CITY OF MERCER ISLAND

Community Planning & Development 9611 SE 36TH STREET | MERCER ISLAND, WA 98040





INSPECTION REQUESTS:

online	<i>:</i>
	MyBuildingPermit.com
-	

PHONE: 206.275.7605 www.mercerisland.gov	· V		mybultumgreffilt.com
MePlan	ASHIN	CI	oicemail: 206) 275-7730
NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT T	O PUBLIC	DISCLOSURE AS REQUIRED	BY RCW 42.56
CONTACT INFORMATION:			
Applicant is to complete the following information.		nulicant Contact information no	
Applicant Contact information <i>prior</i> to permit issuance:	A	pplicant Contact information pos	or permit issuance:
Name:	N	ame:	
Address:	A	ddress:	
Phone:	P	hone:	
Email:	EI	mail:	
REQUIRED SPECIAL INSPECTIONS / STRUIT It is the Engineer of Record's responsibility to specify all required the owner is responsible for hiring an approved private Special Inspectors (except Geotechnical) must be WABO certified. When Special Inspection or Structural Observation is required, Inspection. Note: Inspection by the City Inspector is required in below. Do not cover or conceal any work prior to the City inspector.	ired Special ial Inspecto the report s in addition	I Inspections or Structural Observ or for the checked inspections not shall be submitted to the City Build	ed below. All Special
STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EC	•		
Engineer of Record:(· · ·		
General Conformance to Construction Documents		Other:	
SOILS / GEOTECHNICAL: Special Inspector:(Company		Phone:
Erosion control measures Shoring installation and monitoring Observe and monitor excavation Verification of soil bearing Other: REINFORCED CONCRETE:		Subsurface drainage placement Verify fill material and compaction	on
Special Inspector:(Company:_		Phone:
Concrete strength			
Reinforcing steel and concrete placementShotcrete placement		Prestressed / Precast construction Other:	on
Other:		Other:	
STRUCTURAL STEEL: (AISC 360, Chapter N)			
Special Inspector:(
·			
Other:		0.1	
STRUCTURAL MASONRY:	_		
		Glass unit masonry installation	
Mortar strengthMasonry unit strength		Wall panel and veneer installation	
☐ Other: ☐ Other:		Other:	
	Ы	Other.	
WOOD: Special Inspector /			
☐ Lateral resisting system construction☐ Other:		High strength diaphragm constru Other:	uction
		Other.	
OTHER SPECIAL INSPECTIONS: Special Inspector:(Company:		Phone:
Epoxy grout installations		Stucco installation	
Expansion anchor installations Other post installed anchors		Infiltration System Exterior Insulation Finish System	/FIFC) installation
Other post installed anchorsAlternative construction methods:		Exterior Insulation Finish System Other:	(EIFS) INSTAILATION
Alternative construction materials:		Other:	
DEFERRED SUBMITTALS: The Applicant is required to select all deferred submittals / sh fabrication / construction.	nop drawing	gs for submittal to the City for rev	riew and approval prior to item
Connector plate wood trusses		Post tension layout	
Metal joist / metal trussesPremanufactured structures (stairs, etc.)	[]	Exterior cladding Window wall / curtain wall const	truction
Precast concrete elements		Other:	
Other:		Other:	
Indicate where the following information is located in the dra Prescriptive Compliance (RECPC) Form into the drawing set.		Alternatively, incorporate or include	de the Residential Energy Code
Sheet:			
Building envelope: wsec Table 402.1.1	🗹	Air Leakage Testing. IRC Section R402.4.1.	
(include U-factors, insulation and moisture control) Whole house ventilation: IRC Section M1507 WA Amended		Provide air leakage test repo does not to exceed 5 air cha	
(include ventilation option and duct sizing if applicable)	— <u> </u>	Duct Leakage Testing. WSEC R403.2.2	וופכי אבו ווטעו.
Energy Credit Information: wsec Table 406.2		Postconstruction Test. WSEC R403.2.2.1	
(include specific, written requirements) RECPC Form Information:	lacktriangle	Rough-in Test. WSEC R403.2.2.3	
(if incorporated within drawing set) http://www.mercergov.org/files/2012ResidentialEnergyCalcForm.pdf			

5 C	PROJECT ALERTS: onstruction of the project shall be from <i>approved plans only</i> . No deviation from the approved project plans is allowed without prior
a	
	Refer to "Conditions of Permit Approval" provided at permit issuance for required construction rules and regulations, including: • Site Considerations • Hours of Work • Drainage Requirements • Planning Requirements
	 Construction Vehicle Parking Restrictions Acess Road Requirements Water Service Requirements Temporary site address with minimum 6" high numbers visible from the street must be installed.
	Erosion control measures must be as shown on approved project drawings. All erosion control is to be in place and inspected prior to the start of any site work. A City of Mercer Island Business License is required for all subcontractors. Call (206) 275-7783 for more information.
T	REE PROTECTION REQUIREMENTS:
	 ✓ Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project. ✓ No trees shall be cut without a City of Mercer Island tree permit. ☐ Replacement trees must be a minimum of six feet tall at installation. They must be planted and approved prior to final inspection. ☐ For this project,
	website at http://www.fws.gov/pacific/eagle IRE PROTECTION REQUIREMENTS:
Se	eparate Permits are required for ALL fire protection systems. For more information, see http://www.mercergov.org/Page.asp?NavID=2614 Fire Sprinkler
	☐ NFPA 13D Fire Alarm per NFPA 72
	☐ Plus ☐ Monitored Sprinkler ☐ NFPA 13R Water Flow Alarm
	NFPA 13R Water Flow Alarm
	Approved Fire Code Alternatives:
	□ FCA1 □ FCA3
	FCA2
V	VATER SUPPLY REQUIREMENTS:
	 ☐ Fire sprinkler design calculations must be provided prior to determining water supply system requirements. ☐ Water Supply system upgrade required ☐ City Installation.
	Applicant Installation. Required Service Line Size: (water main to meter) Required Supply Line Size: Required Meter Size: Required Meter Size: Required Meter Size:
	Pressure reducing valve required if pressure exceeds 80 psi. Reduced pressure backflow assembly (RPBA) required for all lots with waterfront or non-city water supply (private wells or lake irrigation). Additional water supply requirements:
Б	RAINAGE REQUIREMENTS:
	☐ On site detention system required ☐ Direct discharge into the lake
	☐ On site infiltration system required. ☐ No Storm Water permit required. ☐
	As-built Utility drawings required Connection to public storm drainage conveyance system req'd. Full Size drawings required. Other:
S	IDE SEWER REQUIREMENTS:
	Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties.
	Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties. Video tape of existing sewer required (see standard details) New connection. Connect to existing. Disconnect permit required. Reconnect permit required. Other: Note: When side sewer is to be connected to the lake line you will need to schedule three (3) days in advance with the City of
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Secretary Secr				
Filipsy 5 Storing / Stutteren. It applicable, provide sorrey letter		separate ROW permit required	_	
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Water Suppley		Catch basins including	ER	
Water as-built drawings	*			
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* Sprinkler		·		
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FCA1:		• Access Road • Fire Extinguishing System		
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pplicable. Not all review disciplines may be required to review the documents.			JVE 4E E	
☐ Impact fees apply and are due <i>prior</i> to Final Inspection or on	☐ Impact fees app	oly and are due <i>prior</i> to Final Inspection or on	PRC V TI	

