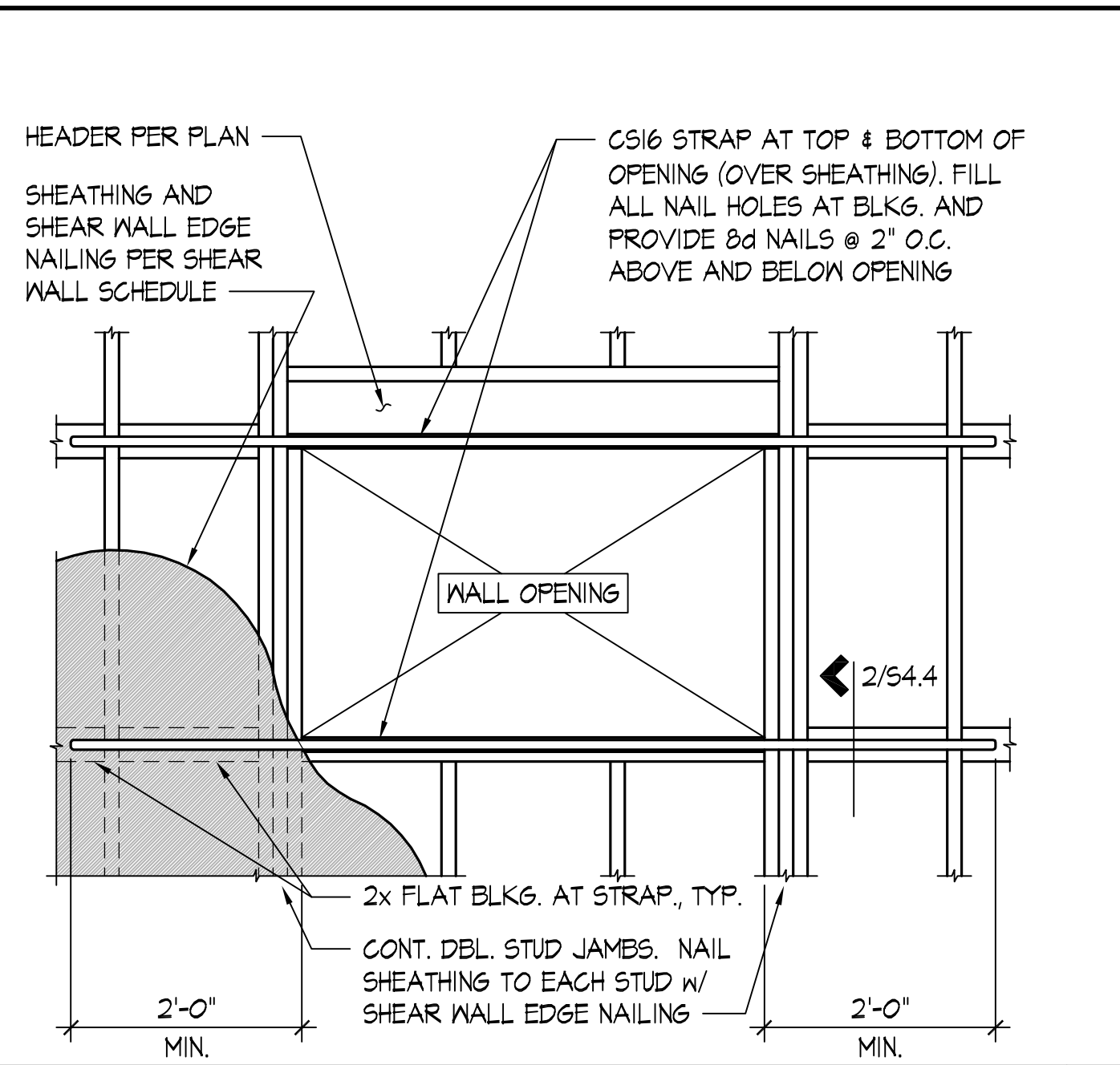
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SHEET TITLE:	

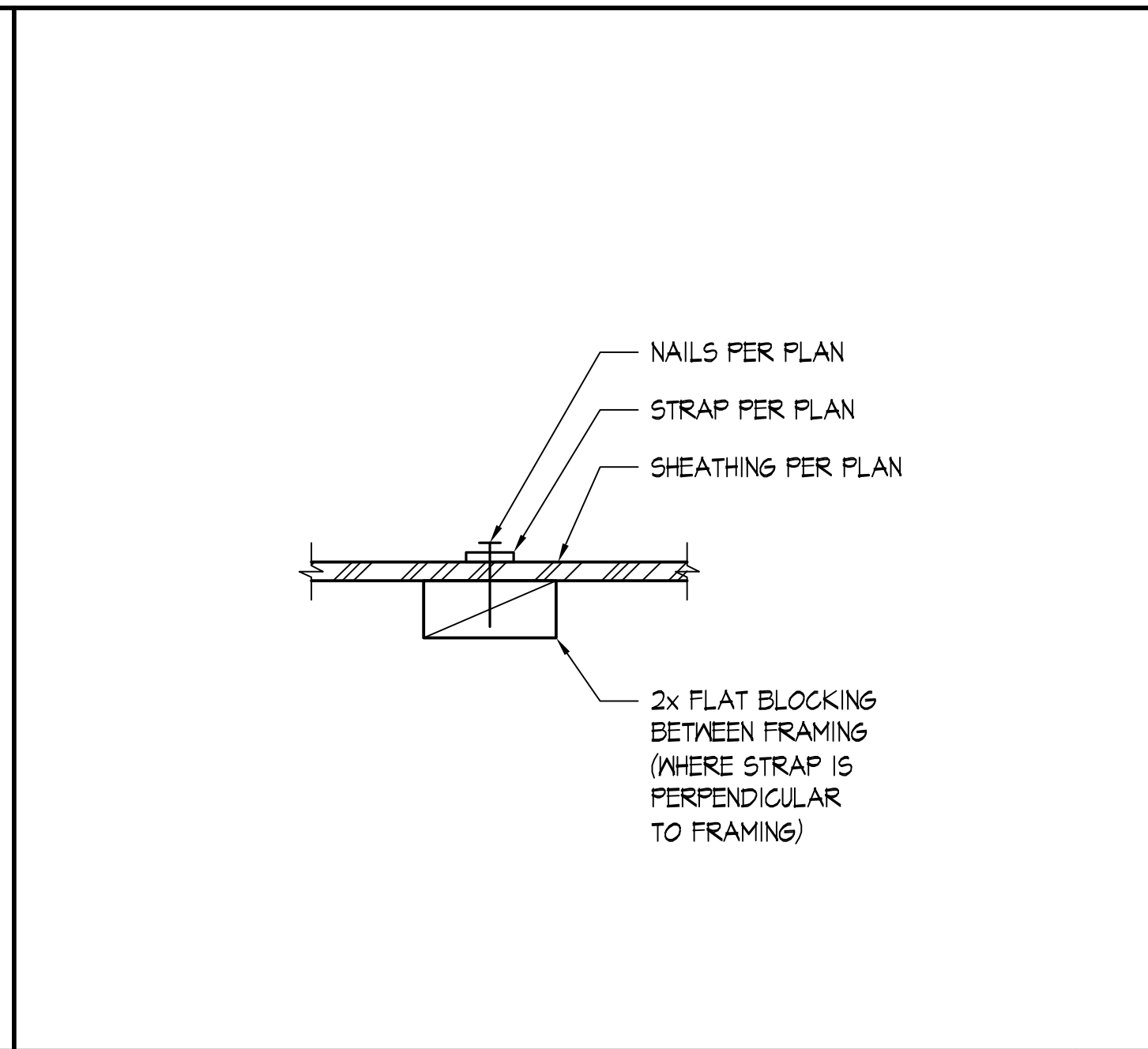
FLOOR DETAILS

SHEET NO.

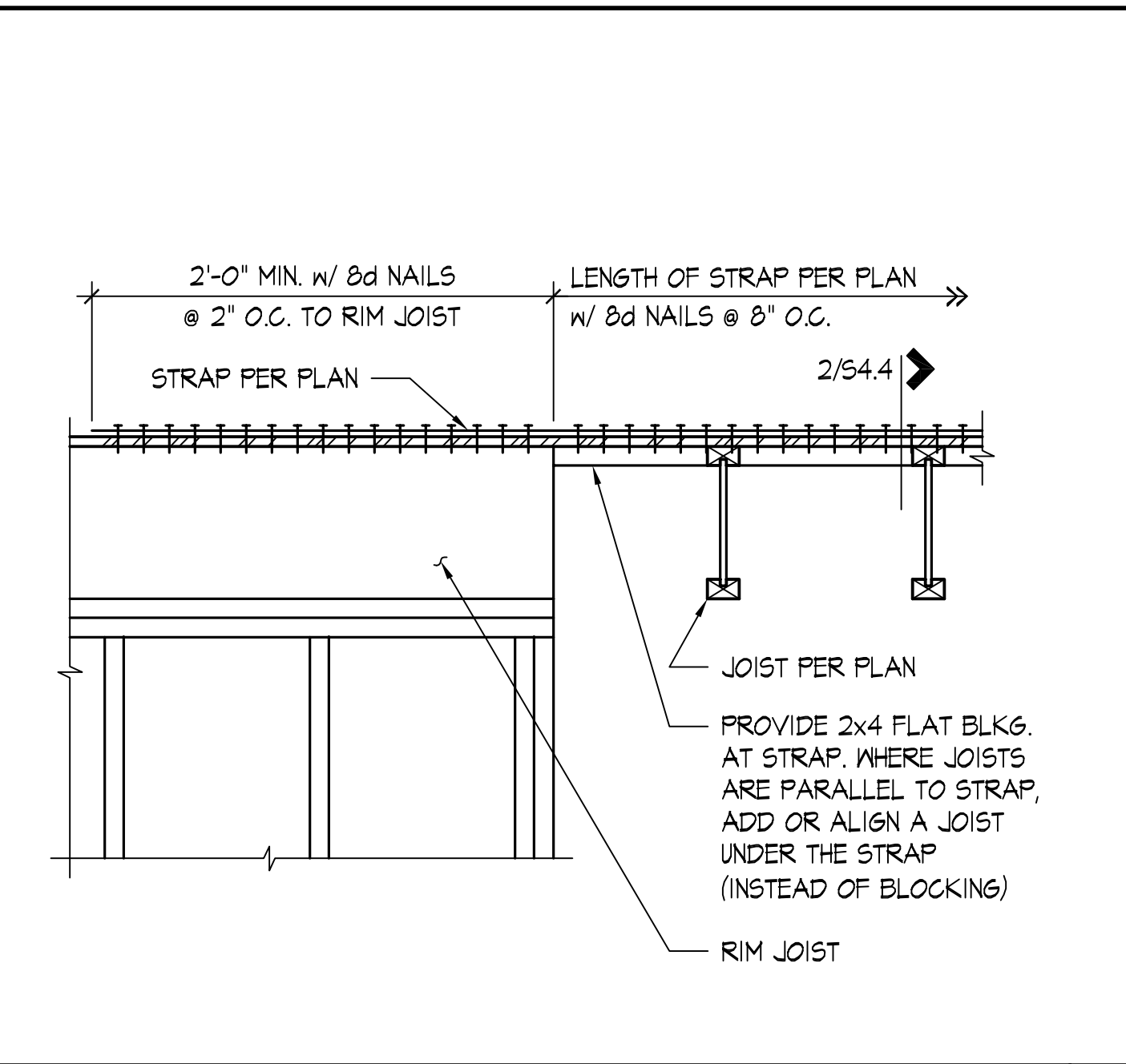
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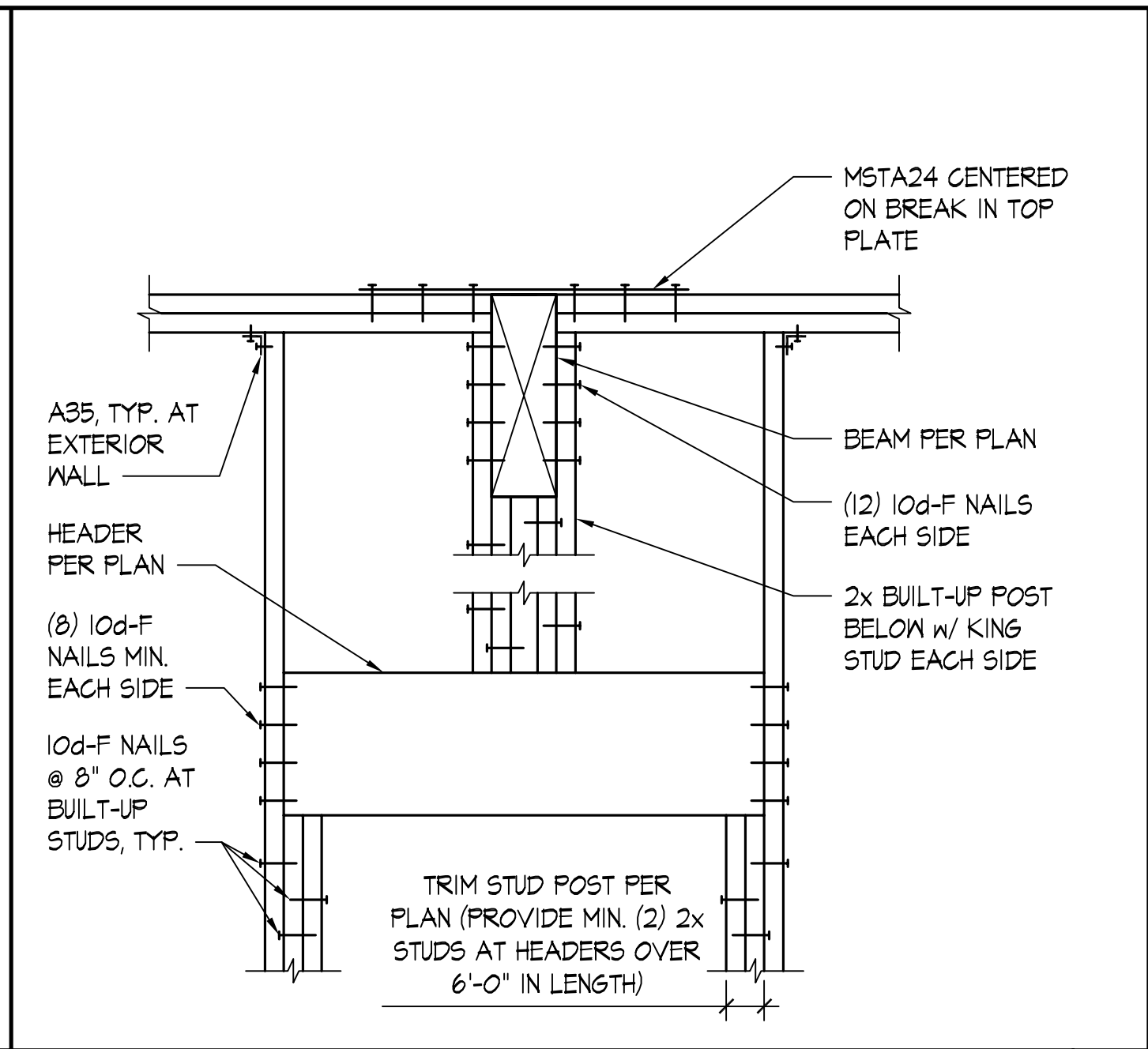
STRAPPING AROUND SHEAR WALL OPENING SCALE: NONE |



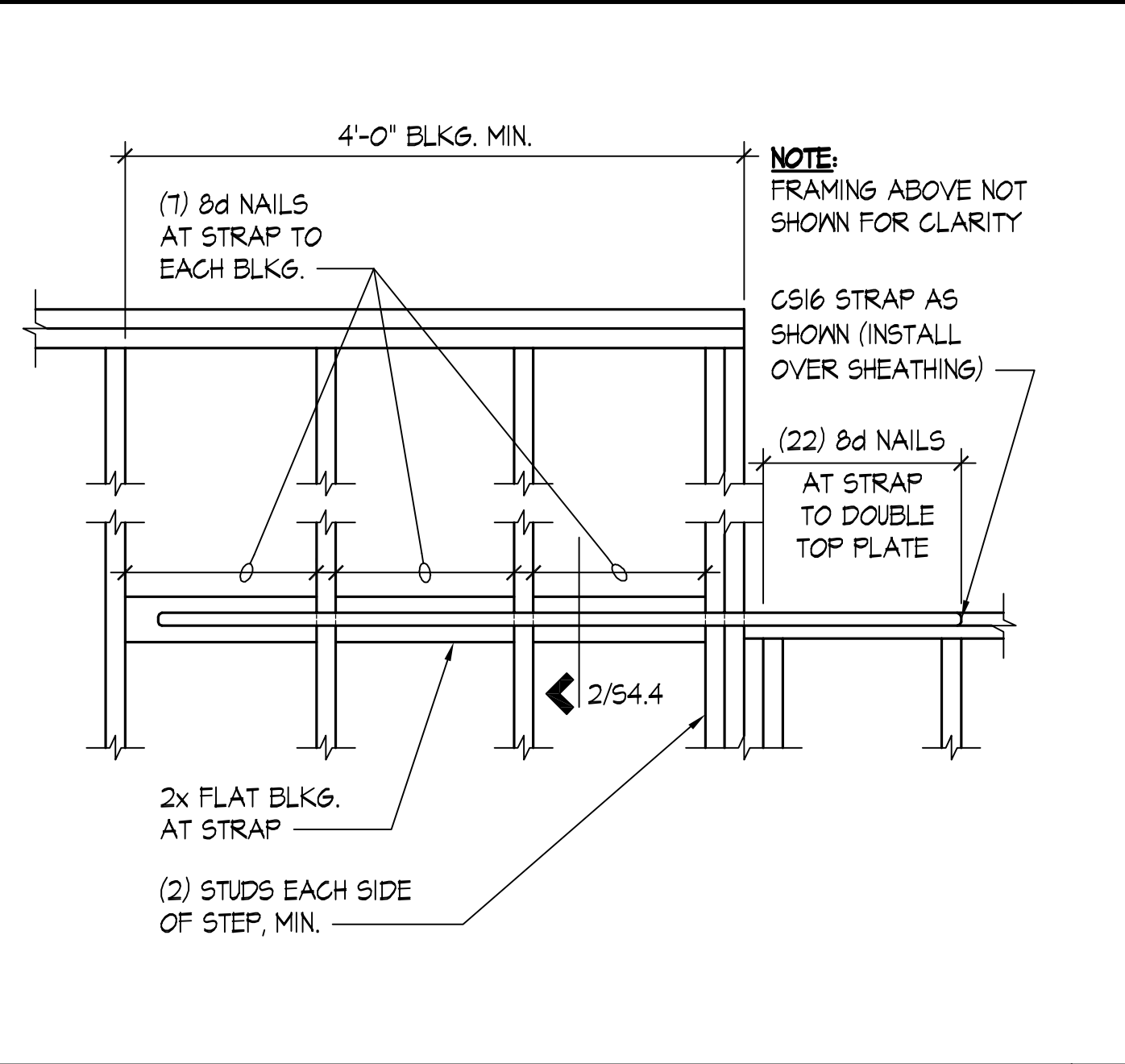
STRAP TO BLOCKING DETAIL SCALE: NONE | 2