GENERAL NOTES

- THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY BE REPRODUCED ONLY WITH THE WRITTEN PERMISSION OF THE ARCHITECT. AUTHORIZED REPRODUCTIONS MUST BEAR THE NAME OF THE ARCHITECT. COPYRIGHT 2023 BY CHESMORE/BUCK ARCHITECTURE. THESE DRAWINGS ARE FULLY PROTECTED BY FEDERAL AND STATE COPYRIGHT LAWS. ANY INFRINGEMENT _WILL BE VIGOROUSLY PROSECUTED.
- ALL CONSTRUCTION SHALL CONFORM TO THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AND BE IN ACCORDANCE WITH THE WASHINGTON STATE LAWS AND REGULATIONS AND VARIOUS CODES IMPOSED BY LOCAL AUTHORITIES. INCLUDING WASHINGTON AMMENDMENTS TO IRC, AND MERCER ISLAND CITY CODE.

DRAWING ONLY WILL NOT SATISFY THIS REQUIREMENT.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND STRUCTURAL MEMBER SIZES PRIOR TO CONSTRUCTION. CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES IN THE DRAWINGS OR FROM THE CODES. CONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHTECT AND STRUCTURAL \ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON THE

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM HIS WORK.

ALL STUCTURAL SYSTEMS SUCH AS WOOD TRUSSES WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT IF UNUSUAL, UNFORESEEABLE, OR UNEXPECTED SUBSURFACE CONDITIONS ARE ENCOUNTERED.

BECAUSE THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, THE CONTRACTOR SHALL, BEFORE STARTING EACH PORTION OF THE WORK, CAREFULLY STUDY AND COMPARE THE VARIOUS CONTRACT DOCUMENT RELATIVE TO THAT PORTION OF THE WORK, AS WELL AS THE INFORMATION PROVIDED BY THE OWNER, SHALL TAKE FIELD MEASUREMENTS OF ANY EXISTING CONDITIONS RELATED TO THAT PORTION OF THE WORK AND SHALL OBSERVE ANY CONDITIONS AT THE SITE AFFECTING IT. THESE OBLIGATIONS ARE FOR THE PURPOSE OF FACILITATING COORDINATION AND CONSTRUCTION BY THE CONTRACTOR. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES, OR OMMISSIONS DISCOVERED BY OR MADE KNOWN TO THE CONTRACTOR AS A REQUEST FOR INFORMATION IN SUCH FORM AS THE ARCHITECT MAY REQUIRE. THE CONTRACTOR'S REVIEW IS MADE

IN THE CONTRACTOR'S CAPACITY AS A CONTRACTOR AND NOT AS A LICENSED DESIGN PROFESSIONAL.

}26" EXISTING AND FINISH GRADE **EXISTING** RESIDENCE FF=40.18 HOUSE 42.68 GARAGE AVERAGE GRADE

37.34 1194.88 33.5 217.75 474.5 288.3 38.2 275.04 39.8 672.62 42.3 2829.87 342.1 11645.1

elevation axb

34.04 average grade

PROJECT NOTES

PROPOSED ADDITION TO EXISTING RESIDENCE AND NEW ADU/GARAGE

OWNERS STEVE KAO & HUI HONG

21722 CHINOOK ROAD WOODWAY, WA 98020 ZONING

R-15 PROPERTY TAX ACCT#

PROPERTY TAX ACCOUNT NUMBER: 294890-0015

LEGAL DESCRIPTION

GROVELAND PARK ADD VAC 3-4 & S 10 FT OF 2 & SH LDS ADJ & VAC ST ADJ IN BLK 22 & VAC N 40 FT OF 16 THRU 22 & VAC S 50 FT OF 9 THRU 15 & VAC ST ADJ IN BLK 2

LOT COVERAGE

TOTAL LOT COV	OT AREA:	42,797	S.F. NE	T LOT	AREA	39,844	S.F.
	HOUSE W/	1S			5,266	S.F.	
	DADU SHED					1,108 143	
	STRUCTURA				6,517	S.F.	
	SPORT COURT DRIVING SURF				1,950 S. 6,766 S		
		۸L			15,233	S.F.	

HARDSCAPE MAX. ALLOWED 9% OF 42,797 S.F. = 3,852 S.F. STEPPING STONES & ROCKERIES

GROSS FLOOR AREA

40% ALLOWABLE LOT COVERAGE OR 17,119 S.F

BASEMENT	640 S.F.
MAIN FLOOR	3,916 S.F.
UPPER FLOOR	1,908 S.F.
DADU	1,952 S.F.
TOTAL	8,416 S.F.
ALLOWABLE GROSS FLOOR AREA	12,000 S.F.