TYPICAL DRAG STRUT DETAIL SCALE: NONE | 3



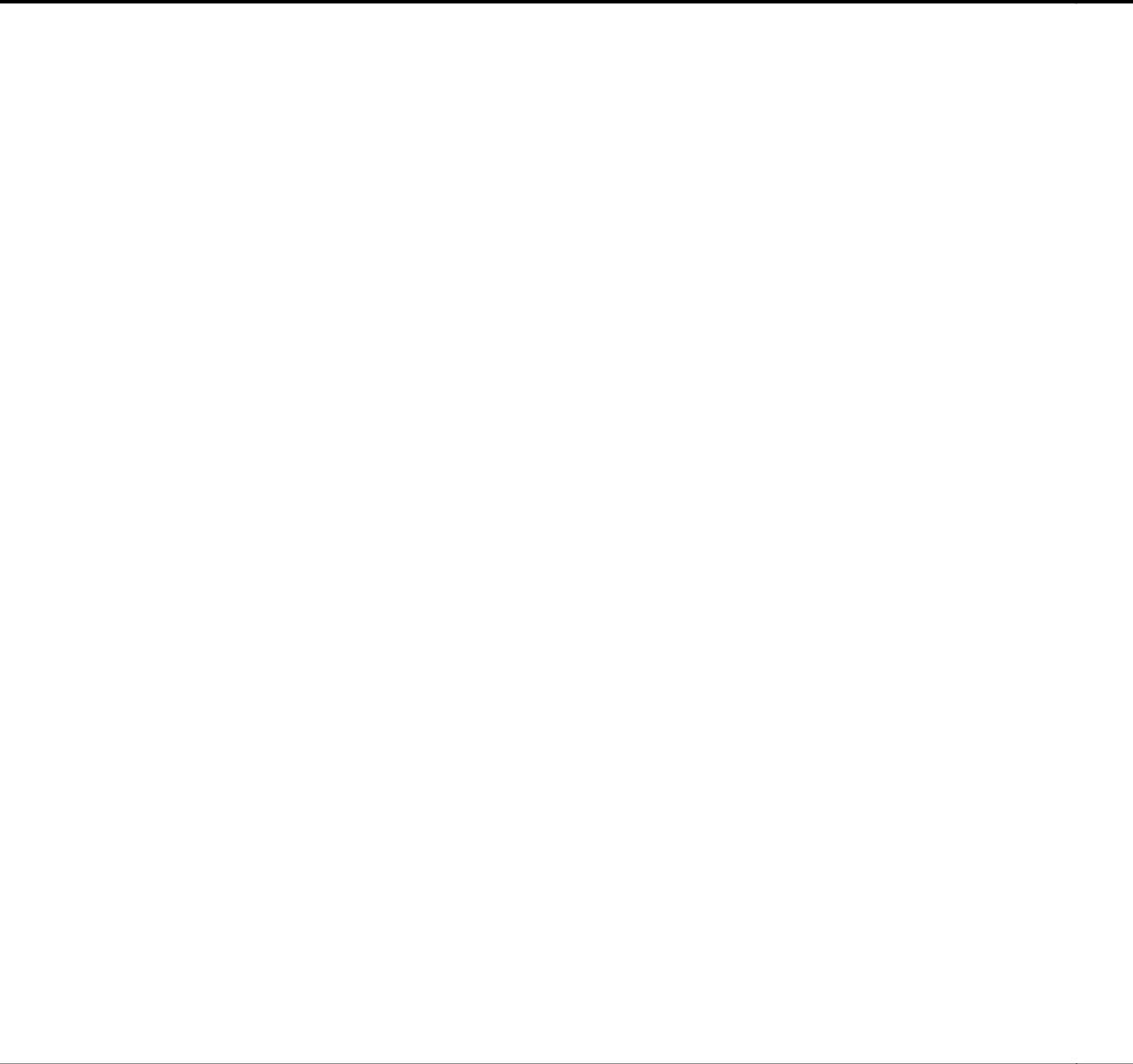
TYPICAL DROP BEAM TO WALL SUPPORT (OVER HEADER) SCALE: NONE | 4



TYPICAL PLATE HEIGHT STEP SCALE: NONE | 5



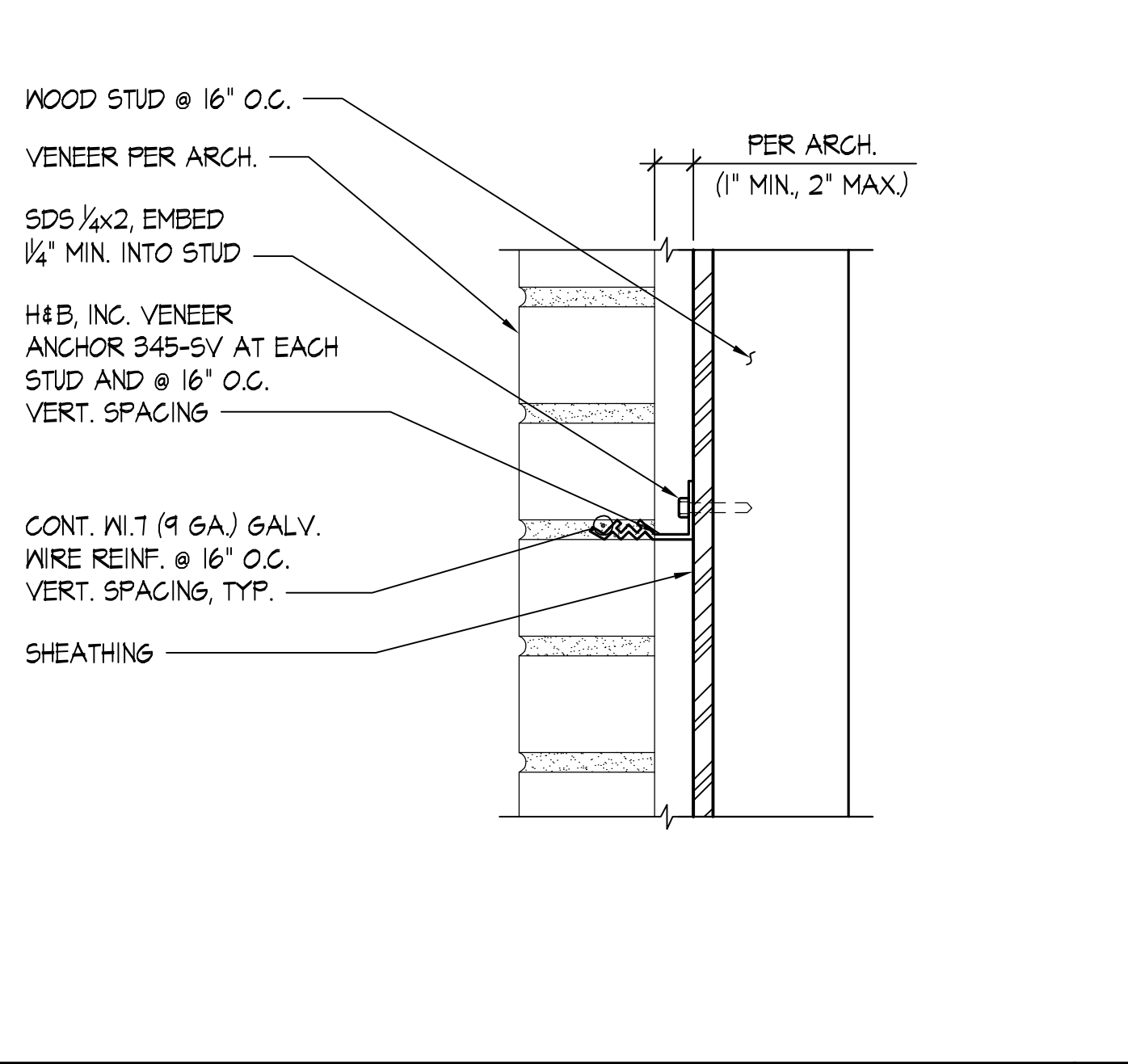
DETAIL SCALE: NONE | 6



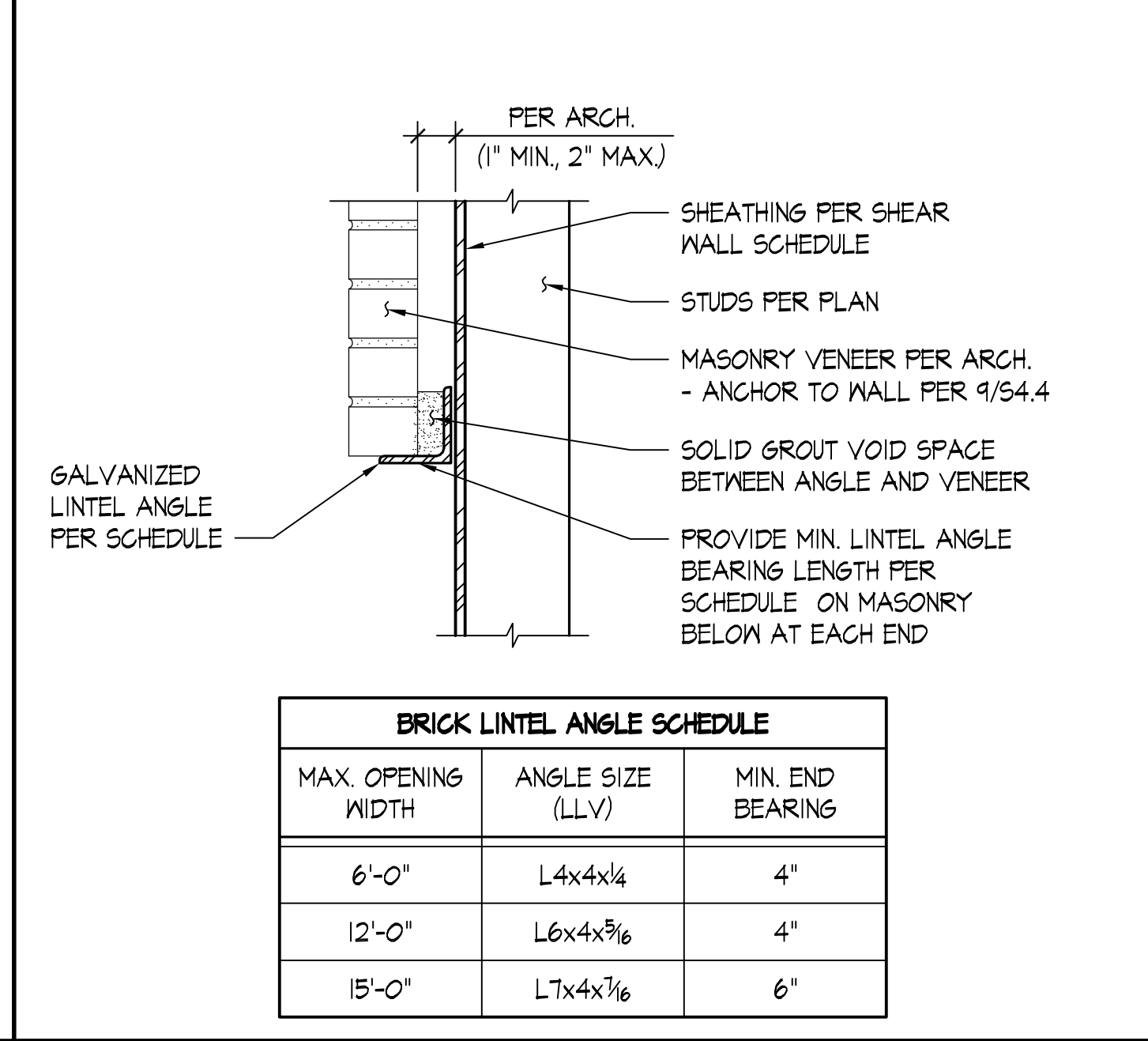
DETAIL SCALE: NONE | 7



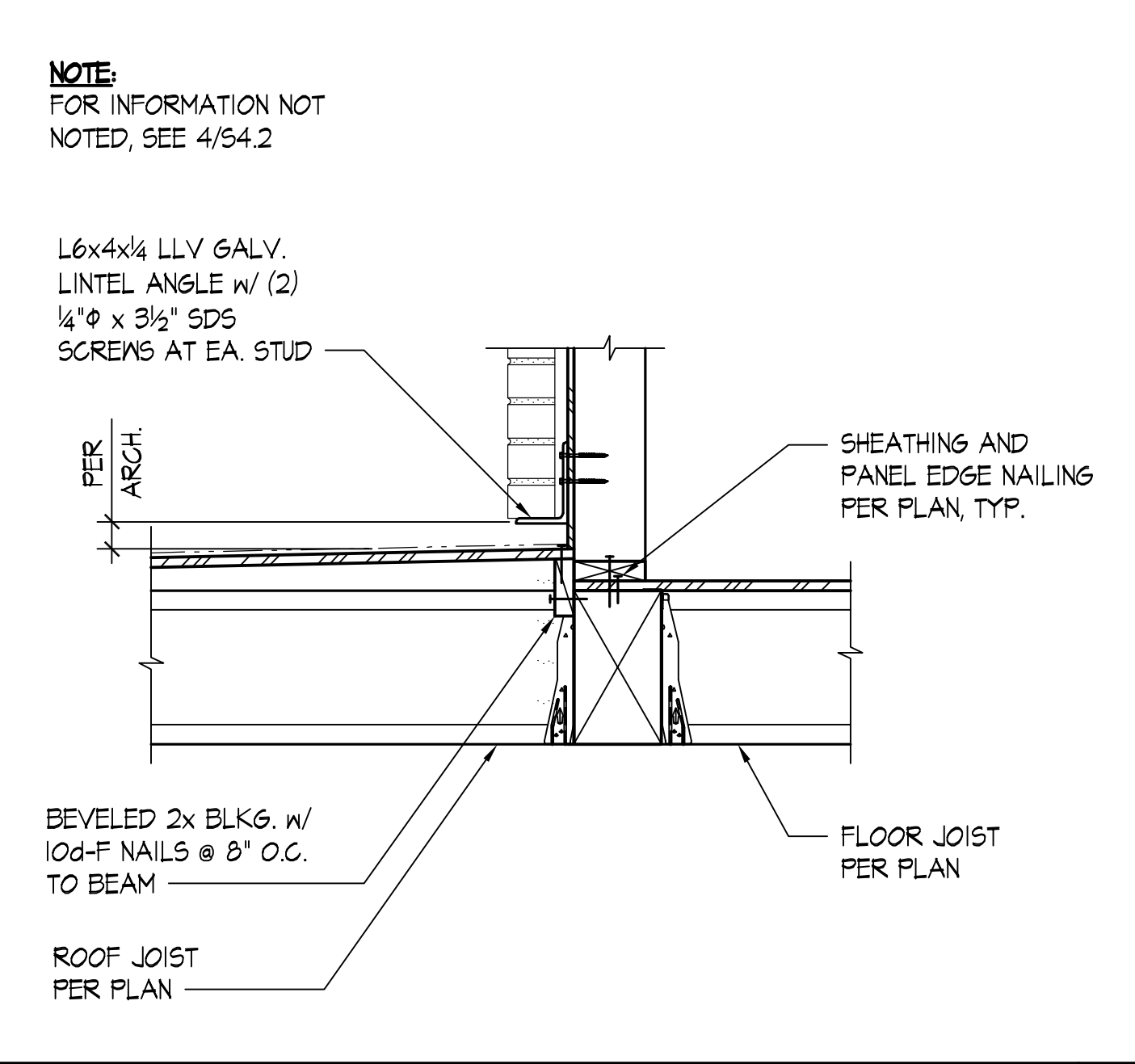
DETAIL SCALE: NONE | 8



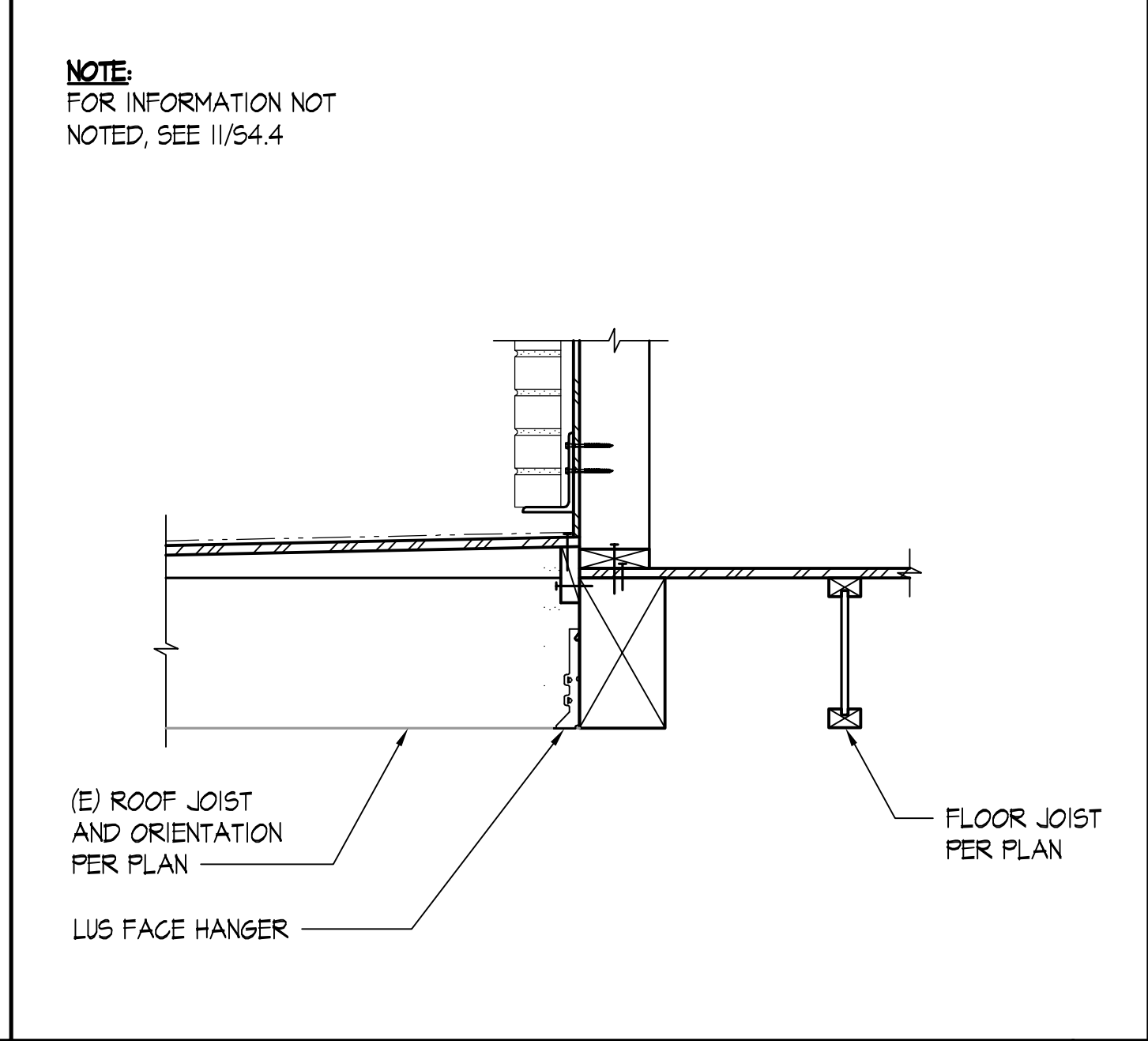
MASONRY VENEER ANCHORAGE DETAIL - WOOD STUD WALL SCALE: NONE | 9



BRICK LINTEL ANGLE SCHEDULE SCALE: 1 1/2"=1'-0" | 10



EXTERIOR WALL TO FLUSH BEAM AT FLAT ROOF - FLOOR JOIST PERPENDICULAR SCALE: NONE | 11



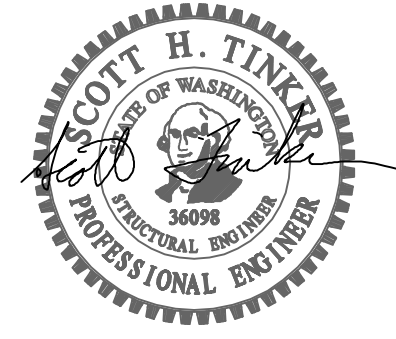
EXTERIOR WALL TO FLUSH BEAM AT FLAT ROOF - FLOOR JOIST PARALLEL SCALE: NONE | 12