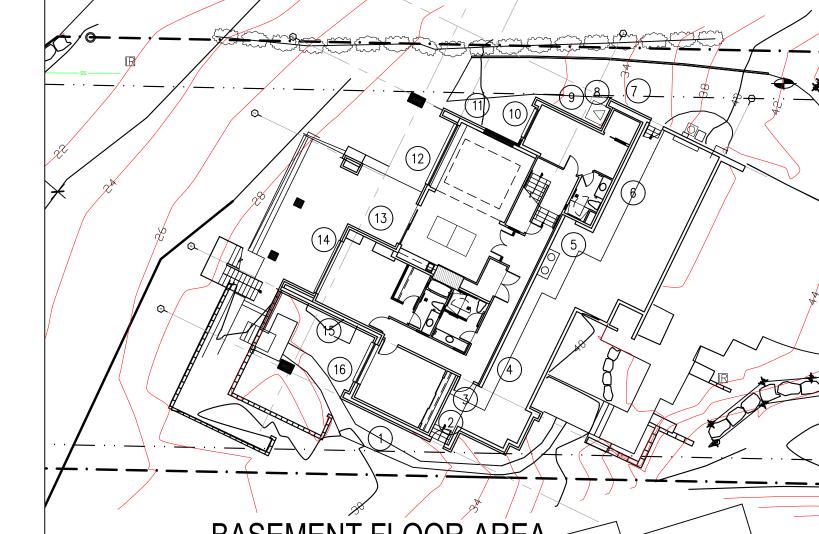
LOT SLOPE CALCULATION

HIGH POINT 80'-LOW POINT 18'=62' DIFFERENCE 62'/438.3' HORIZONTAL DISTANCE*100=12.8% LOT SLOPE

FIRE SPRINKLERS

PROVIDE A NFPA 13D FIRE SPRINKLER SYSTEM THROUGHOUT THE MAIN HOUSE. THIS SYSTEM WILL REQUIRE A SEPARATE FIRE PERMIT.

PROVIDE THE DADU WITH A NFPA 13D MONITORED FIRE ALARM SYSTEM.



SHEET INDEX

FOUNDATION PLAN

S.4 ROOF FRAMING PLAN

S4.0 TYPICAL WOOD DETAILS

S4.1 TYPICAL WOOD DETAILS

S6.0 WOOD AND STEEL DETAILS

S4.2 FLOOR DETAILS

S4.3 DECK DETAILS

S4.4 WOOD DETAILS

S5.0 STEEL DETAILS

S3.0 DETAILS

S3.1 DETAILS

S.2 MAIN FLOOR FRAMING PLAN

S1.0 GENERAL STRUCTURAL NOTES

S1.1 GENERAL STRUCTURAL NOTES

S1.2 GENERAL STRUCTURAL NOTES

S4.5 PARAPET AND FLAT ROOF DETAILS

S.3 UPPER FLOOR/ LOWER ROOF FRAMING PLAN

MERCER ISLAND COVER SHEET 1.0 SITE PLAN 1.1 FLOOR AREA ILLUSTRATION

> 0.0 SITE SURVEY C-1 CSWPP PLAN C-2 DRAINAGE PLAN C-3 DETAILS

G-001 COVER SHEET LOO1 EXISTING VEGEATION WEST L002 EXISTING VEGETATION EAST

L003 SITE IMPACTS WEST LOO4 SITE IMPACTS EAST LOO5 SITE PREP. WEST

L006 SITE PREP. EAST L007 PLANTING PLAN - WEST LOO8 PLANTING PLAN — EAST L009 DETAILS

2.0 LOWER FLOOR DEMOLITION PLAN MAIN FLOOR DEMOLITION PLAN UPPER FLOOR DEMOLITION PLAN

ROOF DEMOLITION PLAN LOWER FLOOR PLAN MAIN FLOOR PLAN 3.2 UPPER FLOOR PLAN

SCHEDULES 4.0 SCHEDULES 4.1 DETAILS 4.2 4.3 DETAILS

4.7 MAIN FLOOR REFLECTED CEILING PLAN 4.8 UPPER FLOOR REFLECTED CEILING PLAN EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS

BUILDING SECTIONS BUILDING SECTIONS 6.2 BUILDING SECTIONS

6.3 WALL SECTIONS INTERIOR ELEVATIONS 7.1 INTERIOR ELEVATIONS

7.2 INTERIOR ELEVATIONS 7.3 INTERIOR ELEVATIONS 7.4 INTERIOR ELEVATIONS 7.5 INTERIOR ELEVATIONS

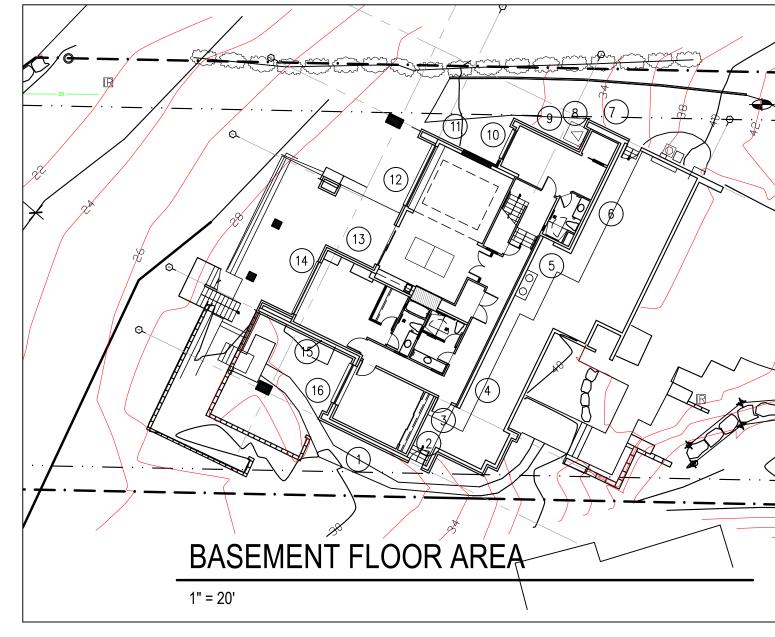
4.6 LOWER FLOOR REFLECTED CEILING PLAN

7.6 INTERIOR ELEVATIONS 7.7 INTERIOR ELEVATIONS 7.8 INTERIOR ELEVATIONS 7.9 INTERIOR ELEVATIONS 8.0 DETAILS 8.1 DETAILS 9.0 SPECIFICATIONS