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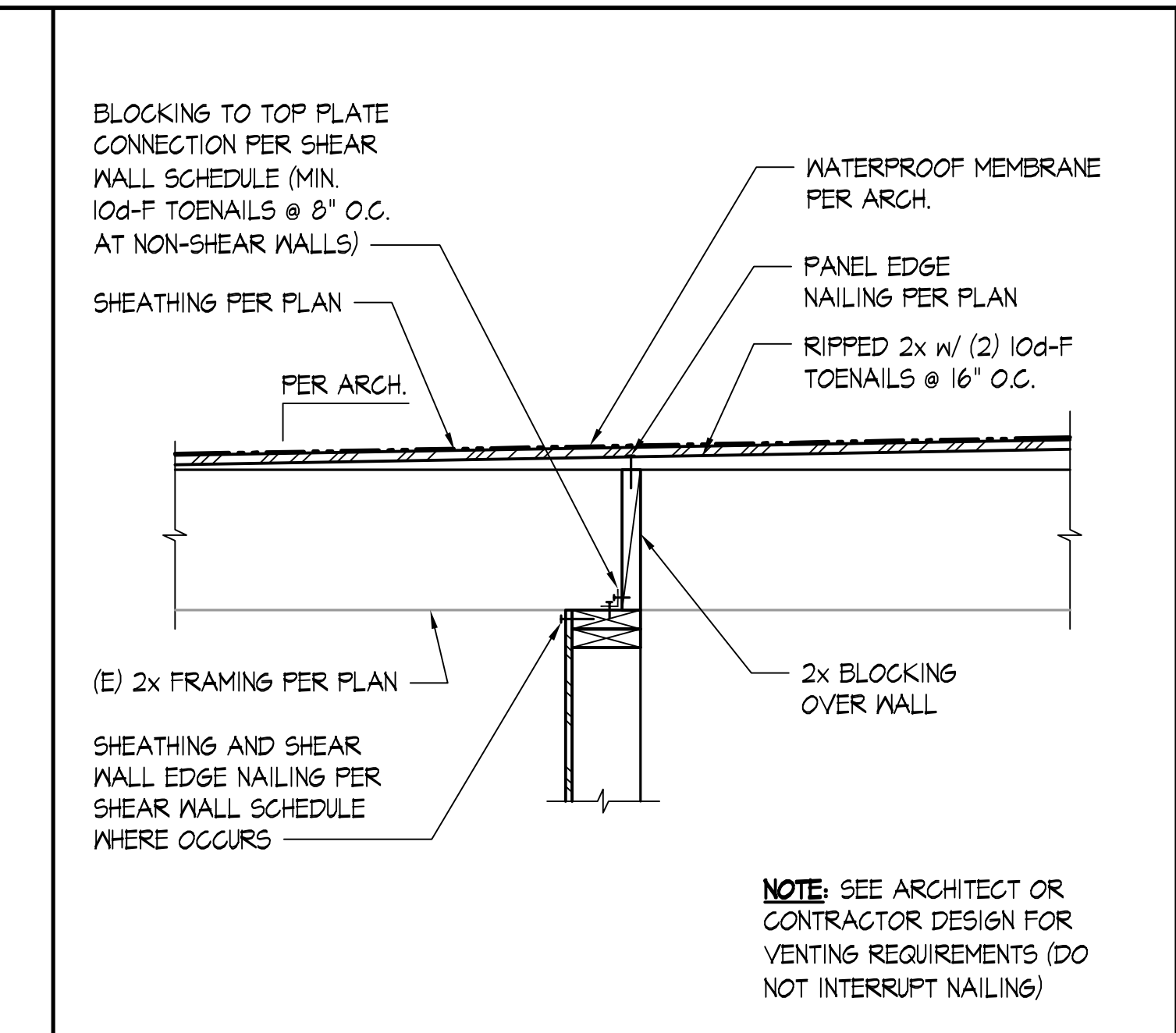
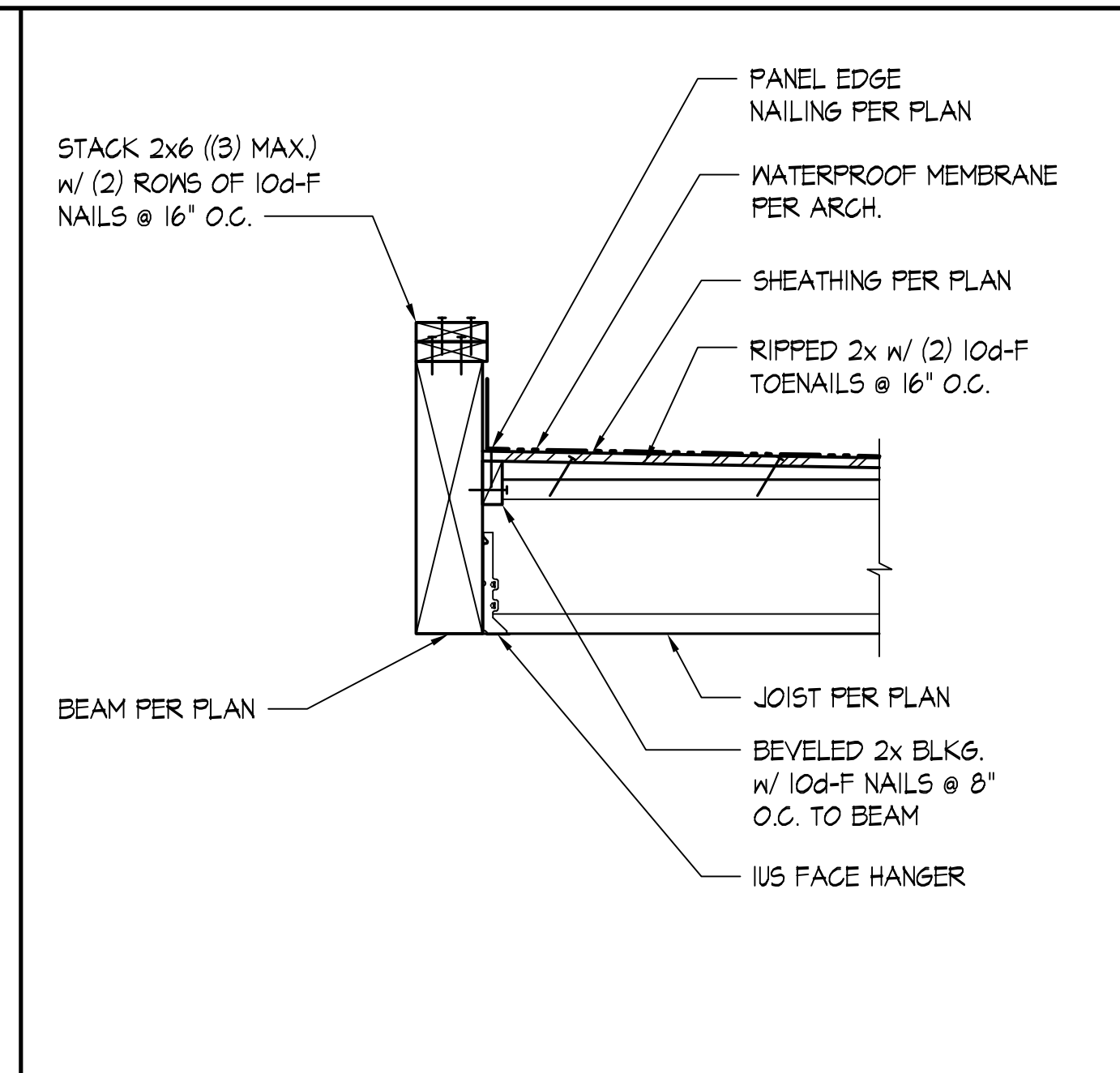
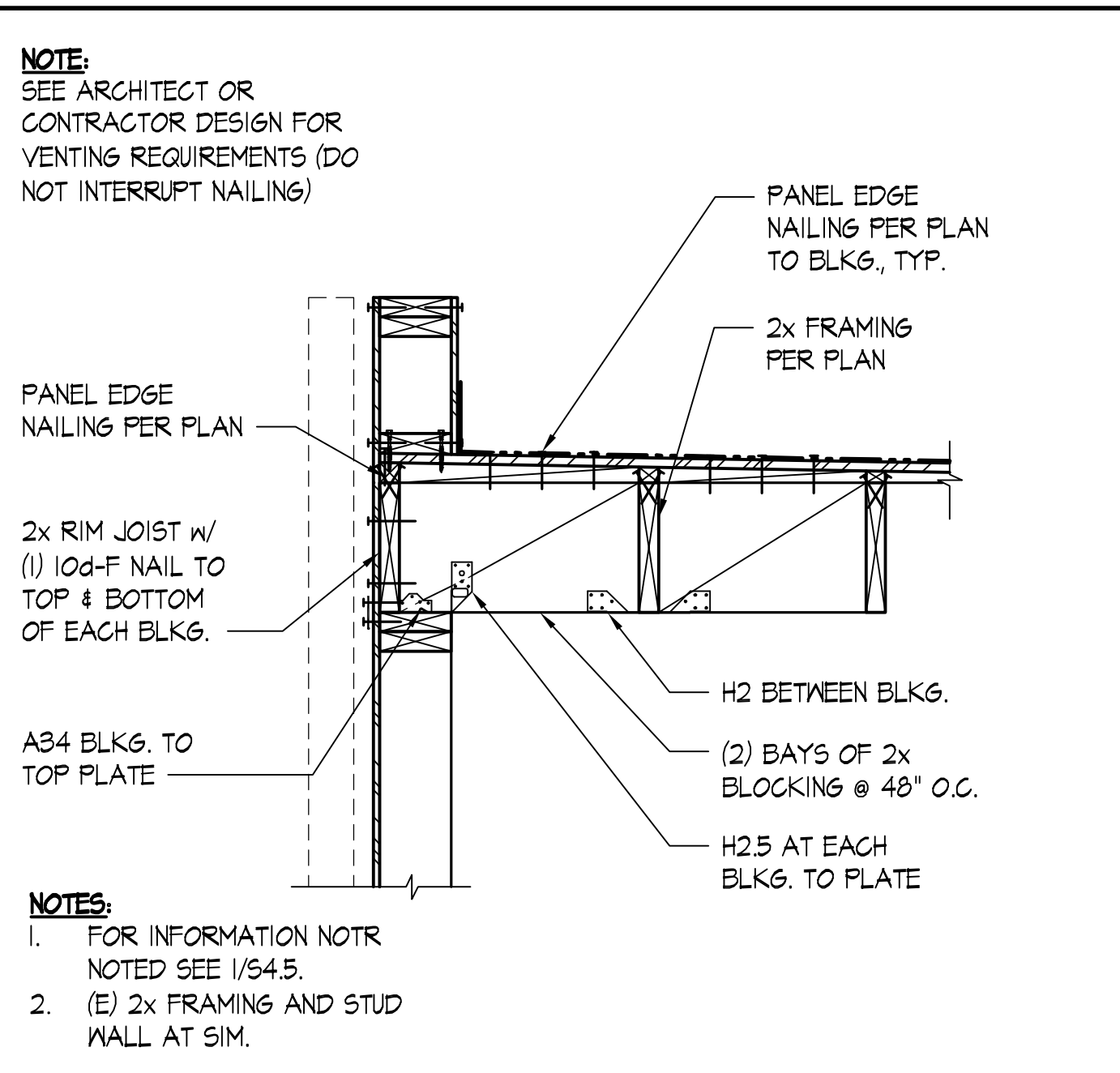
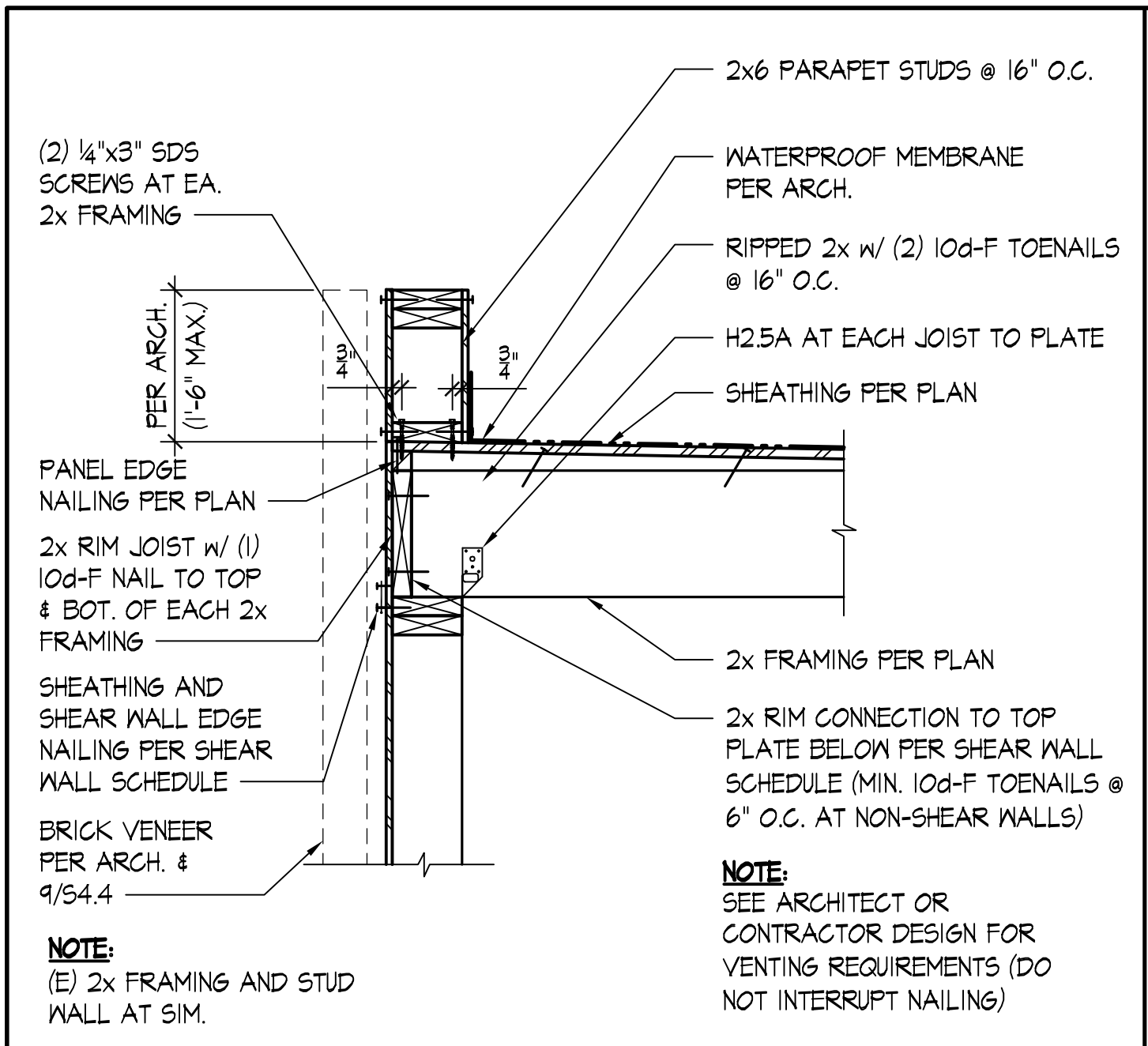
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DATE:	6/7/23		
JOB NO.	23127.01		
SHEET TITLE:	TYPICAL WOOD DETAILS		

SHEET NO.