E.1 LOWER FLOOR ELECTRICAL PLAN MAIN FLOOR ELECTRICAL PLAN E.3 UPPER FLOOR ELECTRICAL PLAN M.1 LOWER FLOOR DUCT CONCEPT

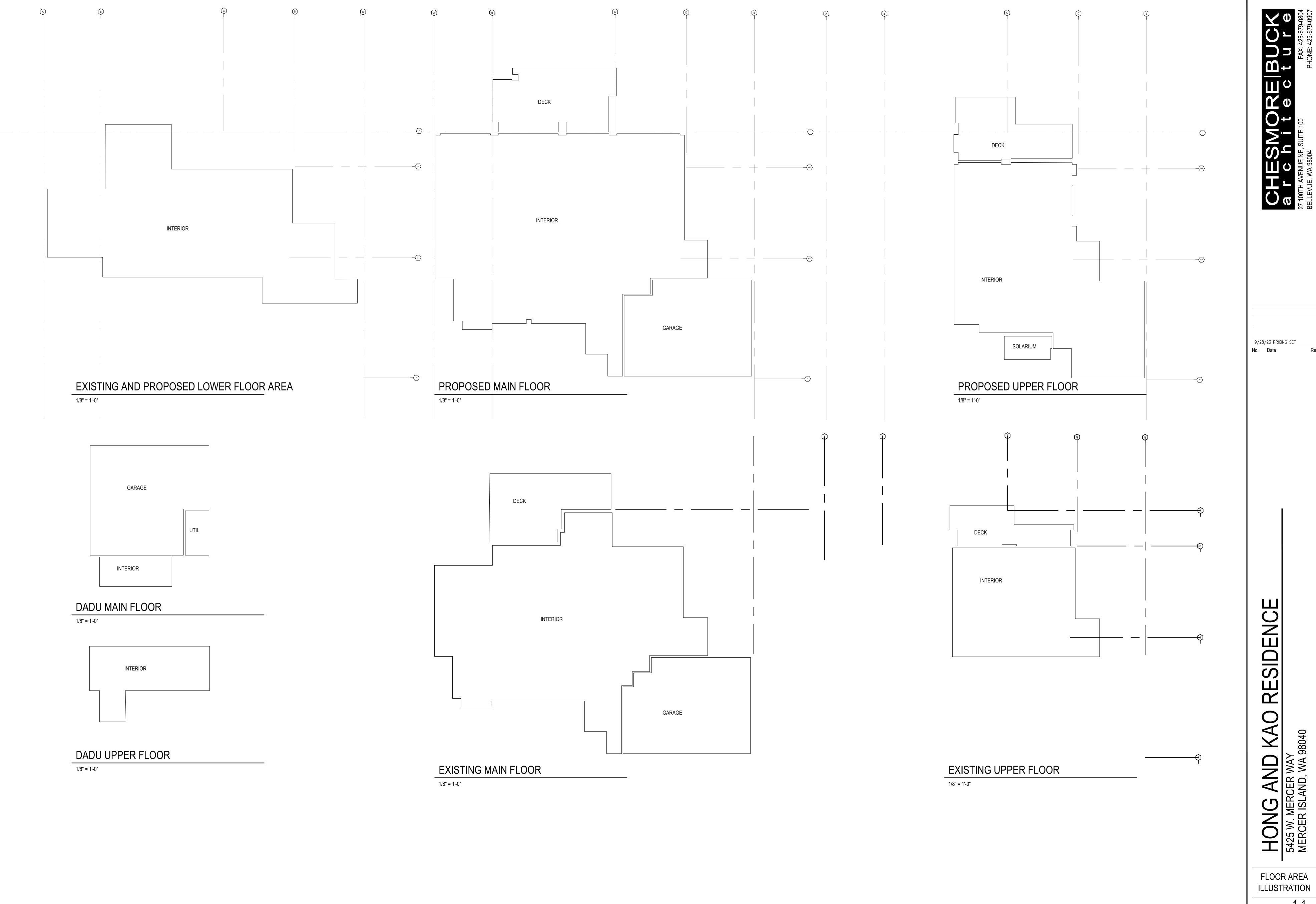
M.2 MAIN FLOOR DUCT CONCEPT E.3 UPPER FLOOR DUCT CONCEPT

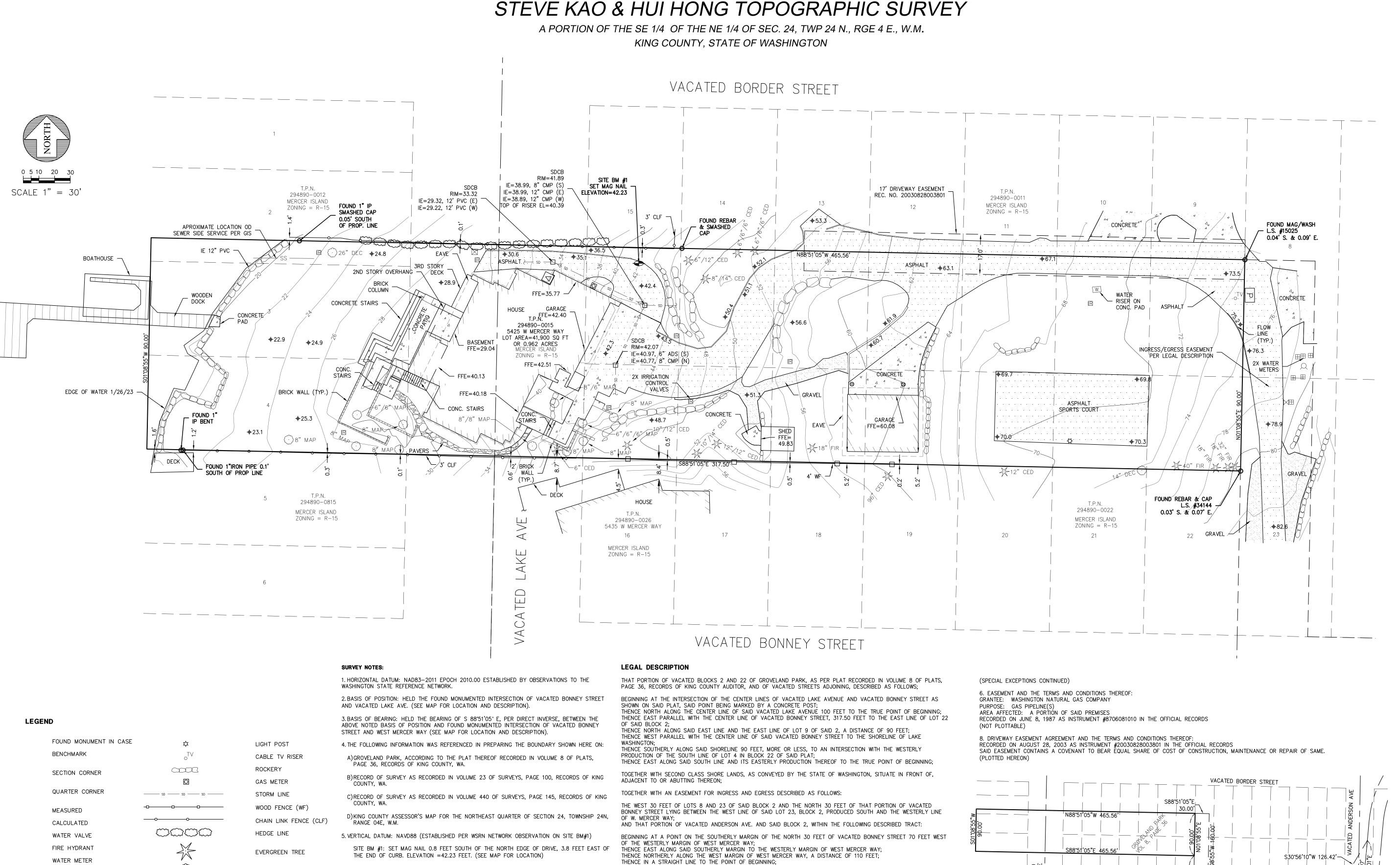
BASEMENT FLOOR AREA CALCULATION



9/28/23 PRICING SET

SITE PLAN





EXCEPT THAT PORTION OF SAID EASEMENT LYING NORTH OF THE EASTERLY PRODUCTION OF THE NORTH LINE OF THE

LEGAL DESCRIPTION AND EASEMENTS SHOWN ARE PER CW TITLE COMMITMENT FOR TITLE INSURANCE NO

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

RECORDED ON AUGUST 5, 1964 AS INSTRUMENT #5770410 IN THE OFFICIAL RECORDS

ABOVE DESCRIBED MAIN TRACT.

50025013-101, DATED 10/07/2022

PURPOSE: SEWER PIPELINE(S)

(NOT PLOTTABLE)

4) EASEMENT AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE: MERCER ISLAND SEWER DISTRICT

AREA AFFECTED: A PORTION OF SAID PREMISES

6. TRAVERSING AND DATA COLLECTION WERE PERFORMED USING A SPECTRA AND/OR TRIMBLE 5

ADDITIONAL FIELD WORK WAS PERFORMED USING SPECTRA SP-80 GNSS POSITIONING SYSTEMS, THE

7. MONUMENTS SHOWN AS FOUND AND PLANIMETRIC INFORMATION SHOWN HEREON ARE THE RESULT

8. UNDERGROUND UTILITIES SHOWN HEREON ARE PER A COMBINATION OF FIELD LOCATED SURFACE

9. THE PURPOSE OF THIS EXHIBIT IS TO SHOW THE BOUNDARY AND EXISTING CONDITIONS ON THE

OBSERVABLE FEATURES AND RECORDS OF THE APPLICABLE UTILITIES AND SHOULD BE FIELD

SECOND TOTAL STATION. ALL FIELD WORK WAS PERFORMED, AND EQUIPMENT MAINTAINED, IN

WASHINGTON STATE REFERENCE NETWORK, AND/OR THE NATIONAL GEODETIC SURVEY'S ONLINE

POSITIONING USER SERVICE (OPUS).

OF A SURVEY BY ENCOMPASS, COMPLETED IN JANUARY 2023.

DECIDUOUS TREE

CONCRETE

PAVERS

IRRIGATION CONTROL VALVE

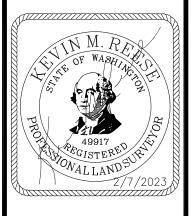
WATER RISER

CATCH BASIN

AREA DRAIN

POWER VAULT

JUNCTION BOX



SCALE 1"=20' DESIGNED N/A N/A KMR

CHECKED **APPROVED**

SHEET 1 OF 2

INGRESS/EGRESS EASEMENT

FOUND CASED CONCRETE

MONUMENT WITH PIN. DOWN 0.8'

VACATED BONNEY STREET

(BASIS OF POSITION)

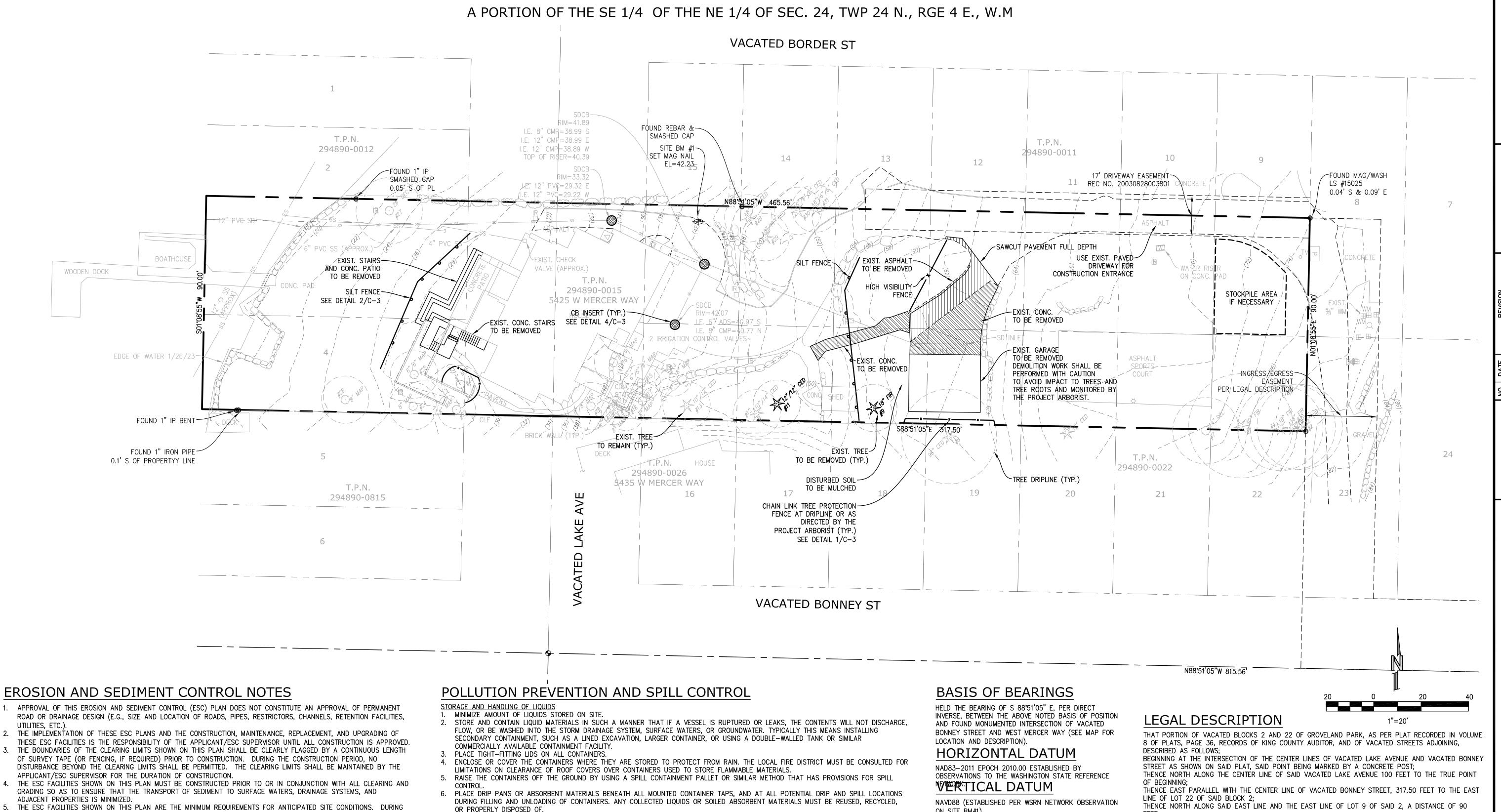
MONUMENT WITH TACK.