S4.4

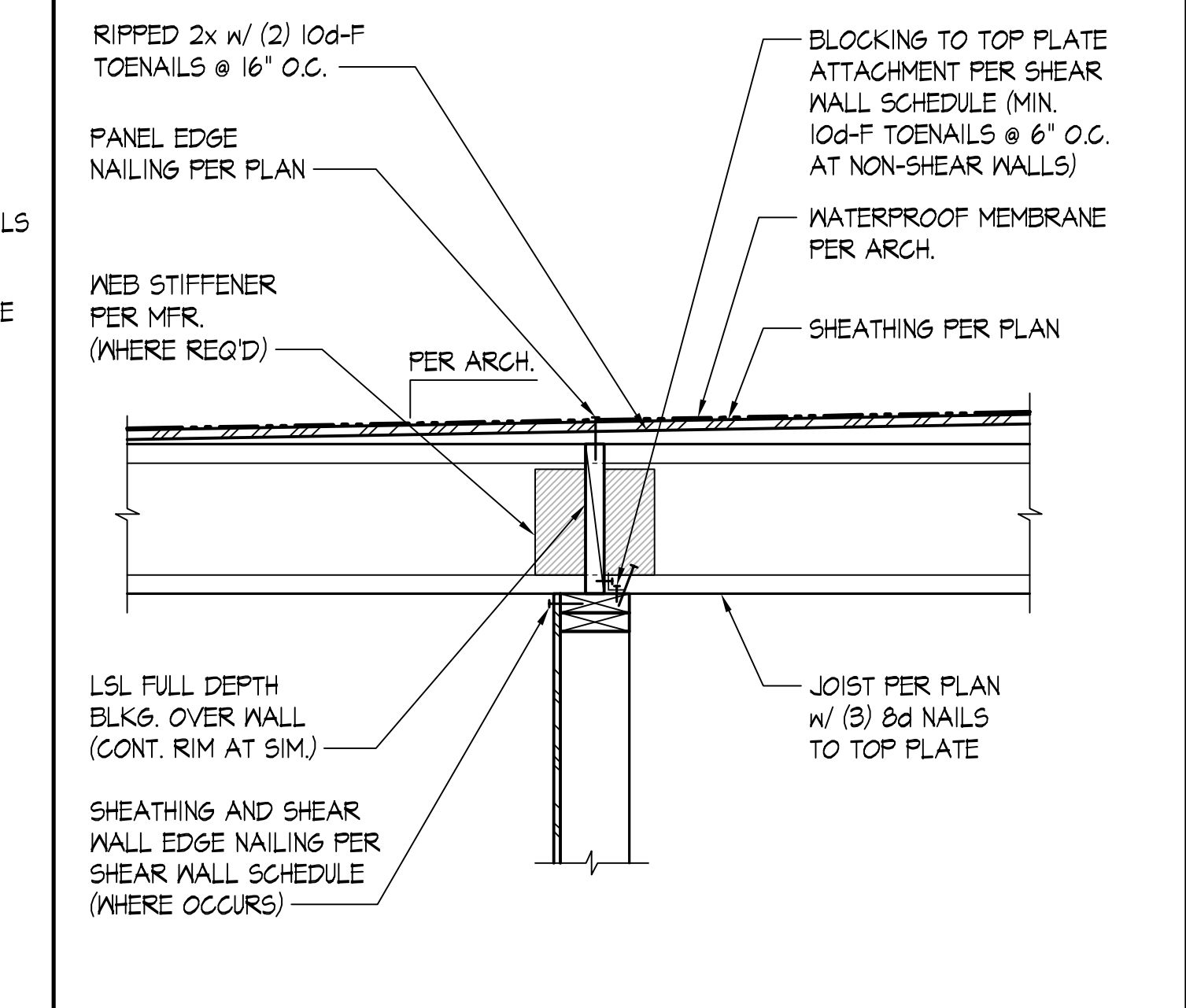
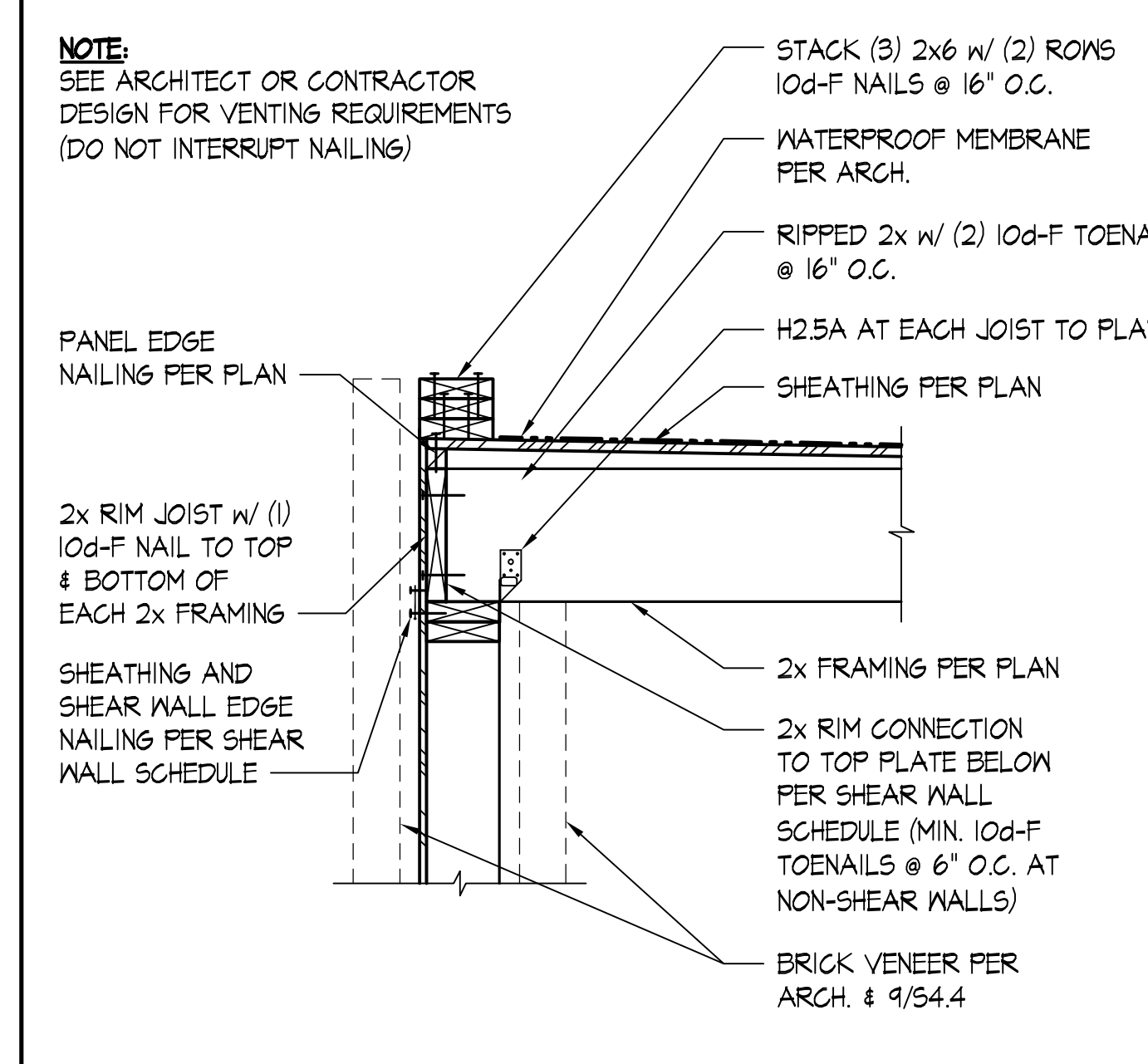
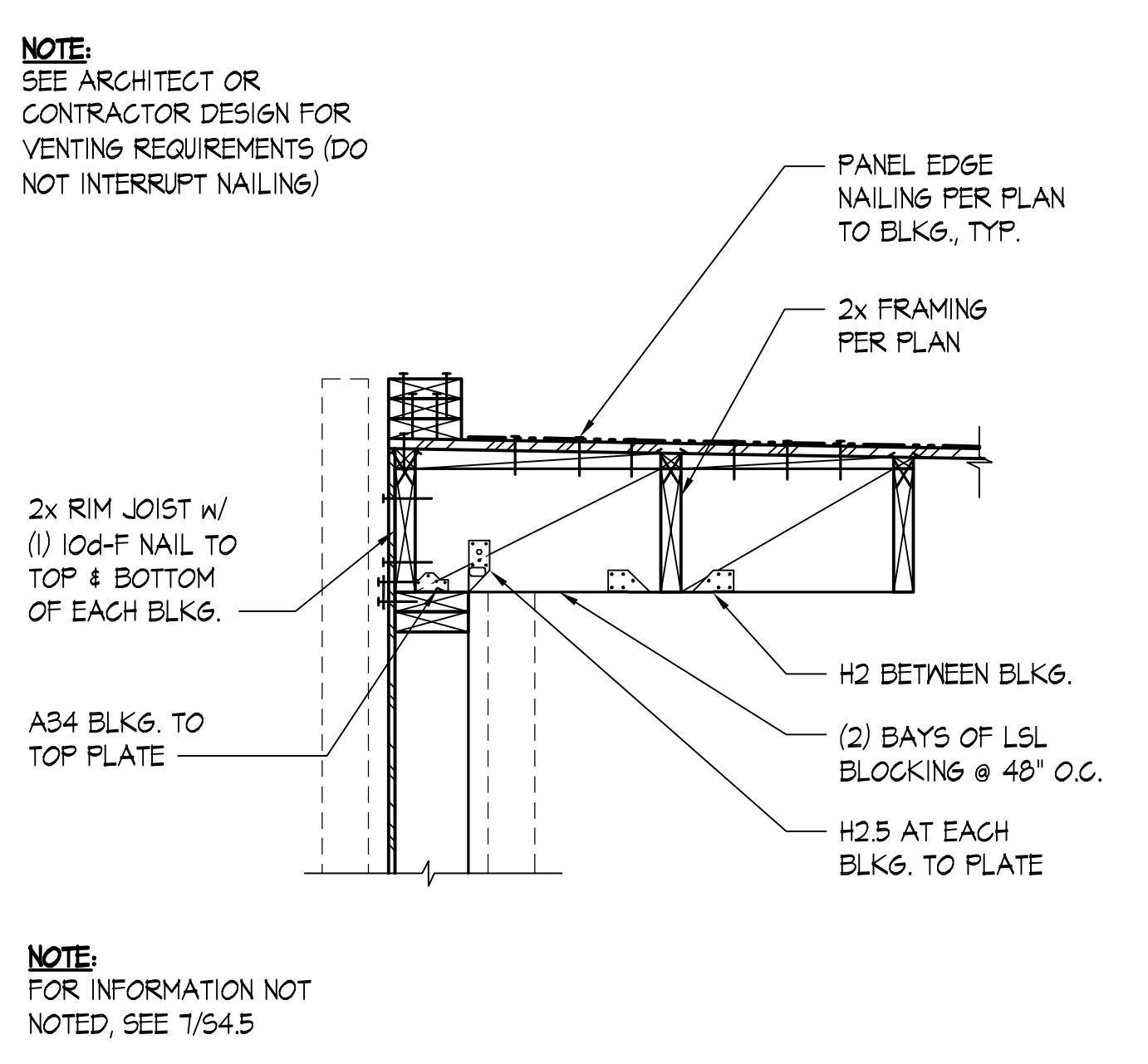
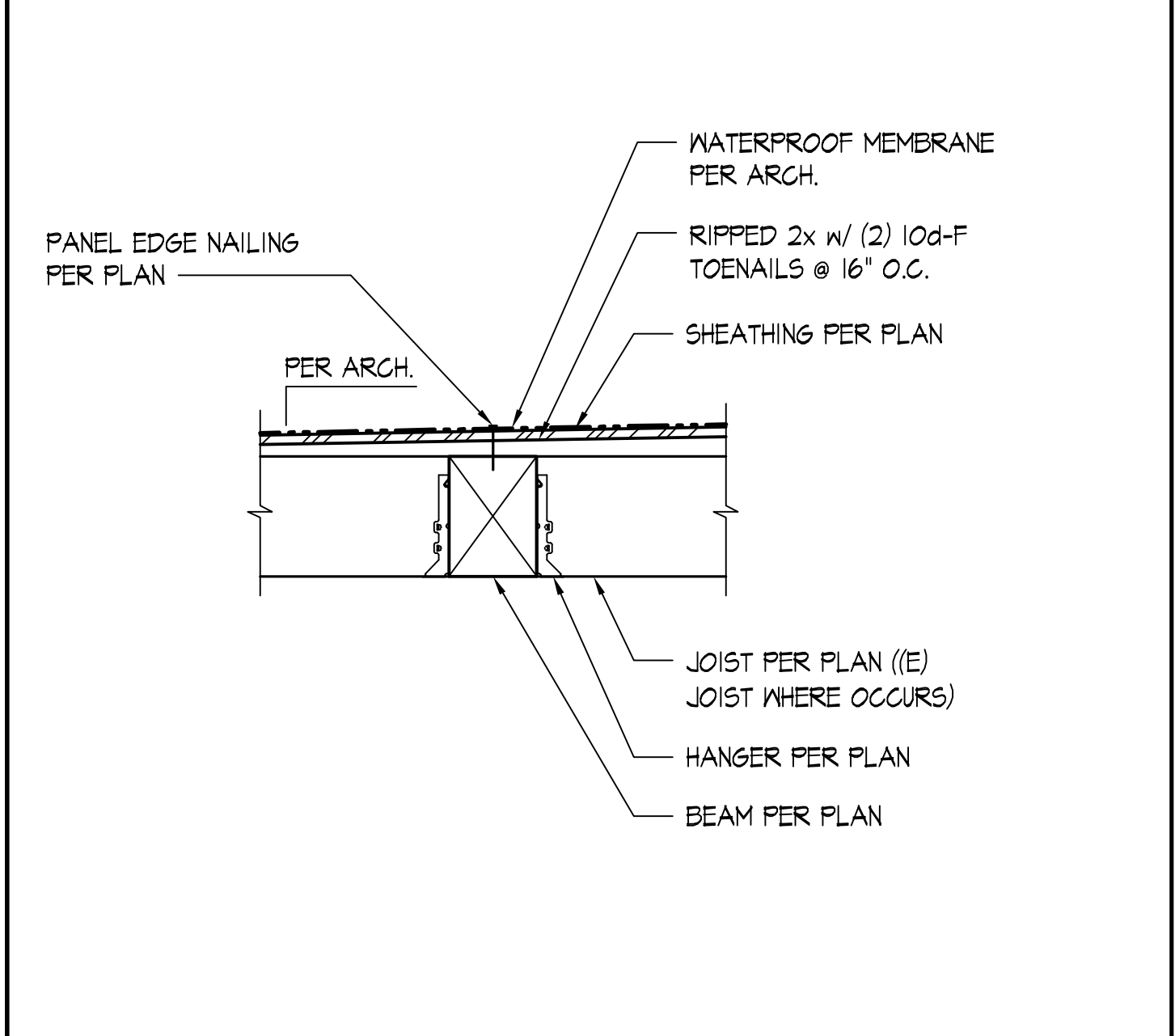


TYPICAL EXTERIOR WALL AT ROOF - 2x FRAMING PERPENDICULAR SCALE: NONE 1

TYPICAL EXTERIOR WALL AT ROOF - 2x FRAMING PARALLEL SCALE: NONE 2

FLUSH BEAM AT FLAT ROOF - JOIST PERPENDICULAR SCALE: NONE 3

TYPICAL INTERIOR STRUCTURAL WALL AT FLAT ROOF - 2x FRAMING PERPENDICULAR SCALE: NONE 4

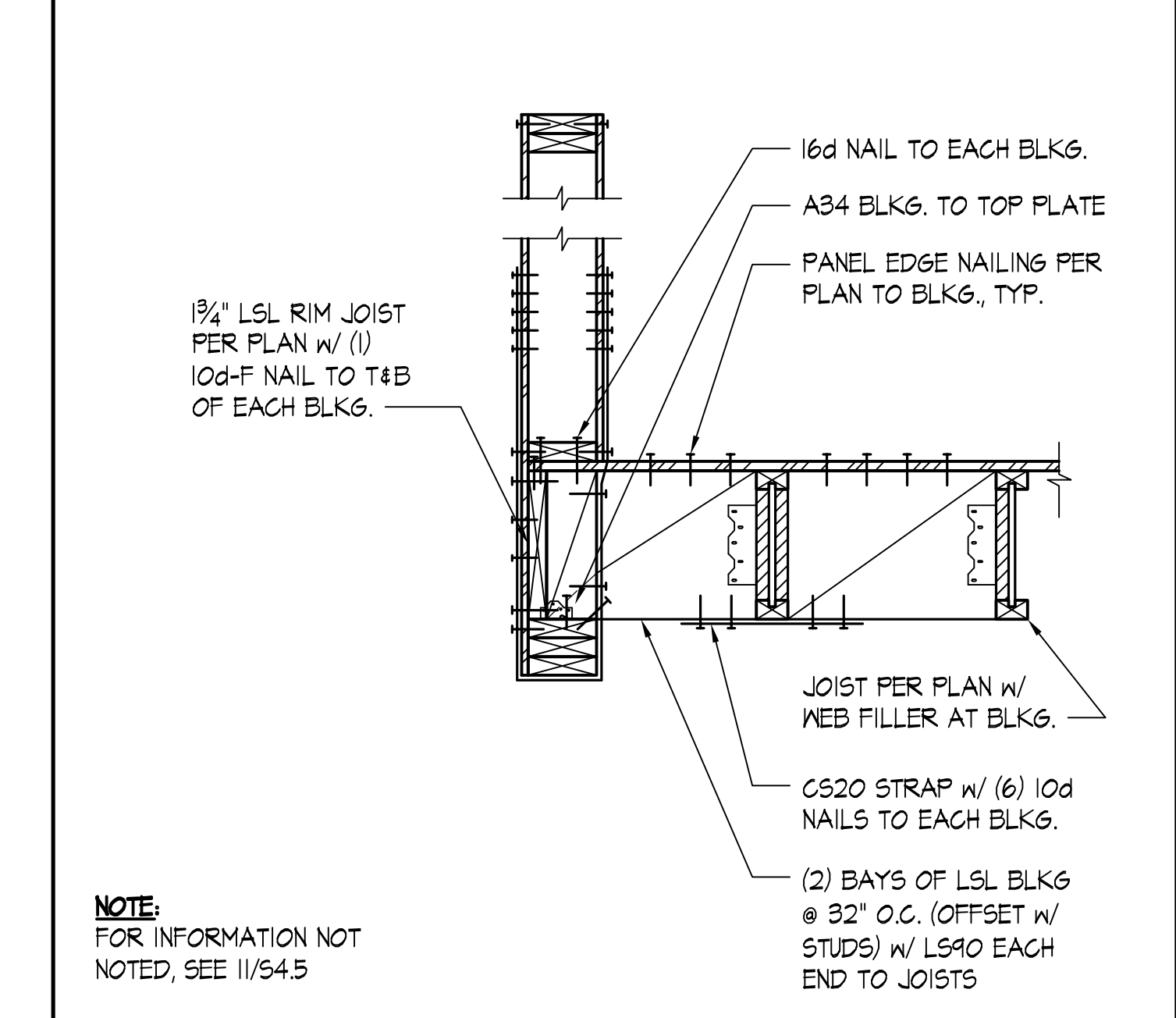
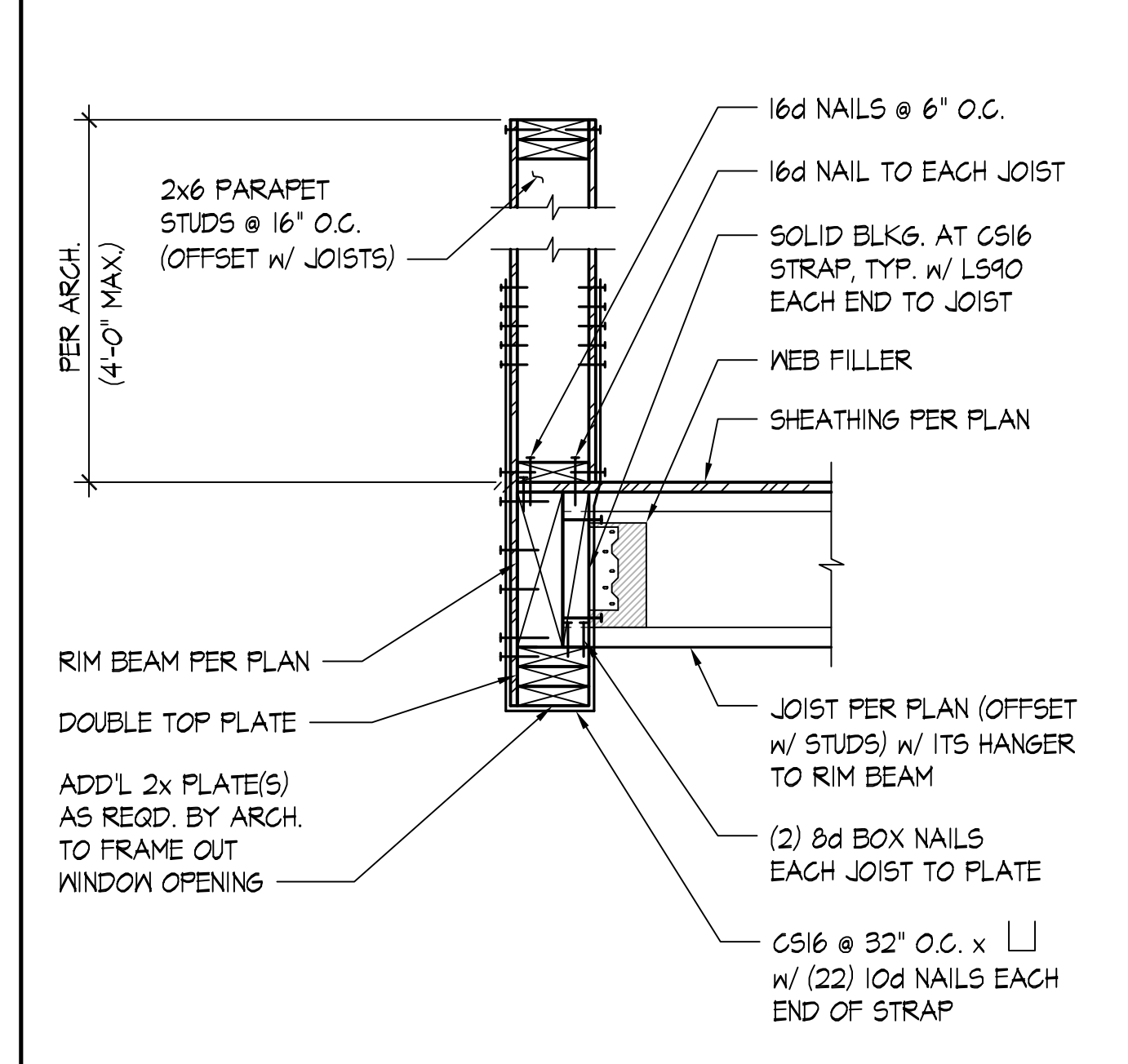
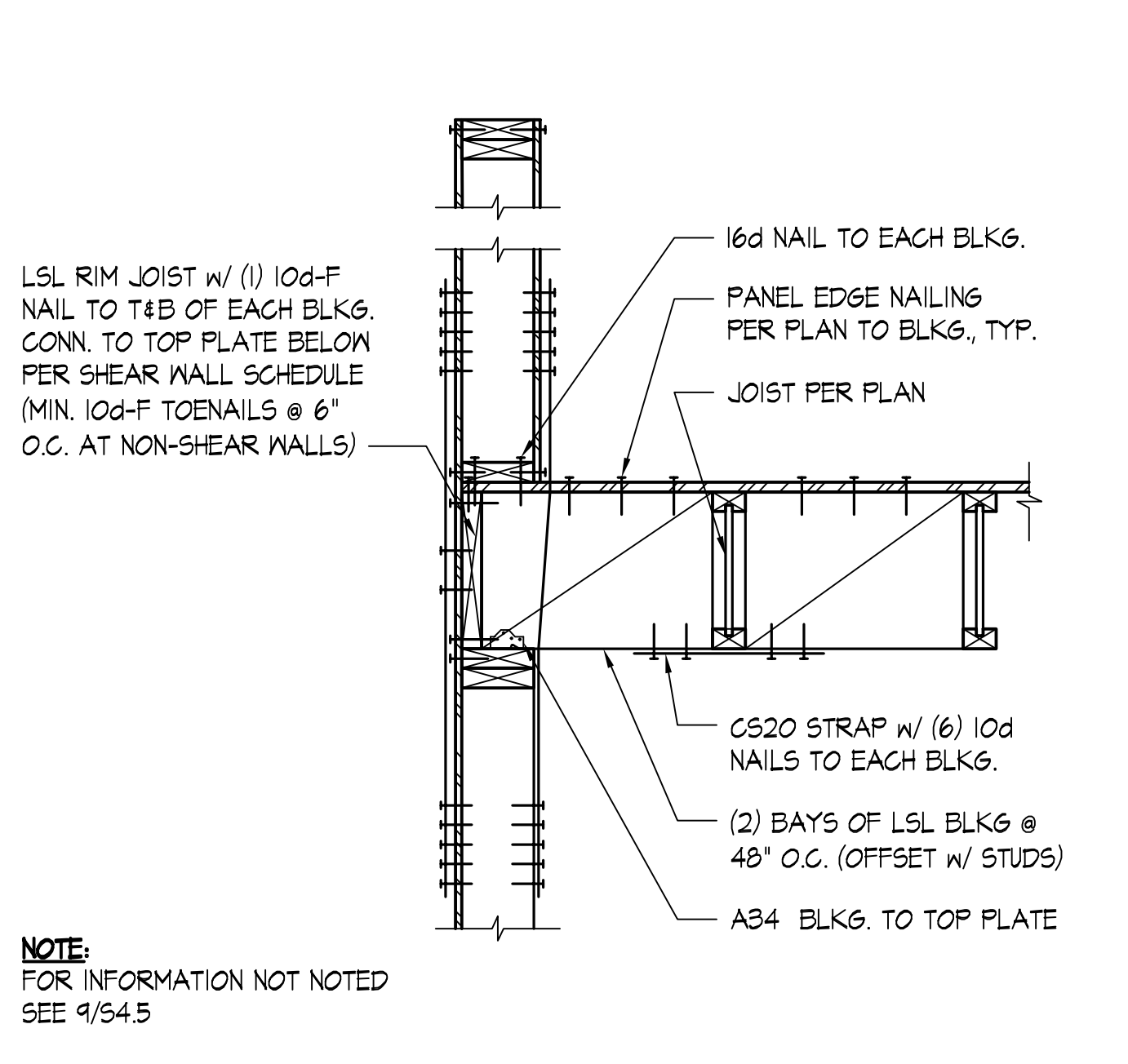
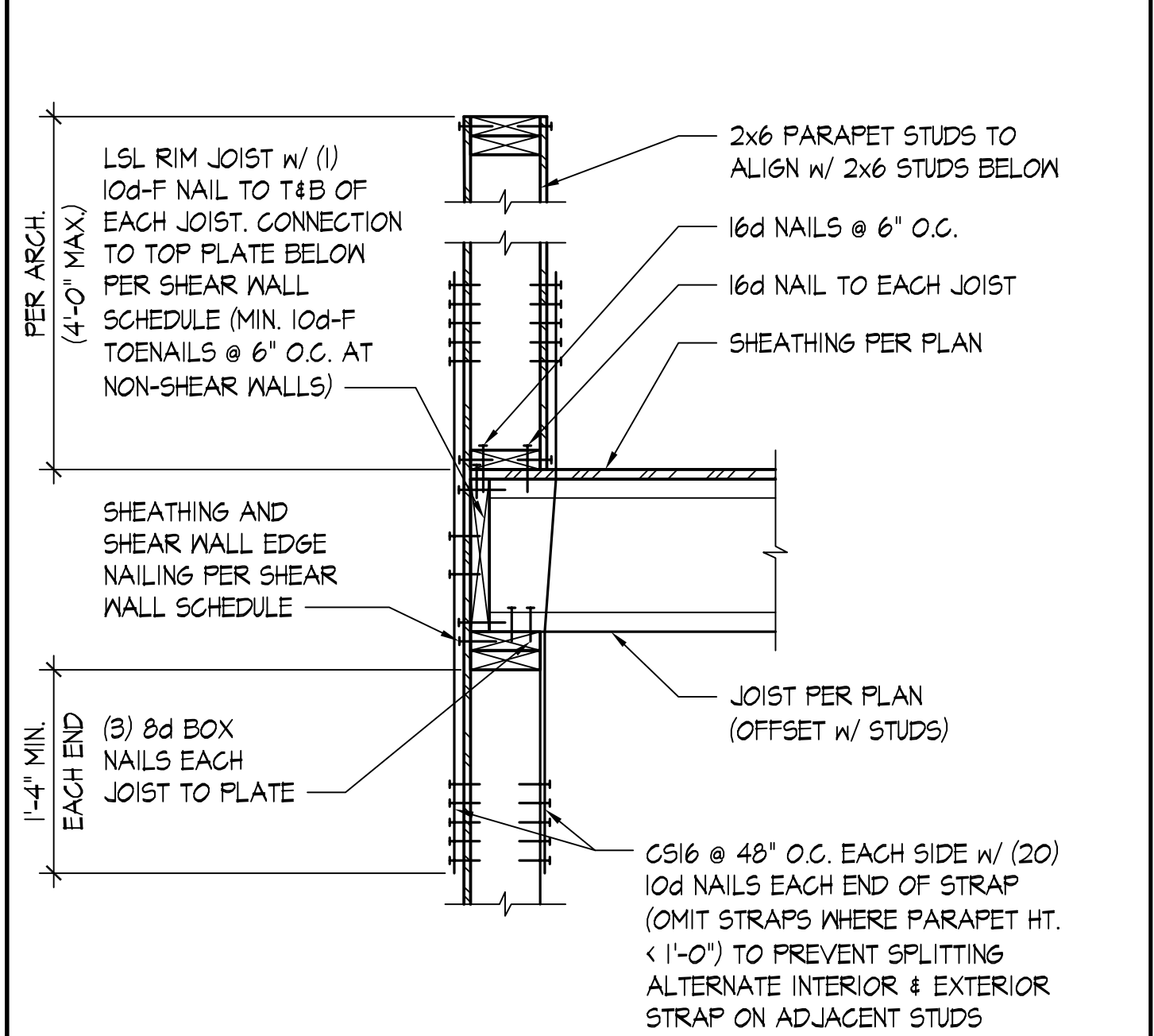


TYPICAL 2x JOIST TO FLUSH BEAM CONNECTION SCALE: NONE 5

TYPICAL EXTERIOR WALL AT ROOF - 2x FRAMING PARALLEL SCALE: NONE 6

TYPICAL EXTERIOR WALL AT ROOF - 2x FRAMING PERPENDICULAR SCALE: NONE 7

TYPICAL INTERIOR STRUCTURAL WALL AT ROOF - 1-JOIST PERPENDICULAR SCALE: NONE 8



TYPICAL PARAPET - 1-JOIST PERPENDICULAR SCALE: NONE 9

TYPICAL PARAPET - 1-JOIST PARALLEL SCALE: NONE 10

TYPICAL PARAPET - 1-JOIST PERPENDICULAR AT OPENING SCALE: NONE 11

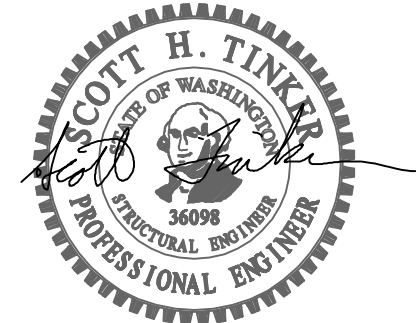
TYPICAL PARAPET - 1-JOIST PARALLEL AT OPENING SCALE: NONE 12



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SCALE:	AS SHOWN		
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SHEET TITLE:			

PARAPET & FLAT ROOF DETAILS

SHEET NO.

S4.5

File: 127-405.dwg Printed: Wed, 06/07/2023 1:59 pm

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MERCER ISLAND, WA 98040

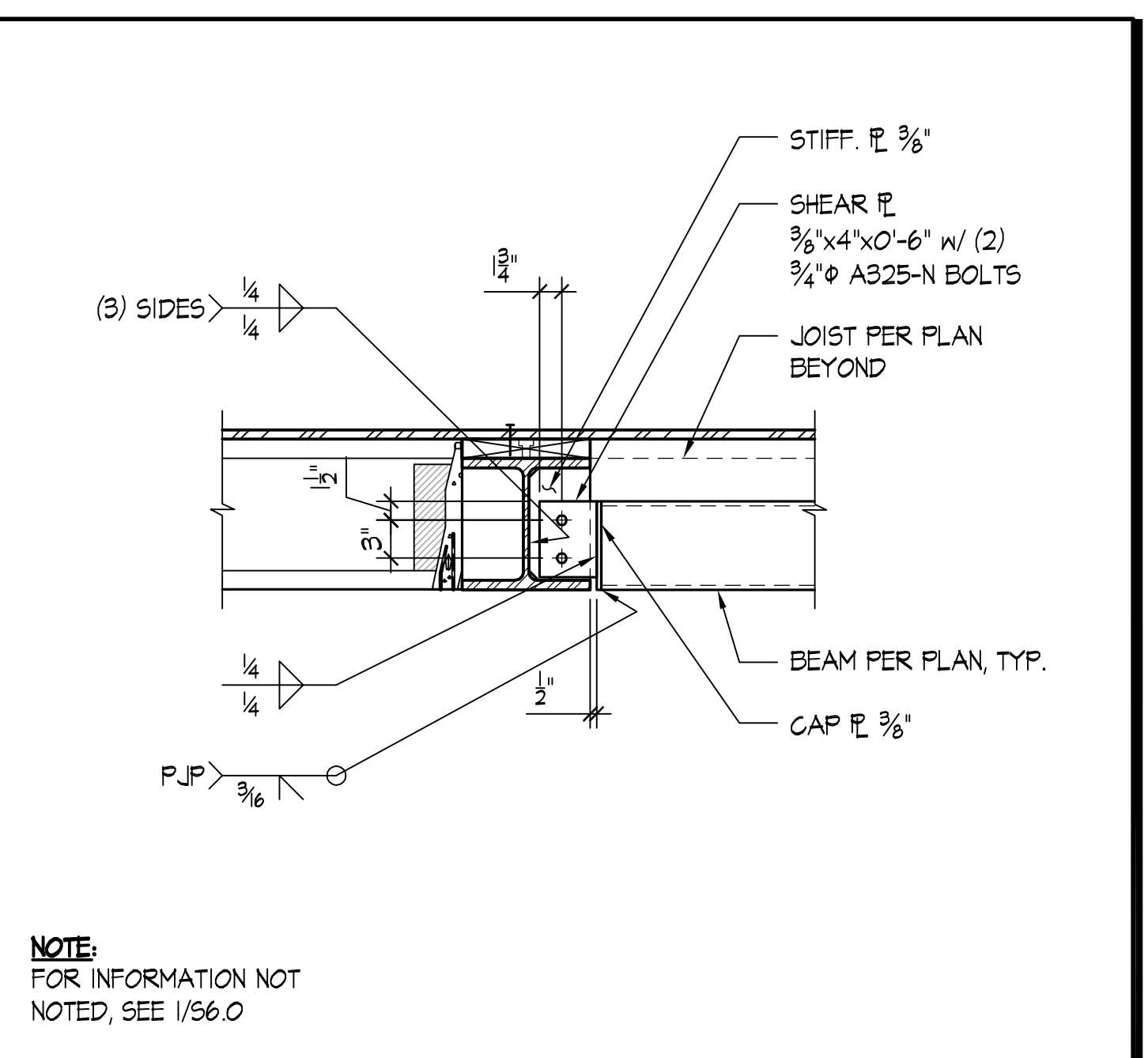
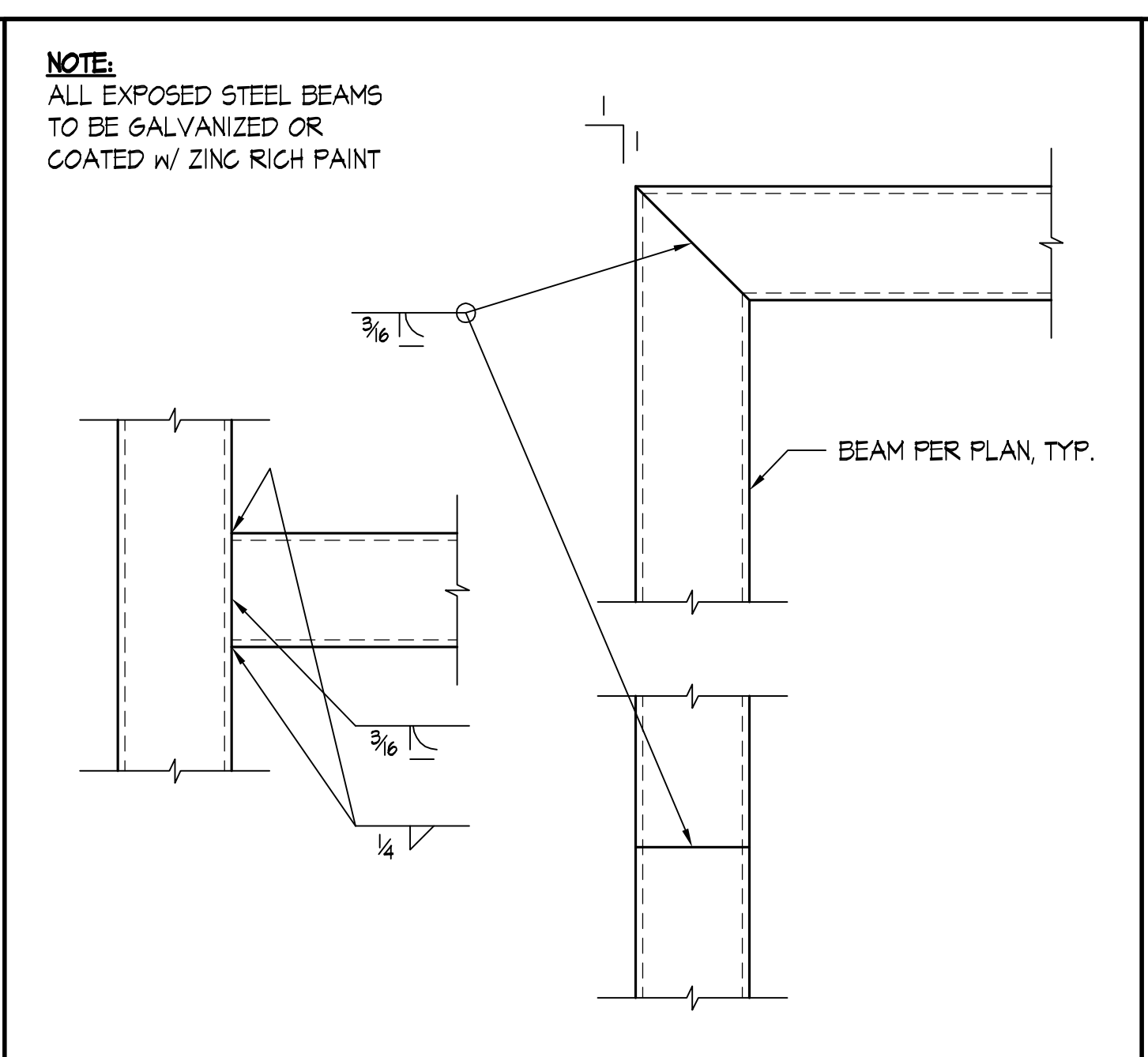
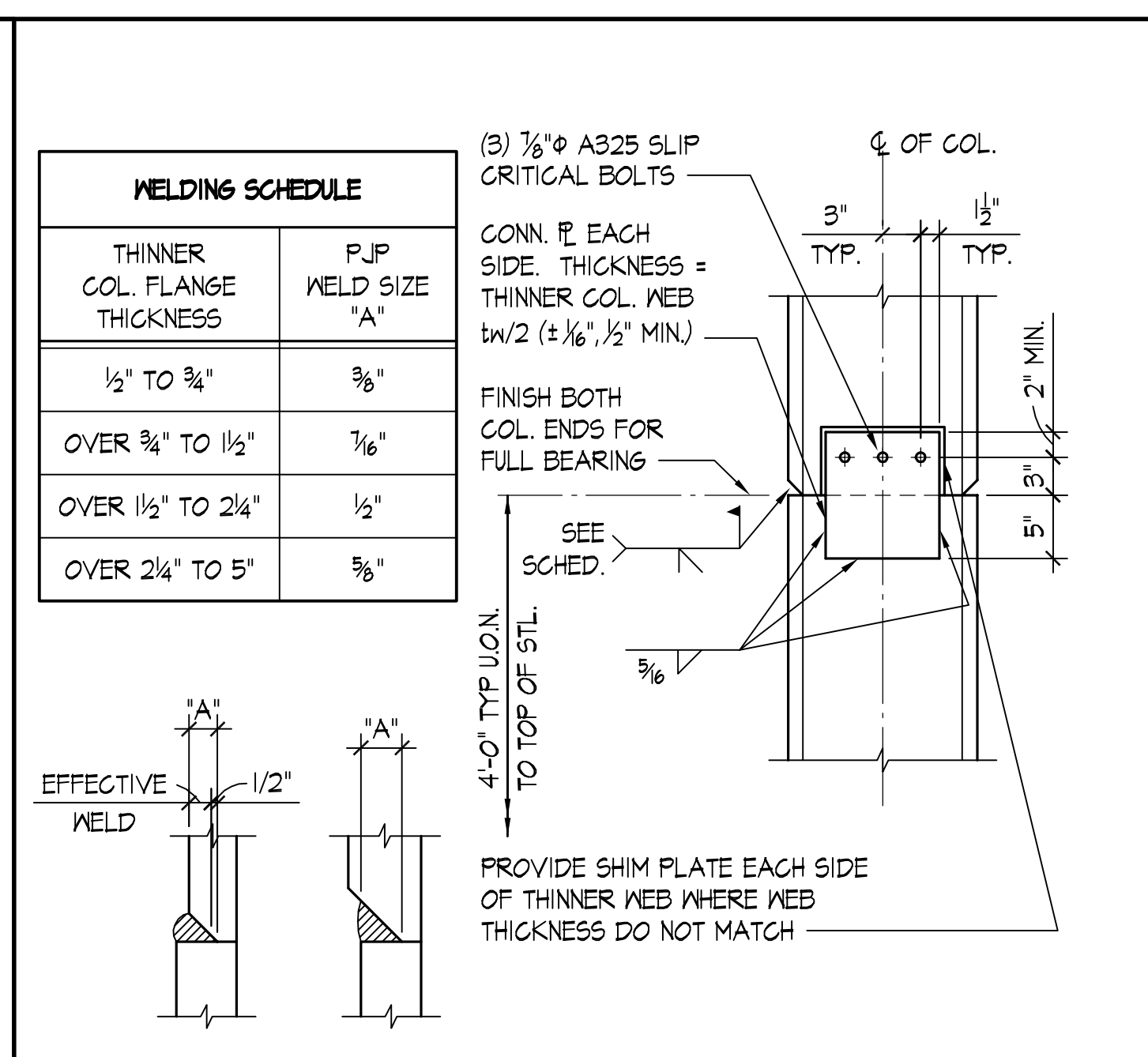
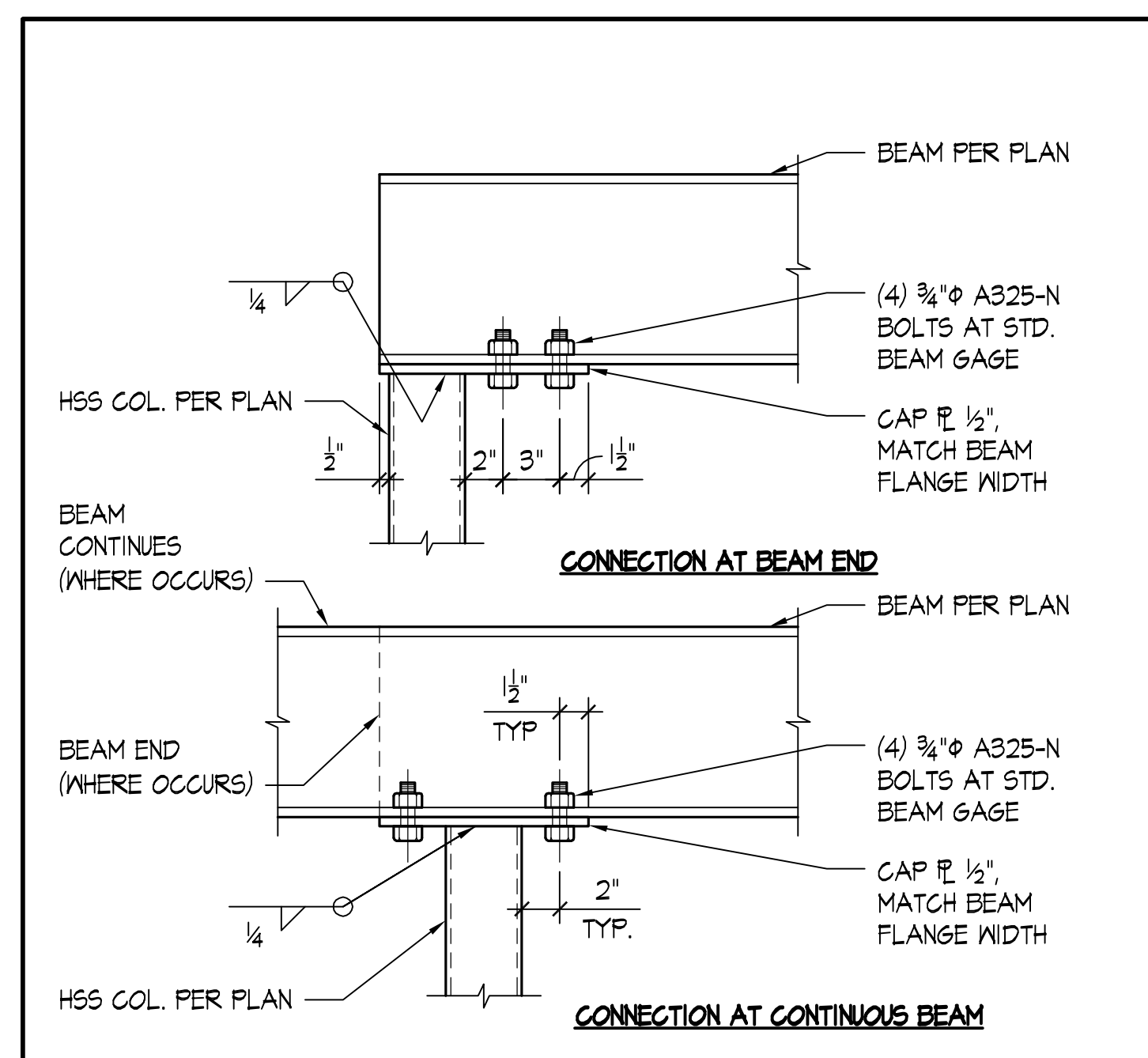
APPROVAL:

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NO.	DESCRIPTION	DATE	BY
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P.M.	SHT		
P.E.	MKS		
DRAWN BY:	TA		
SCALE:	AS SHOWN		
DATE:	6/7/23		
JOB NO.	23127.01		

STEEL DETAILS

SHEET NO.