FOUND STONE

DOWN 1.0 FEET

N88'51'05"W (BASIS OF BEARING) 705.18' (M)(C)

CONTROL DETAIL



EROSION AND SEDIMENT CONTROL NOTES

- 1. APPROVAL OF THIS EROSION AND SEDIMENT CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- 3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY A CONTINUOUS LENGTH OF SURVEY TAPE (OR FENCING, IF REQUIRED) PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE
- 4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND
- 5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G., ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.).
- 6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES DURING
- THE WET SEASON (OCT. 1 TO APRIL 30) AND OF MONTHLY REVIEWS DURING THE DRY SEASON (MAY 1 TO SEPT. 30). ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
- 8. ANY AREA NEEDING ESC MEASURES NOT REQUIRING IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN FIFTEEN (15) DAYS. 9. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN FORTY-EIGHT (48) HOURS FOLLOWING A STORM EVENT.
- 10. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- 11. STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO
- ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT. 12. ANY PERMANENT FLOW CONTROL FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE GRADED SO THAT THE BOTTOM
- AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY. 13. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2 TO 3 INCHES.
- 14. PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEEDED AND THOSE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE DDES INSPECTOR. THE DDES INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.

- 7. STORE AND MAINTAIN ABSORBENT PADS OR APPROPRIATE SPILL CLEANUP MATERIALS NEAR THE CONTAINER STORAGE AREA, IN A LOCATION KNOWN TO ALL. ENSURE THAT EMPLOYEES ARE FAMILIAR WITH THE SITE'S SPILL PLAN AND/OR PROPER SPILL CLEANUP PROCEDURES.
- 8. CHECK CONTAINERS (AND ANY CONTAINMENT SUMPS) DAILY FOR LEAKS AND SPILLS. REPLACE CONTAINERS THAT ARE LEAKING, CORRODED. OR OTHERWISE DETERIORATING. IF THE LIQUID CHEMICALS ARE CORROSIVE, CONTAINERS MADE OF COMPATIBLE MATERIALS MUST BE USED
- INSTEAD OF METAL DRUMS. NEW OR SECONDARY CONTAINERS MUST BE LABELED WITH THE PRODUCT NAME AND HAZARDS. 9. PLACE DRIP PANS OR ABSORBENT MATERIALS BENEATH A CONTAINER THAT IS FOUND TO BE LEAKING. REMOVE THE DAMAGED CONTAINER AS SOON AS POSSIBLE. MOP UP THE SPILLED LIQUID WITH ABSORBENT PADS OR RAGS. ANY COLLECTED LIQUIDS OR SOILED ABSORBENT MATERIALS MUST BE REUSED, RECYCLED, OR PROPERLY DISPOSED OF.
- LOCATE THE FUELING OPERATION TO ENSURE LEAKS OR SPILLS WILL NOT DISCHARGE, FLOW, OR BE WASHED INTO THE STORM DRAINAGE SYSTEM, SURFACE WATER, OR GROUNDWATER.
- USE DRIP PANS OR ABSORBENT PADS TO CAPTURE DRIPS OR SPILLS DURING FUELING OPERATIONS.
- IF FUELING IS DONE DURING EVENING HOURS, LIGHTING MUST BE PROVIDED.
- 4. STORE AND MAINTAIN APPROPRIATE SPILL CLEANUP MATERIALS IN THE MOBILE FUELING VEHICLE. ENSURE THAT EMPLOYEES ARE FAMILIAR WITH PROPER SPILL CONTROL AND CLEANUP PROCEDURES. IMMEDIATELY MOP UP ANY SPILLED FUEL WITH ABSORBENT PADS OR RAGS. ANY COLLECTED LIQUIDS OR SOILED ABSORBENT MATERIALS MUST
- BE REUSED, RECYCLED, OR PROPERLY DISPOSED OF. CONCRETE SAW CUTTING, SLURRY, AND WASHWATER DISPOSAL
- SLURRY FROM SAW CUTTING THE SIDEWALK SHALL BE VACUUMED SO THAT IT DOES NOT ENTER NEARBY STORM DRAINS. CONCRETE TRUCK CHUTES, PUMPS, AND INTERNALS SHALL BE WASHED OUT ONLY INTO FORMED AREAS AWAITING INSTALLATION OF CONCRETE.
- UNUSED CONCRETE REMAINING IN THE TRUCK AND PUMP SHALL BE RETURNED TO THE ORIGINATING BATCH PLANT FOR RECYCLING. HAND TOOLS INCLUDING. BUT NOT LIMITED. SCREEDS. SHOVELS. RAKES. FLOATS. AND TROWELS SHALL BE WASHED OFF ONLY INTO FORMED.
- INTO FORMED AREAS AWAITING INSTALLATION OF CONCRETE OR IMPERMEABLE ASPHALT. EQUIPMENT THAT CANNOT BE EASILY MOVED, SUCH AS CONCRETE PAVERS, SHALL ONLY BE WASHED IN AREAS THAT DO NOT DIRECTLY DRAIN
- TO NATURAL OR CONSTRUCTED STORMWATER CONVEYANCES. WASHDOWN FROM AREAS SUCH AS CONCRETE AGGREGATE DRIVEWAY SHALL NOT DRAIN DIRECTLY TO NATURAL OR CONSTRUCTED STORMWATER CONVEYANCES.