S5.0

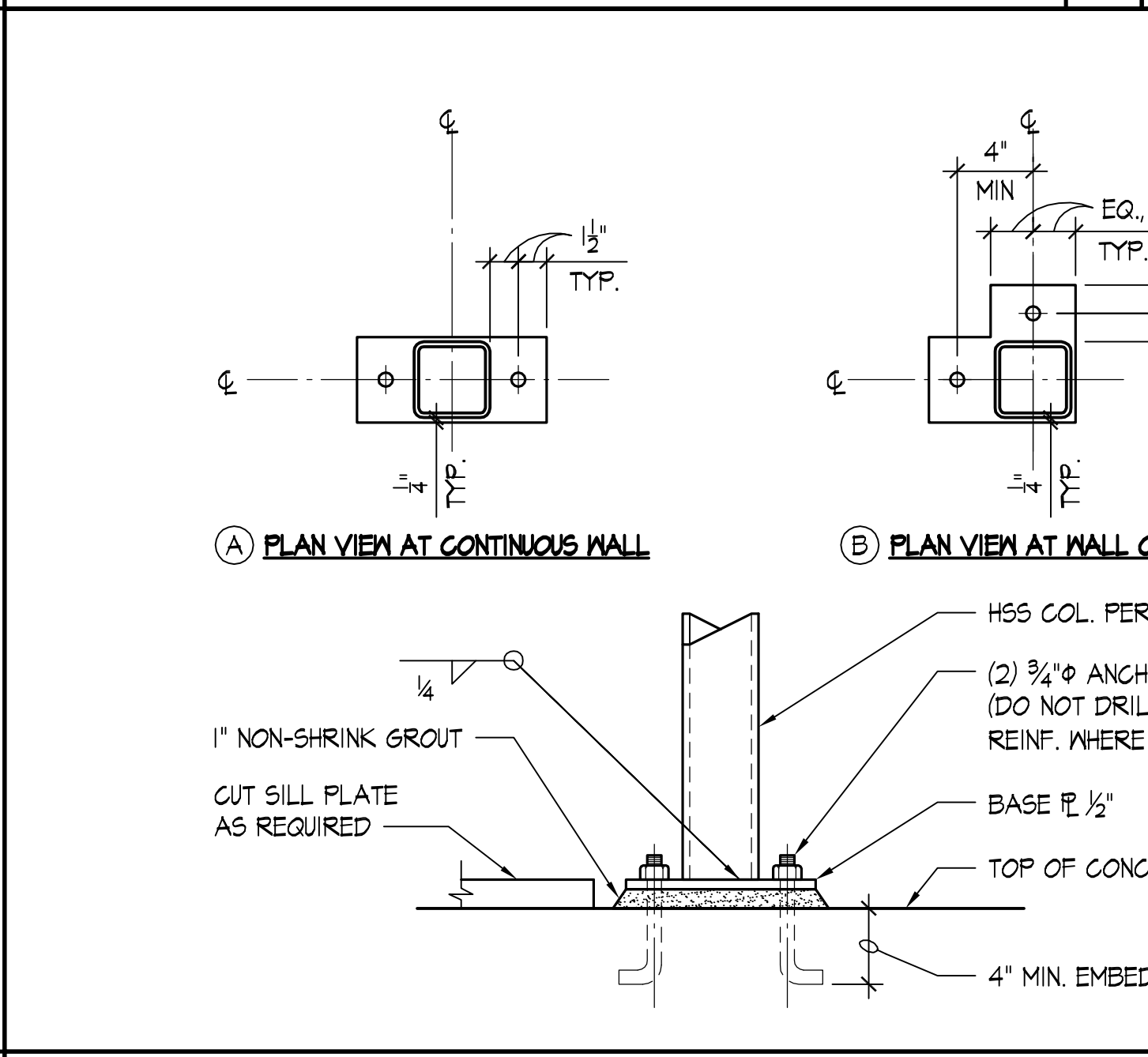
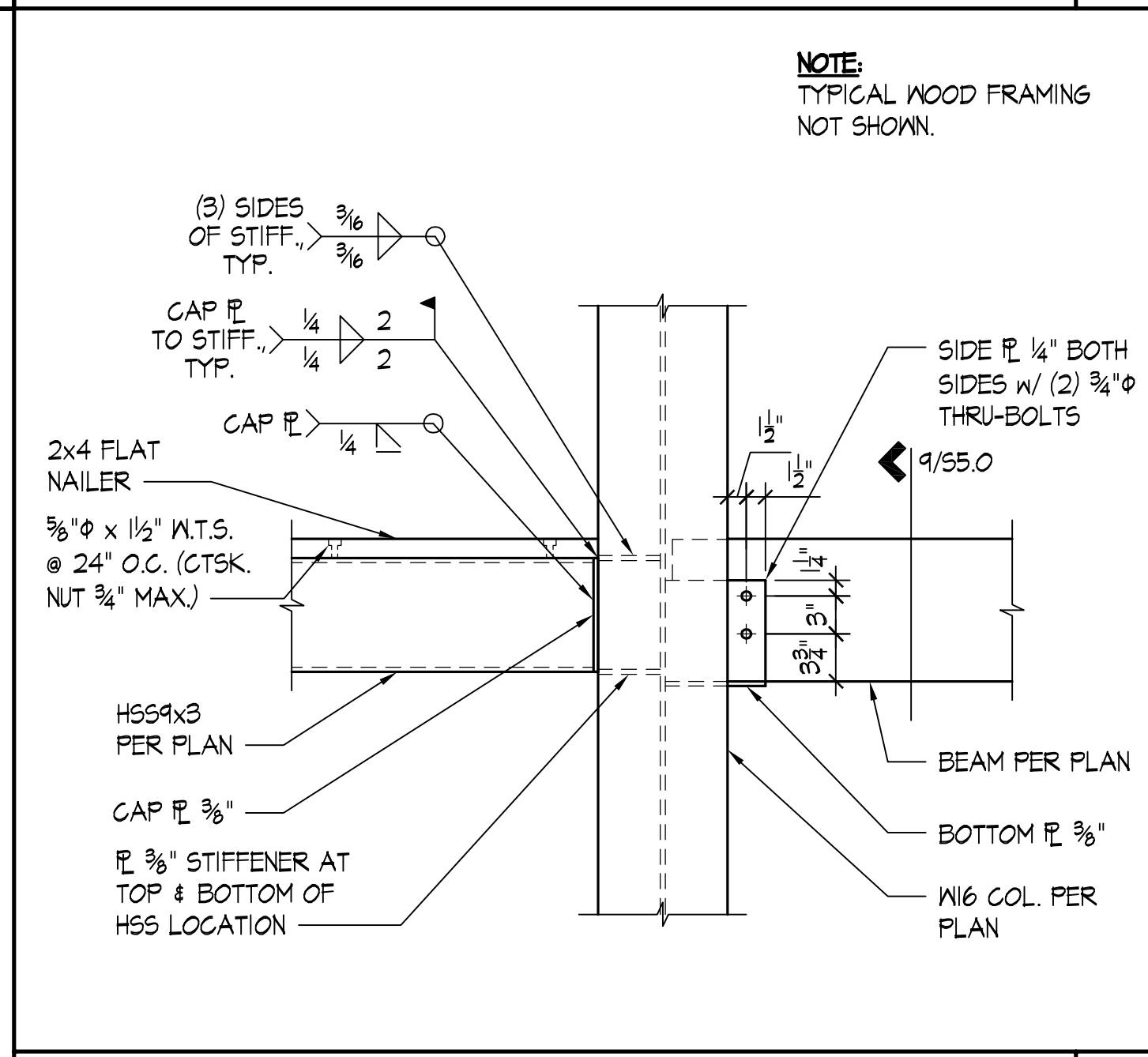
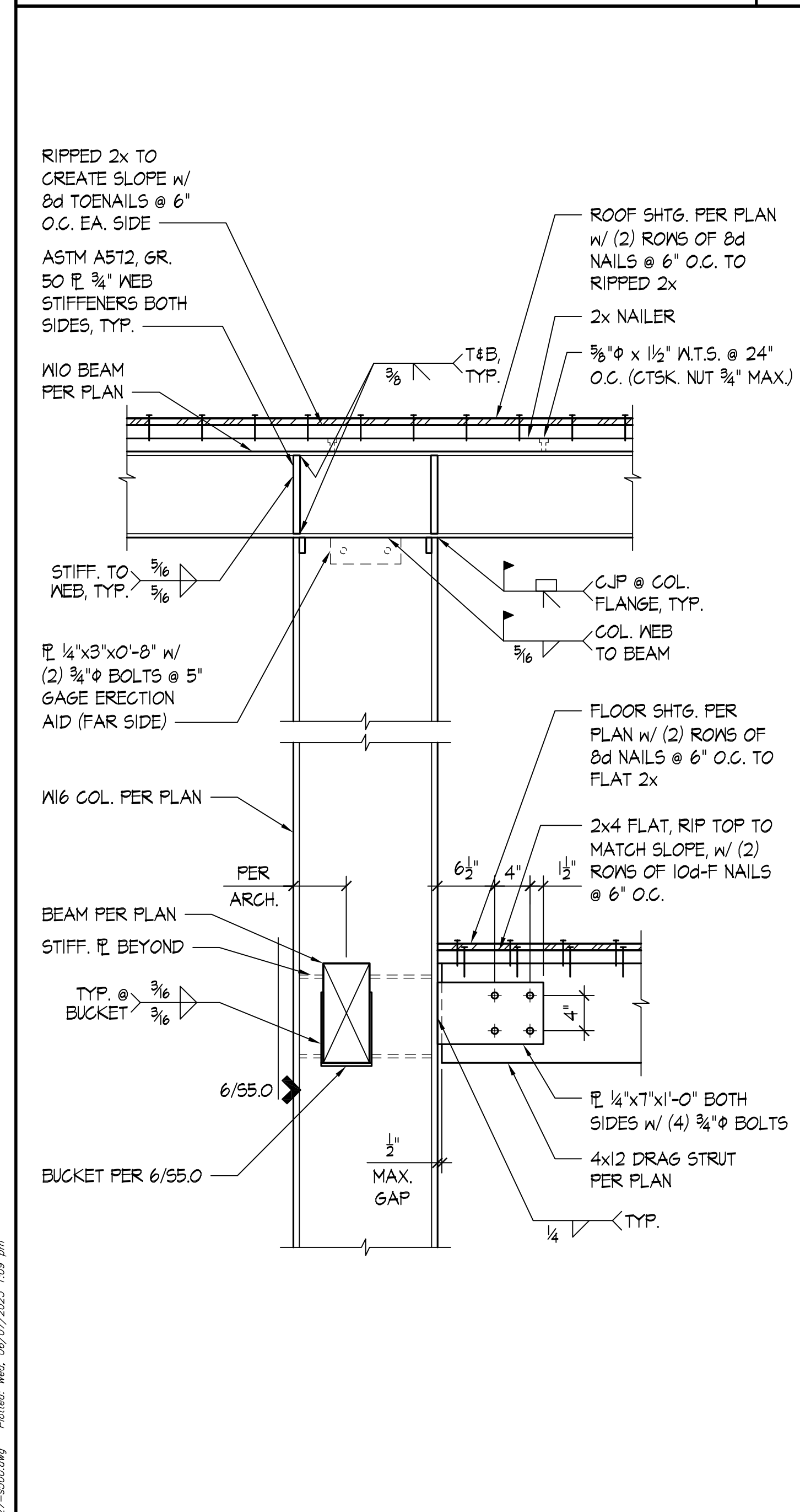


TYPICAL BEAM BEARING ON HSS COLUMN SCALE: NONE

TYPICAL WIDE FLANGE GRAVITY COLUMN SPLICE SCALE: NONE

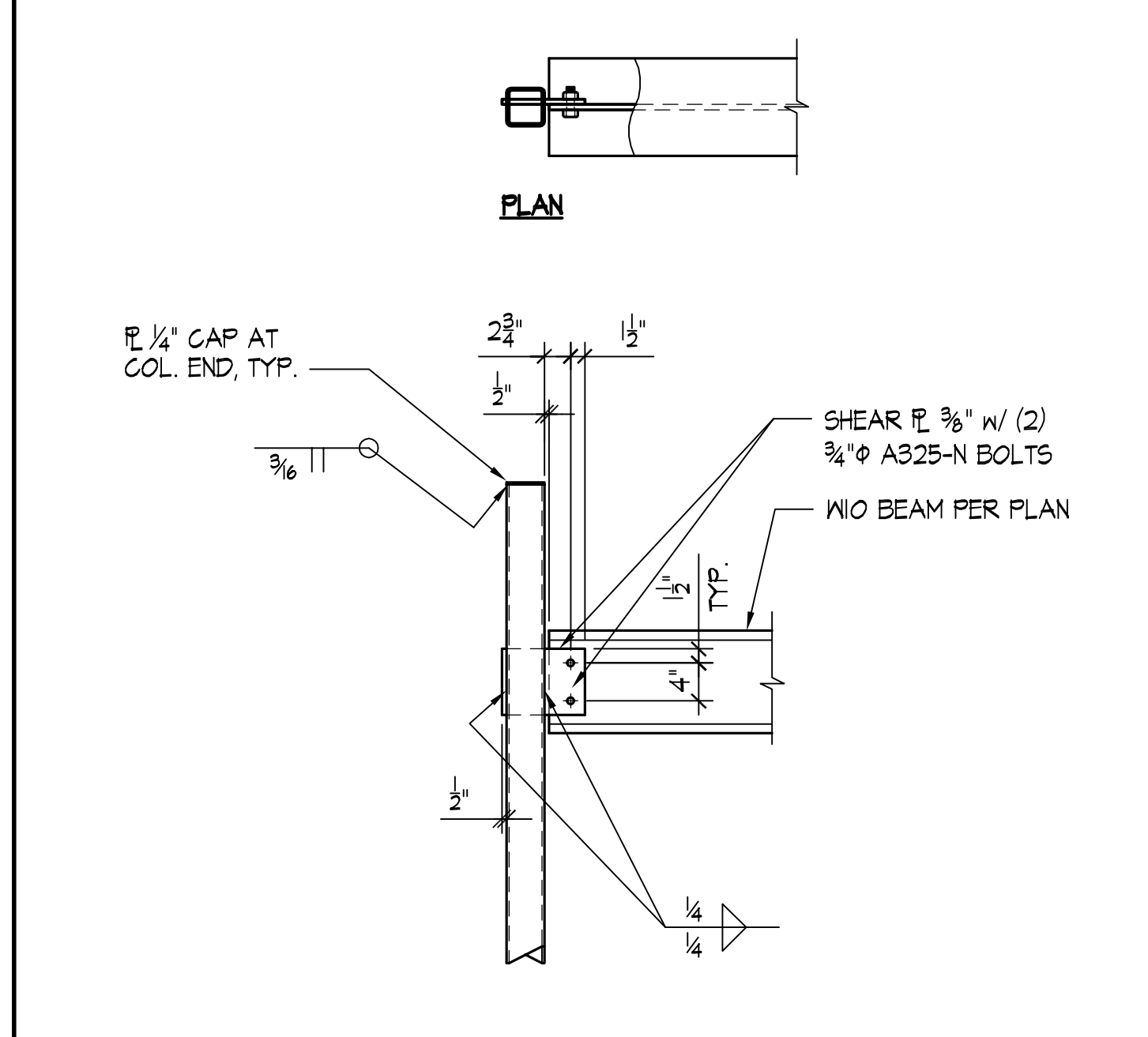
TYPICAL HSS BEAM WELDED CONNECTION SCALE: NONE

HSS BOLTED BEAM CONNECTION SCALE: 1"=1'-0"



BEAM TO COLUMN WEB MOMENT CONNECTION SCALE: 1"=1'-0"

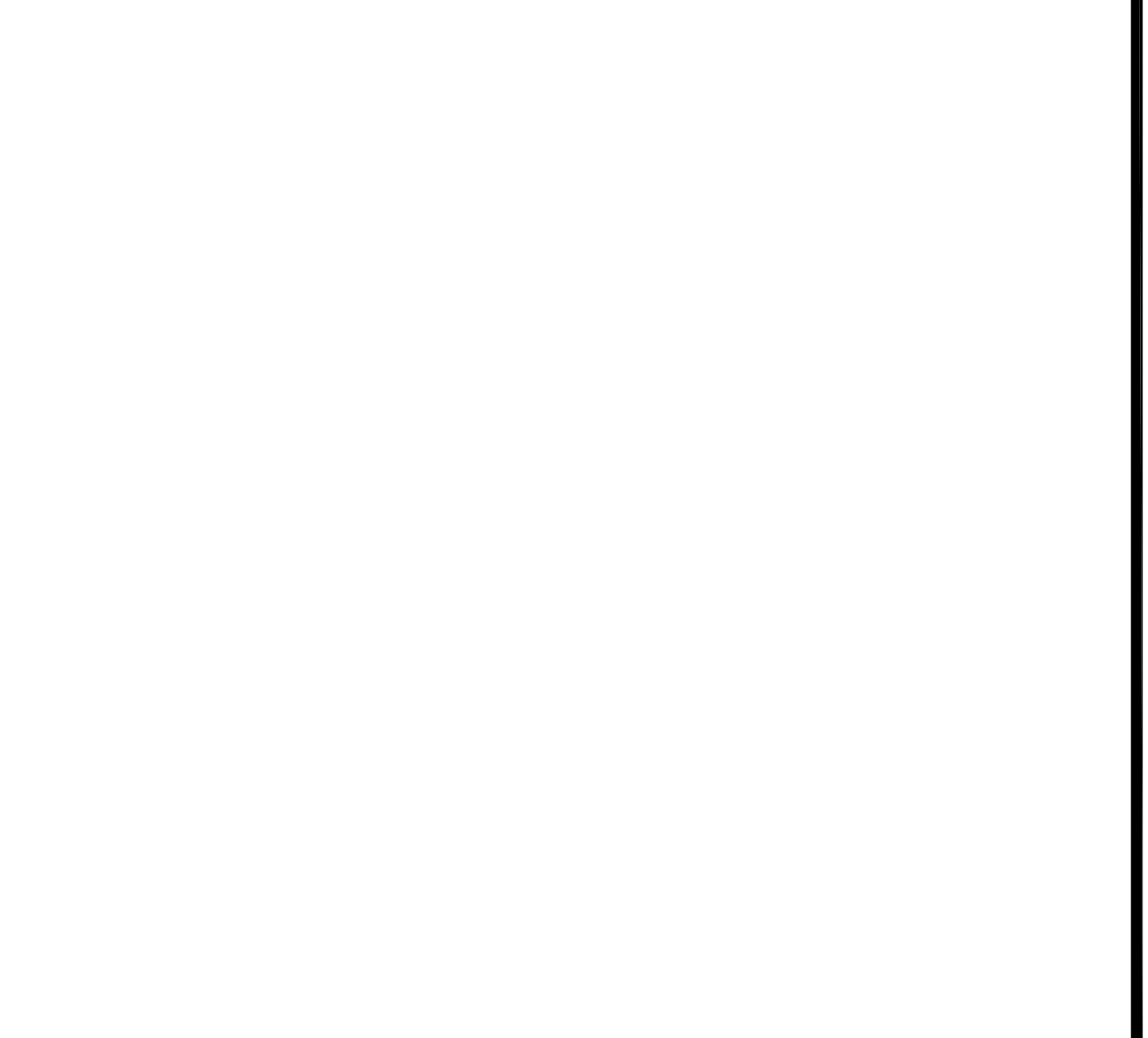
TYPICAL HSS COLUMN BASE PLATES SCALE: NONE



TYPICAL BEAM TO HSS COLUMN SCALE: NONE

DETAIL SCALE: 1"=1'-0"

WIDE FLANGE BEAM TO COLUMN MOMENT CONNECTION SCALE: 1"=1'-0"



DETAIL SCALE: 1"=1'-0"

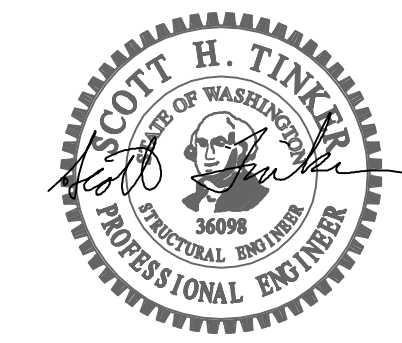
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1511 THIRD AVENUE
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SEAL:



PROJECT:

**HONG AND KAO
RESIDENCE**

5425 W. MERCER WAY
MERCER ISLAND, WA 98040

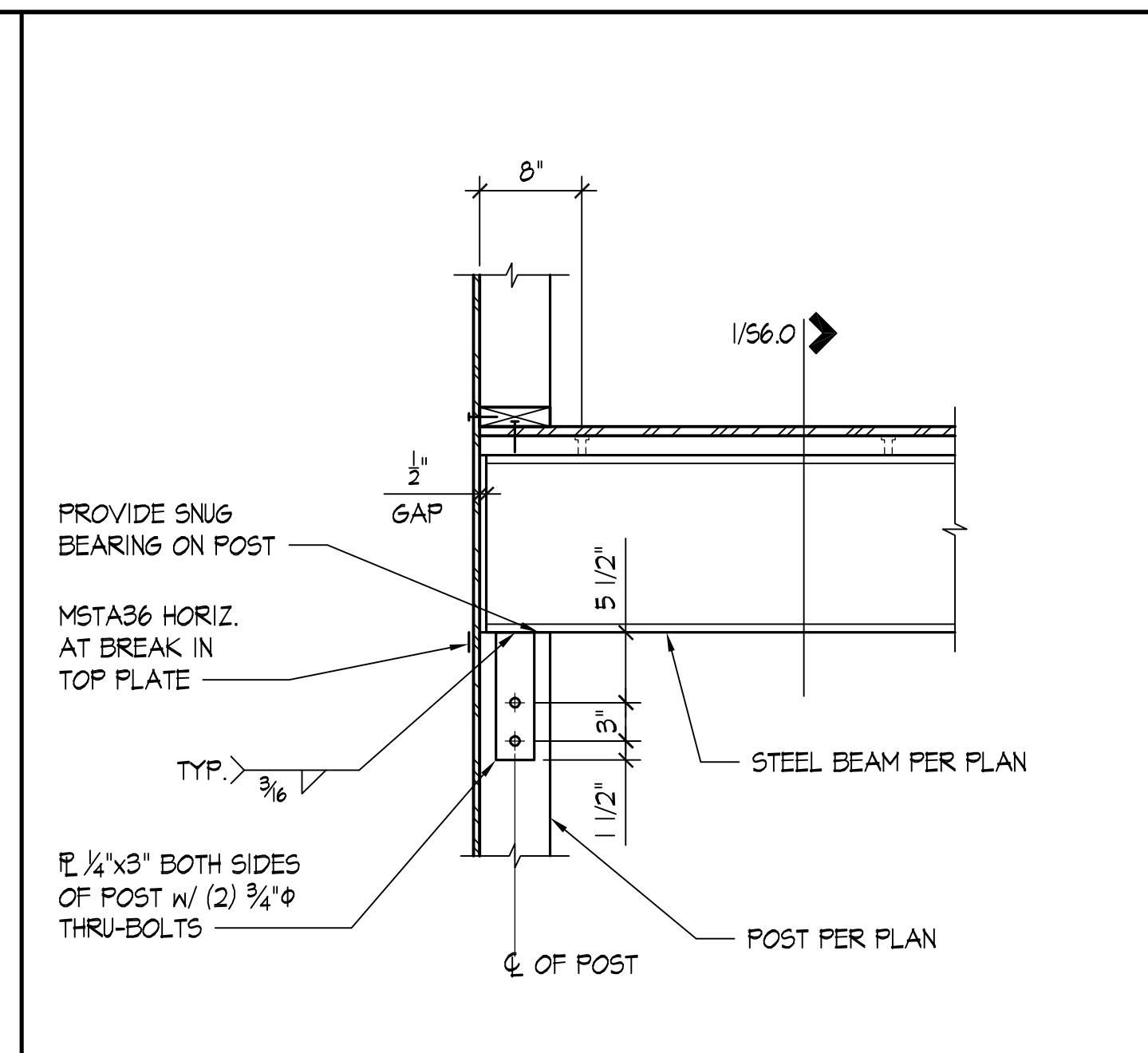
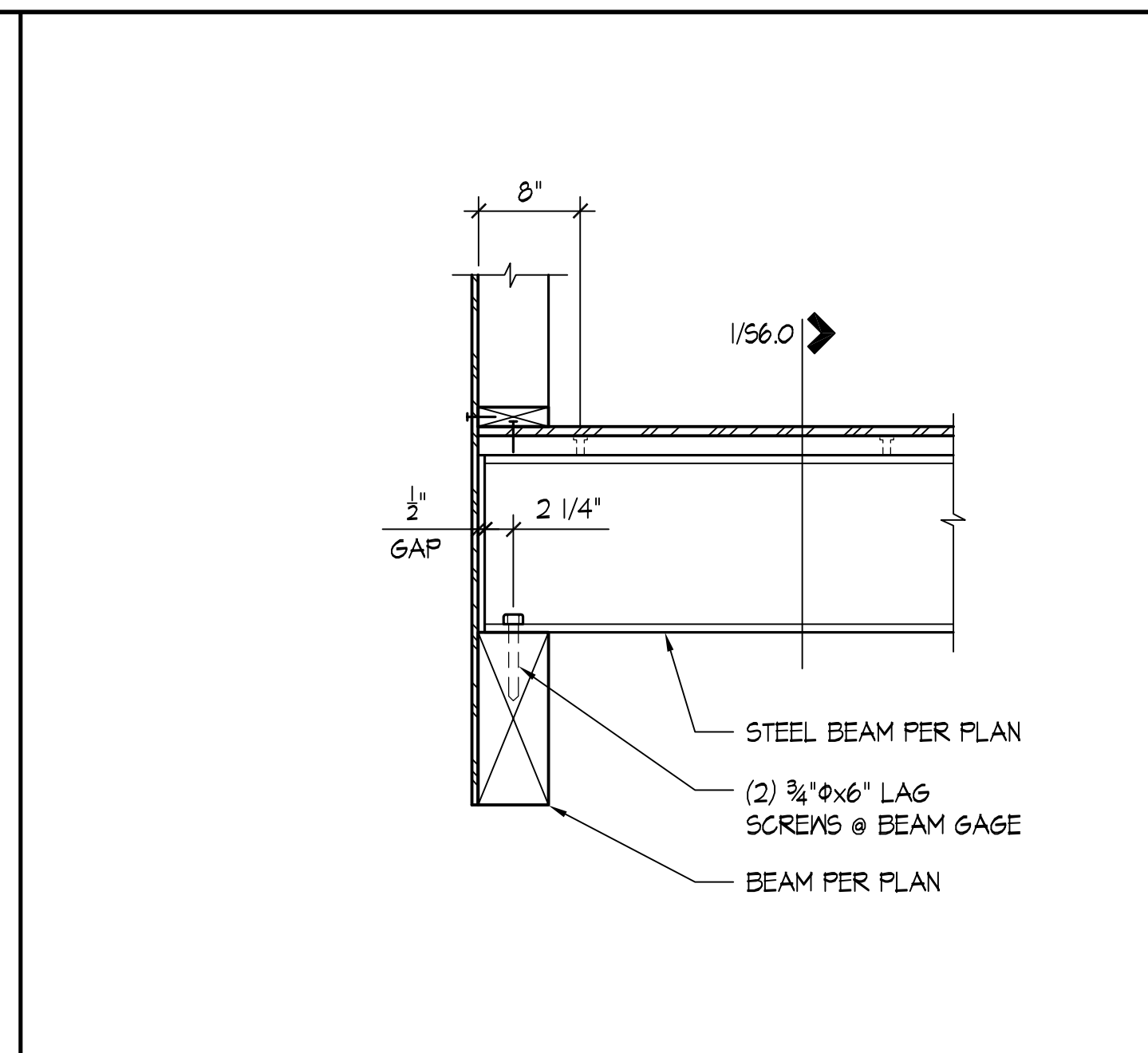
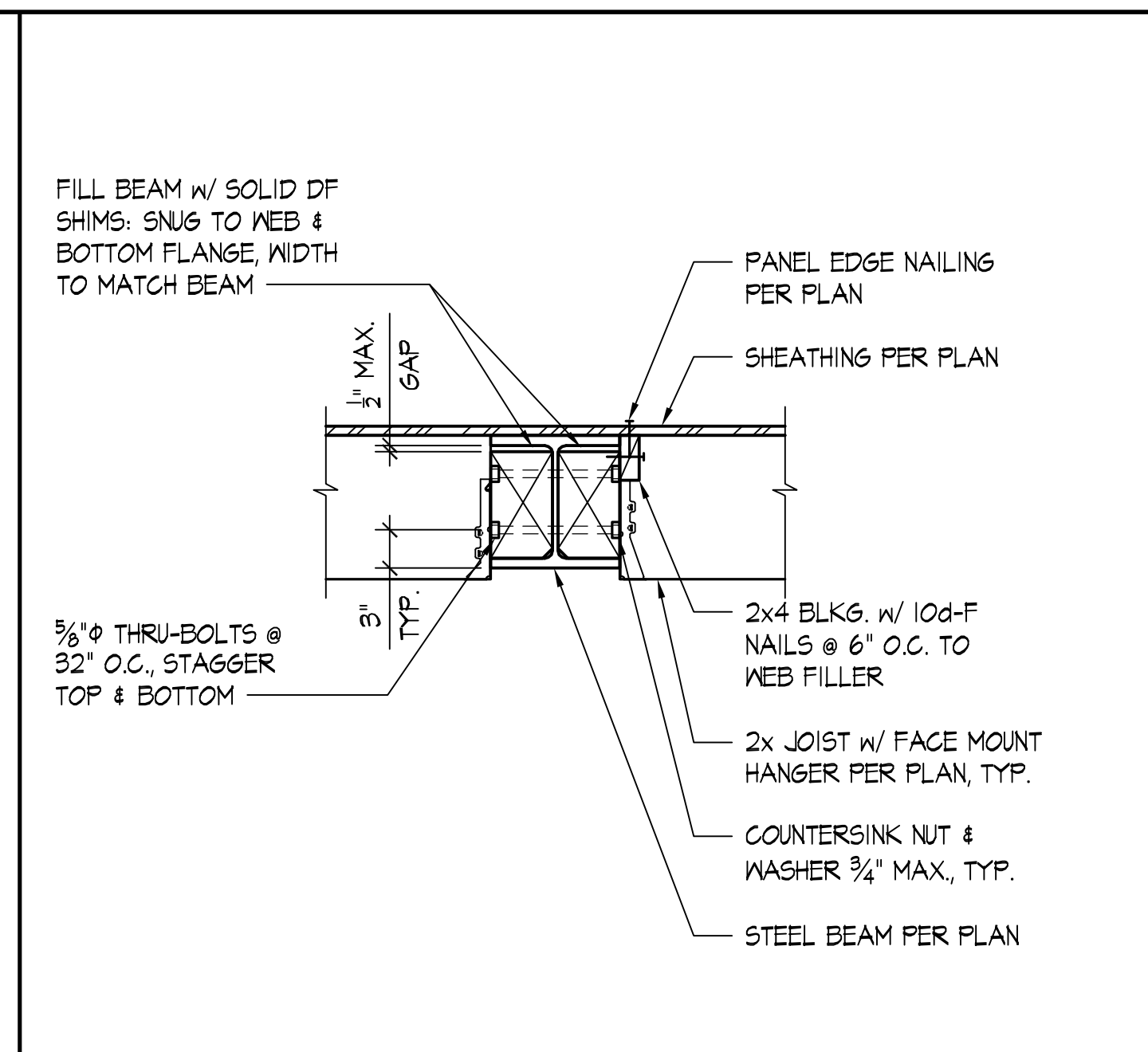
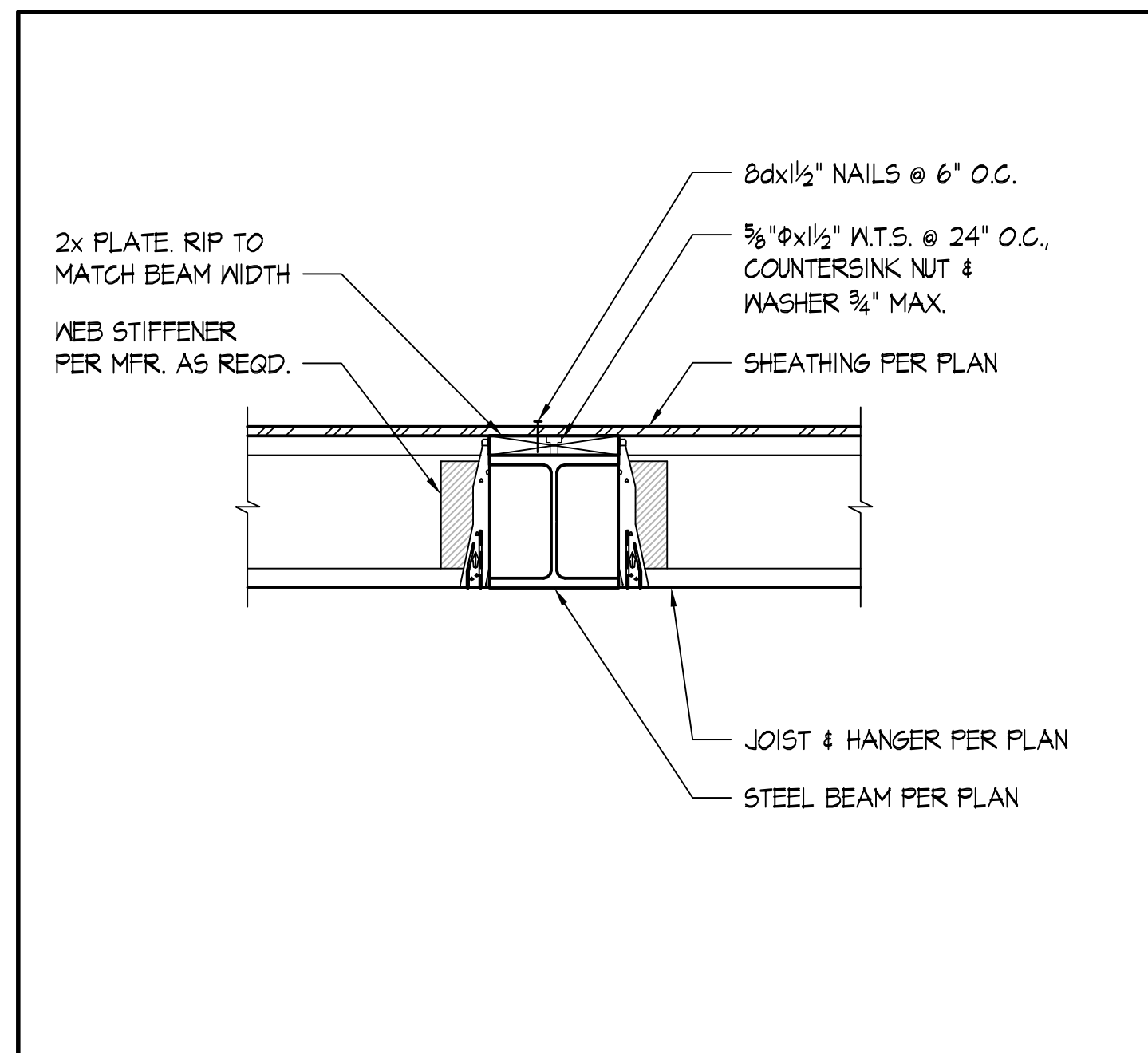
APPROVAL:

PERMIT SET	6/7/23		
NO.	DESCRIPTION	DATE	BY
ISSUES: 0			
P.M.	SHT		
P.E.	MKS		
DRAWN BY:	TA		
SCALE:	AS SHOWN		
DATE:	6/7/23		
JOB NO.	23127.01		
SHEET TITLE:			

**WOOD AND STEEL
DETAILS**

SHEET NO.

S6.0

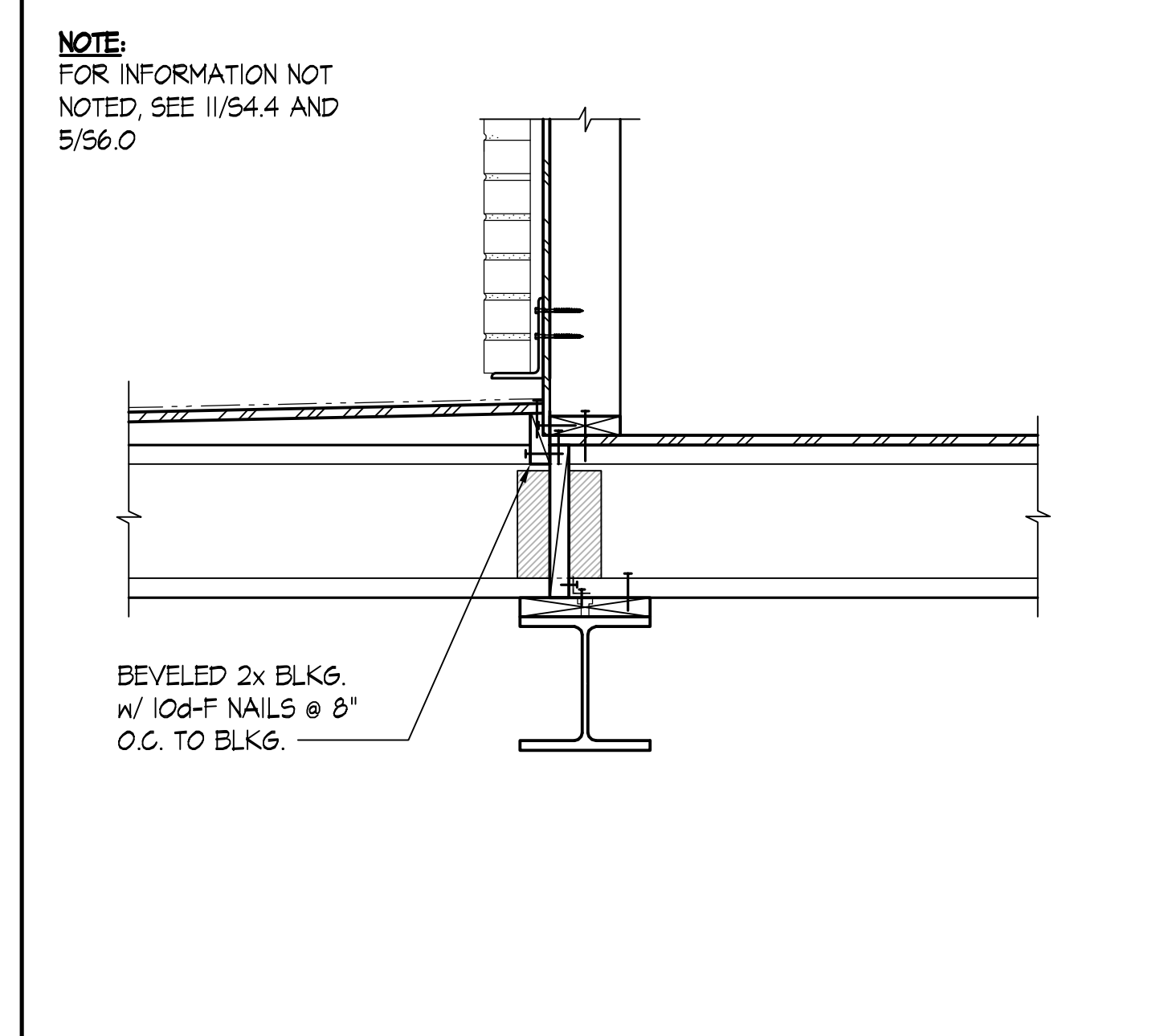
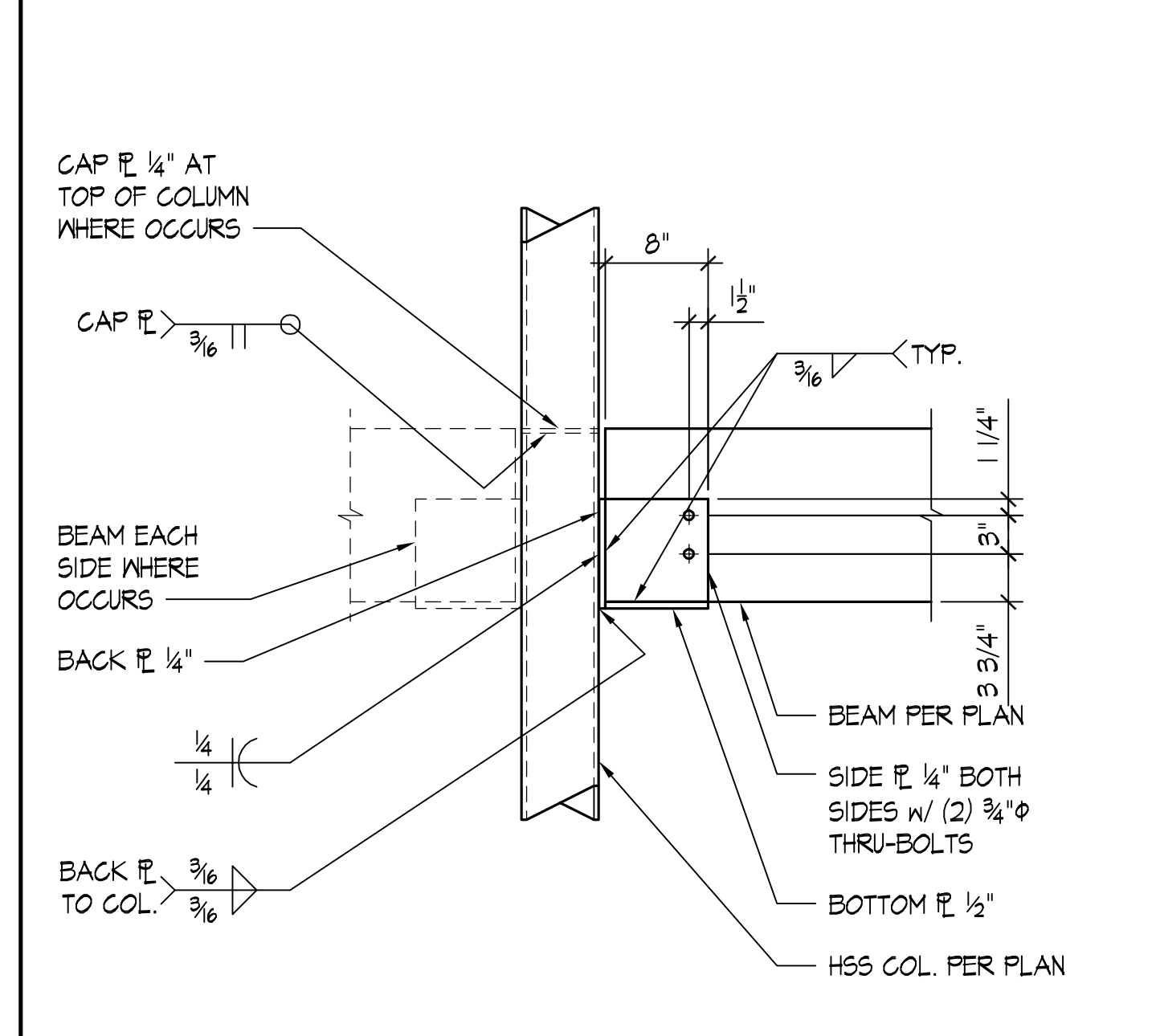
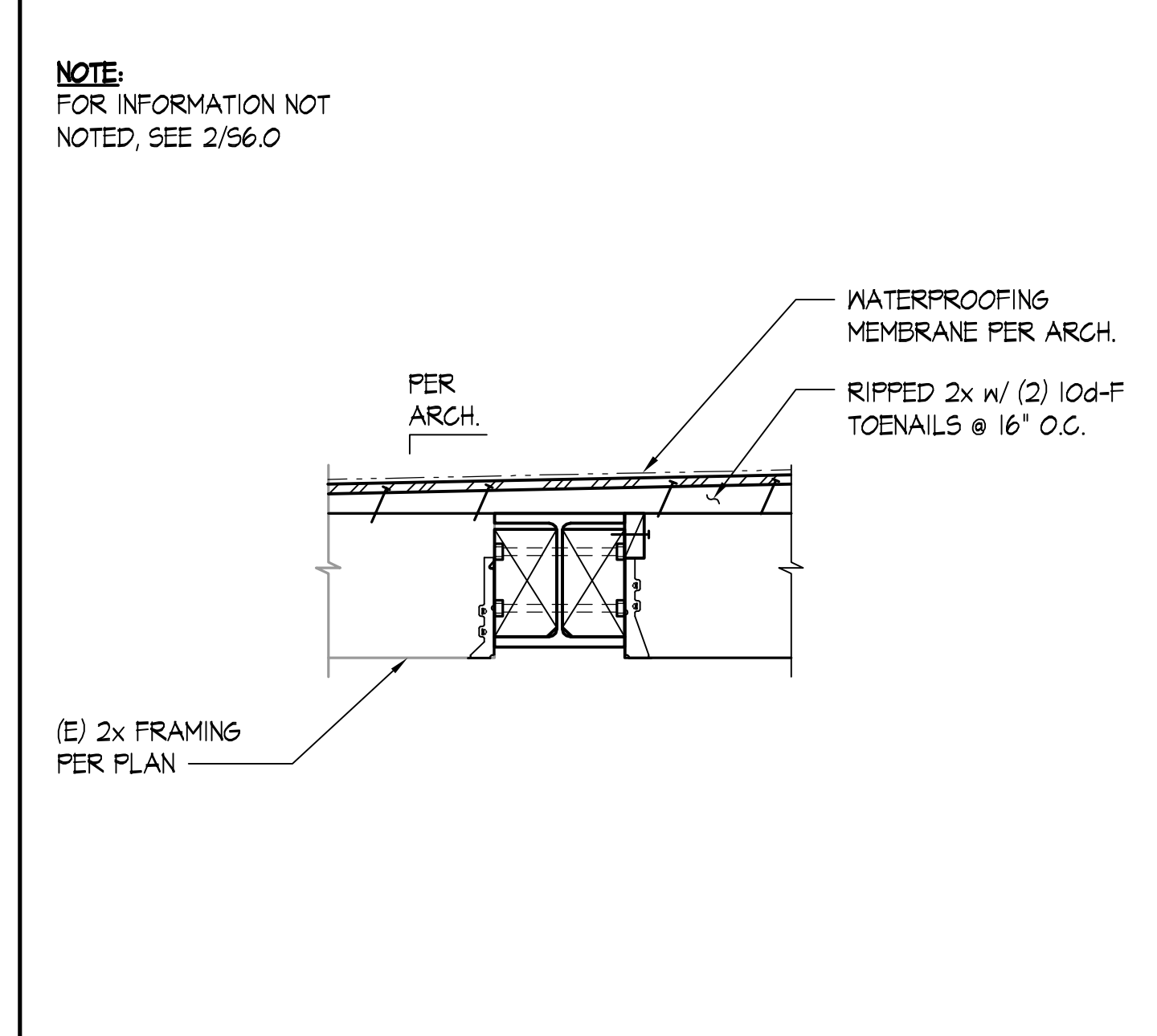
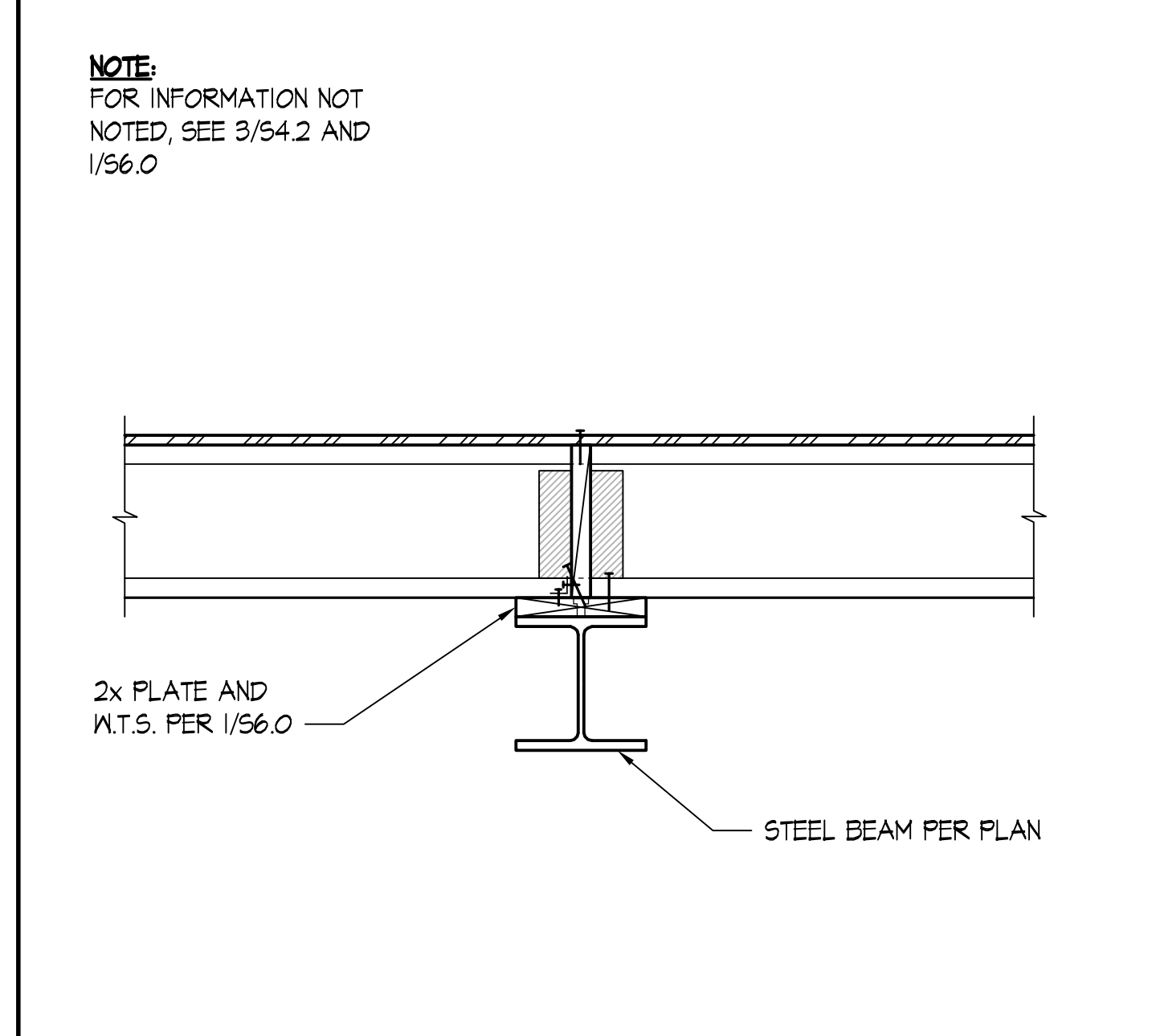


TYPICAL WOOD JOIST TO STEEL BEAM w/ 2x PLATE SCALE: 1"=1'-0"

TYPICAL WOOD JOIST TO STEEL BEAM - FACE MOUNT HANGER SCALE: 1"=1'-0"

TYPICAL WOOD BEAM SUPPORTING STEEL BEAM SCALE: 1"=1'-0"

TYPICAL WOOD POST SUPPORTING STEEL BEAM SCALE: 1"=1'-0"

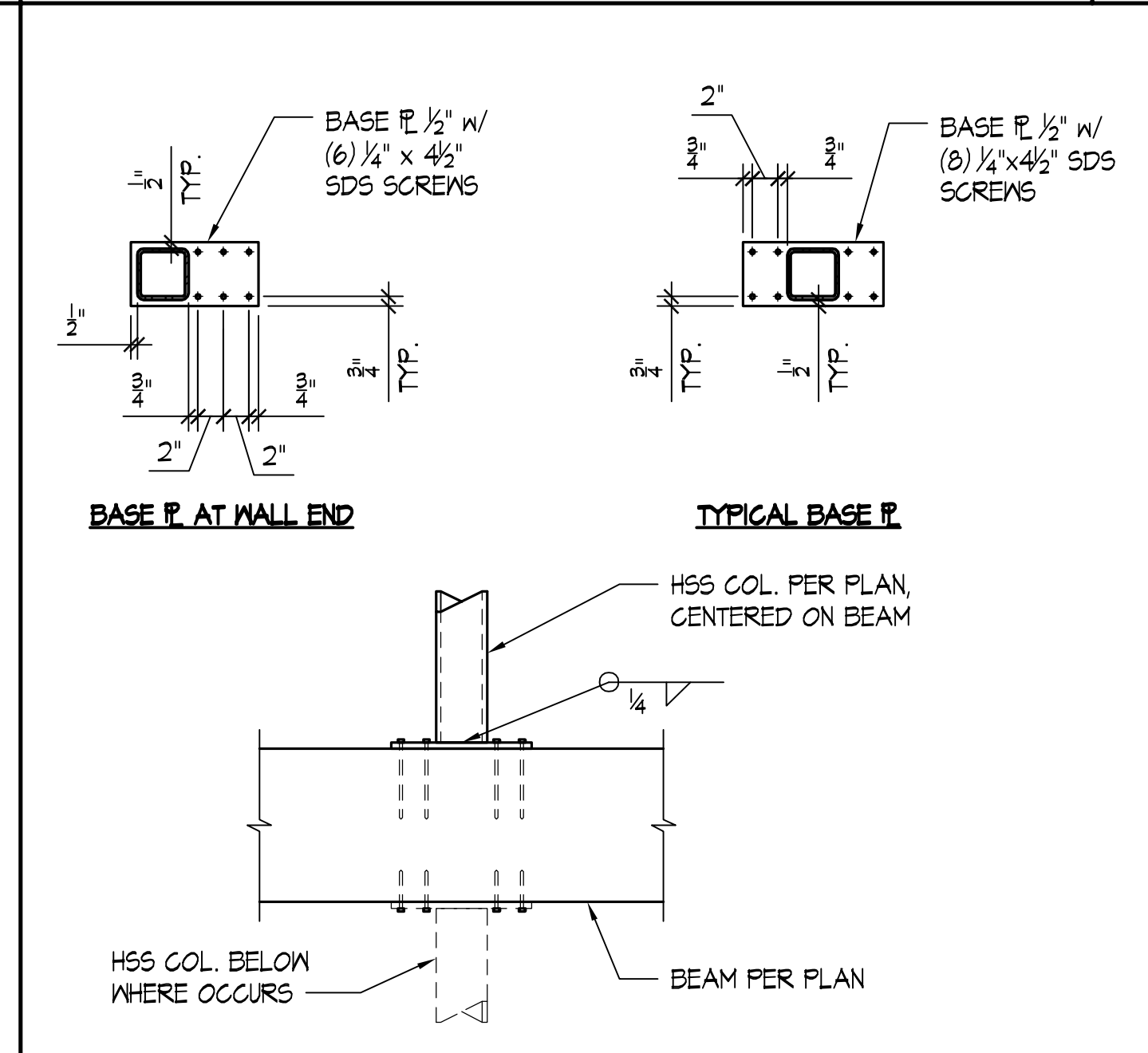
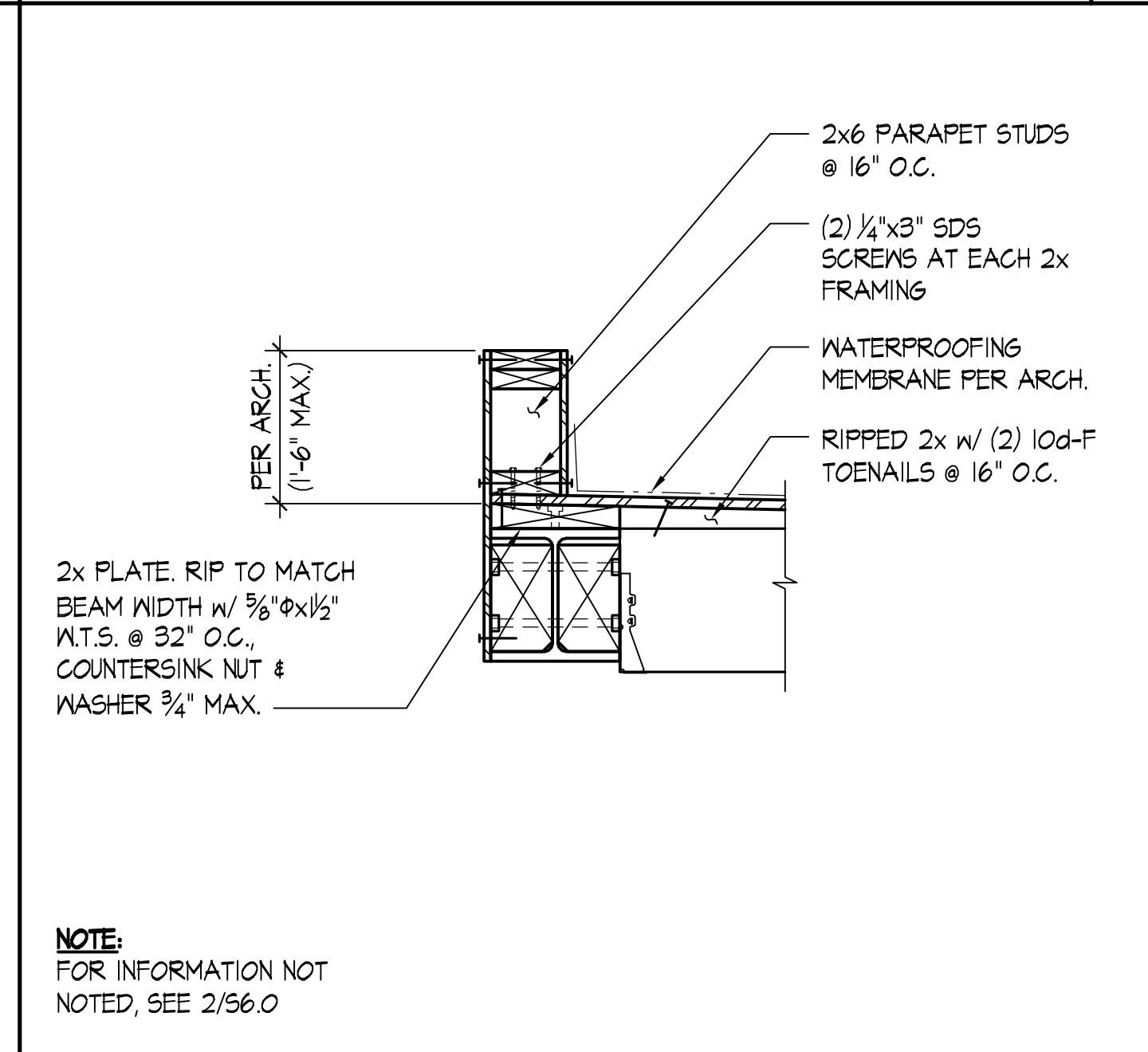
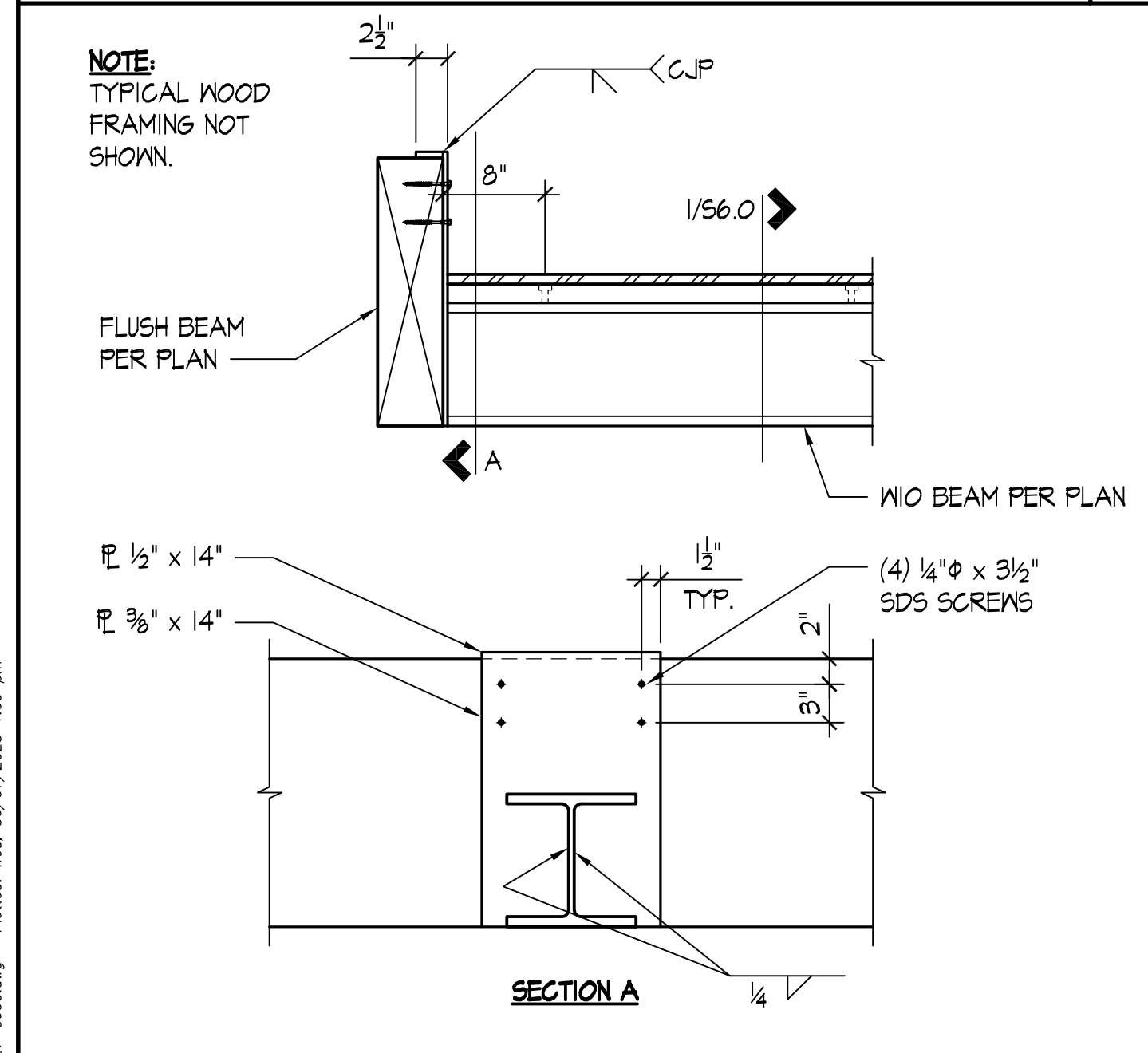


WOOD JOIST TO DROPPED STEEL BEAM SCALE: 1"=1'-0"

WOOD JOIST TO STEEL BEAM AT FLAT ROOF SCALE: 1"=1'-0"

TYPICAL WOOD BEAM BUCKET AT HSS COLUMN SCALE: 1"=1'-0"

EXTERIOR WALL TO STEEL BEAM AT FLAT ROOF - FLOOR JOIST PERPENDICULAR SCALE: 1"=1'-0"



TYPICAL FLUSH BEAM SUPPORTING STEEL BEAM SCALE: 1"=1'-0"

PARAPET AT STEEL BEAM SCALE: 1"=1'-0"

HSS COLUMN AT GL BEAM SCALE: NONE

DETAIL SCALE: 1"=1'-0"