WHEN NO FORMED AREAS ARE AVAILABLE, WASHWATER AND LEFTOVER PRODUCT SHALL BE CONTAINED IN A LINED CONTAINER. CONTAINED

CONCRETE SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT VIOLATE GROUNDWATER OR SURFACE WATER QUALITY STANDARDS. 8. CONTAINERS SHALL BE CHECKED FOR HOLES IN THE LINER DAILY DURING CONCRETE POURS AND REPLACED THE SAME DAY.

ON SITE BM#1)

THENCE NORTH ALONG SAID EAST LINE AND THE EAST LINE OF LOT 9 OF SAID 2, A DISTANCE OF 90

THENCE WEST PARALLEL WITH THE CENTER LINE OF SAID VACATED BONNEY STREET TO THE SHORELINE OF

LAKE WASHINGTON; THENCE SOUTHERLY ALONG SAID SHORELINE 90 FEET, MORE OR LESS, TO AN INTERSECTION WITH THE WESTERLY PRODUCTION OF THE SOUTH LINE OF LOT 4 IN BLOCK 22 OF SAID PLAT; THENCE EAST ALONG SAID SOUTH LINE AND ITS EASTERLY PRODUCTION THEREOF TO THE TRUE POINT OF BEGINNING:

TOGETHER WITH SECOND CLASS SHORE LANDS, AS CONVEYED BY THE STATE OF WASHINGTON, SITUATE IN FRONT OF, ADJACENT TO OR ABUTTING THEREON;

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS: THE WEST 30 FEET OF LOTS 8 AND 23 OF SAID BLOCK 2 AND THE NORTH 30 FEET OF THAT PORTION OF VACATED BONNEY STREET LYING BETWEEN THE WEST LINE OF SAID LOT 23, BLOCK 2, PRODUCED SOUTH AND THE WESTERLY LINE OF W. MERCER WAY: AND THAT PORTION OF VACATED ANDERSON AVE. AND SAID BLOCK 2, WITHIN THE FOLLOWING DESCRIBED

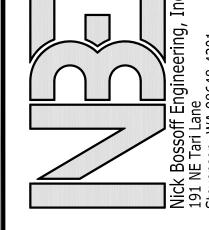
BEGINNING AT A POINT ON THE SOUTHERLY MARGIN OF THE NORTH 30 FEET OF VACATED BONNEY STREET 70 FEET WEST OF THE WESTERLY MARGIN OF WEST MERCER WAY;

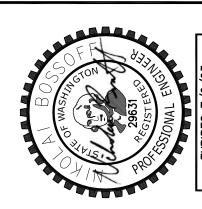
THENCE EAST ALONG SAID SOUTHERLY MARGIN TO THE WESTERLY MARGIN OF WEST MERCER WAY; THENCE NORTHERLY ALONG THE WEST MARGIN OF WEST MERCER WAY, A DISTANCE OF 110 FEET;

THENCE IN A STRAIGHT LINE TO THE POINT OF BEGINNING; EXCEPT THAT PORTION OF SAID EASEMENT LYING NORTH OF THE EASTERLY PRODUCTION OF THE NORTH LINE OF THE ABOVE DESCRIBED MAIN TRACT.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

CALL 48 HOURS BEFORE YOU DIG 1-800-424-5555

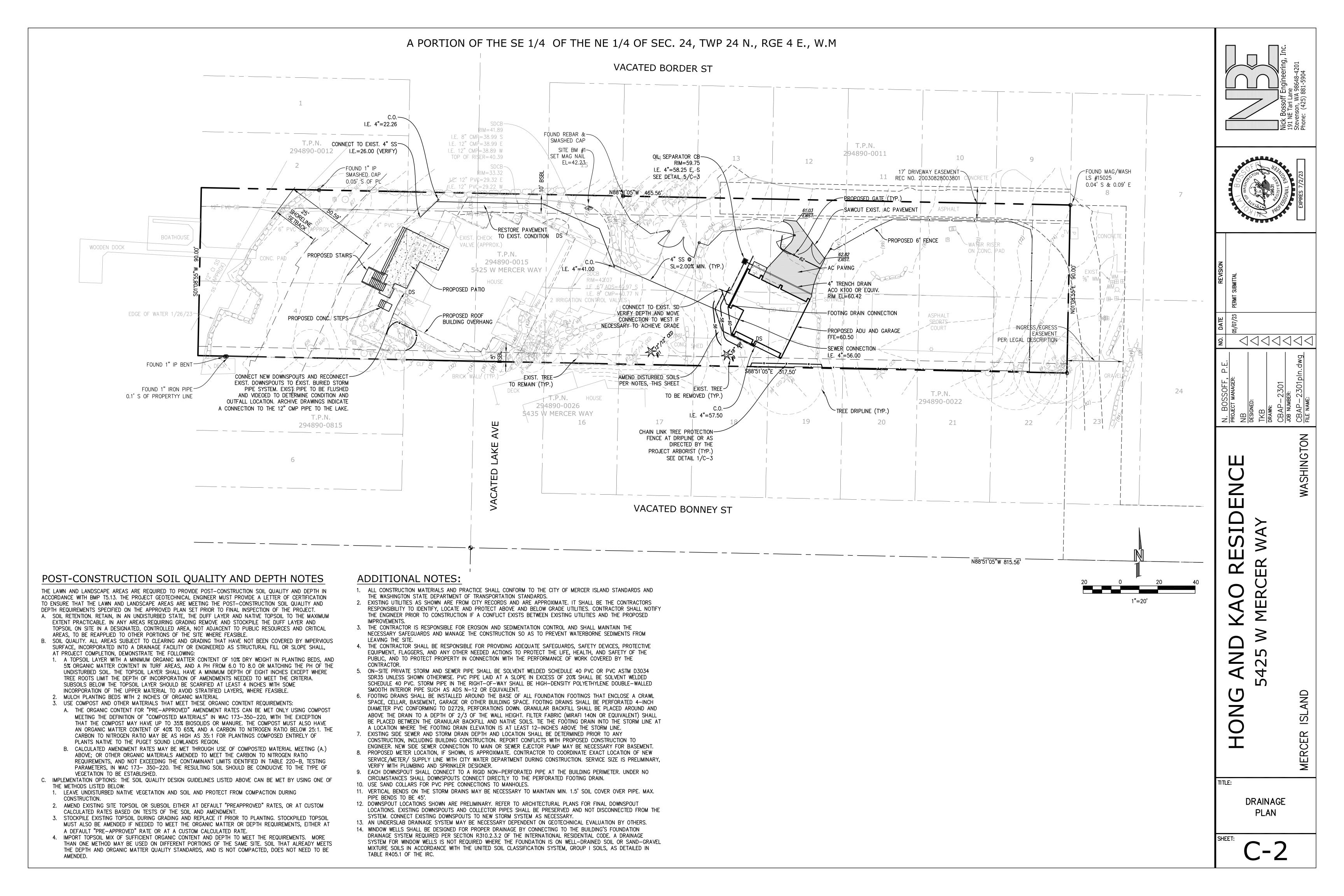




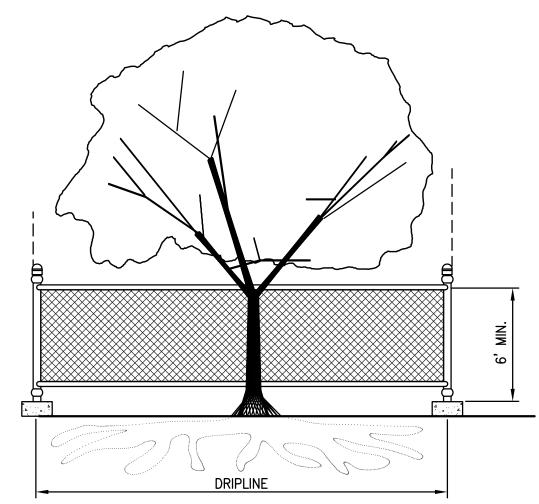
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MERCER

CSWPP



A PORTION OF THE SE 1/4 OF THE NE 1/4 OF SEC. 24, TWP 24 N., RGE 4 E., W.M.



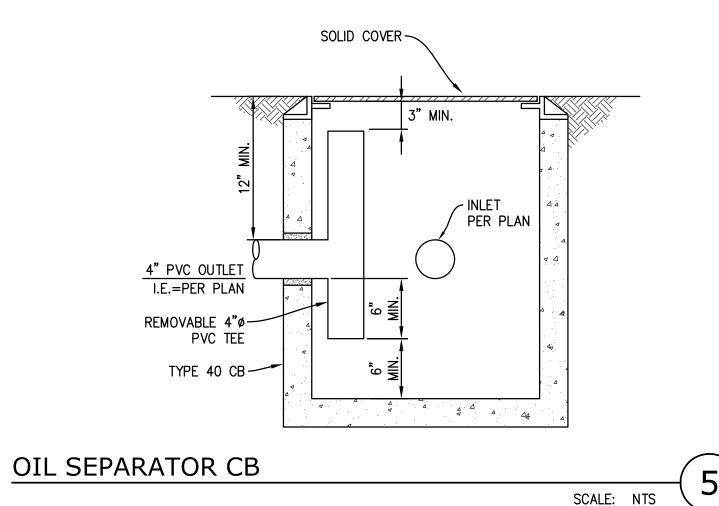
TREE PROTECTION DURING CONSTRUCTION

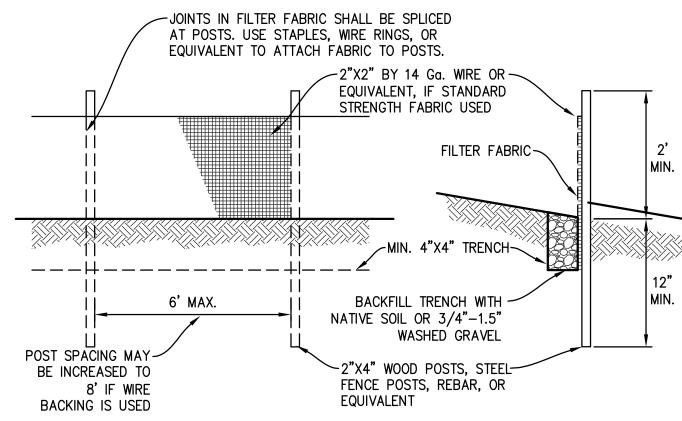
- 1. 6-FT. HIGH TEMPORARY CHAIN LINK FENCE SHALL BE PLACED AT THE DRIPLINE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCIRCLE THE TREE(S). INSTALL FENCE POSTS USING PIER BLOCKS ONLY. AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS.
- 2. FOR ROOTS OVER 1-IN DIA. THAT ARE DAMAGED DURING CONSTRUCTION, MAKE A CLEAN, STRAIGHT CUT TO REMOVE THE DAMAGED PORTION. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING, AND SHALL BE COVERED WITH SOIL AS SOON AS POSSIBLE. 3. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE

TREE PROTECTION

LIMIT OF THE FENCING.

SCALE: NTS





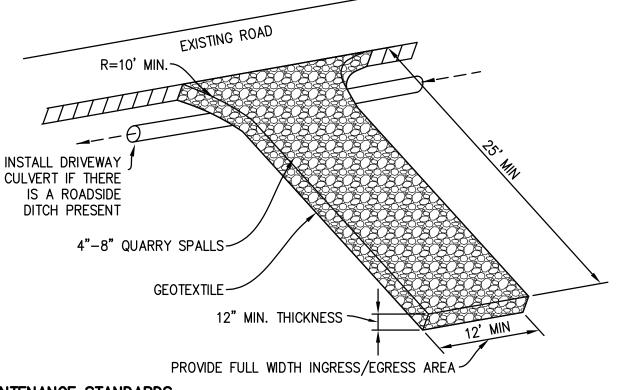
NOTE: FILTER FABRIC FENCE SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE.

MAINTENANCE STANDARDS

- 1. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY.
- 2. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.
- 3. IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGN OF THE FENCE CLOGGING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE. IF THIS OCCUR, REPLACE THE FENCE AND/OR REMOVE THE TRAPPED SEDIMENT.
- 4. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT IS 6" HIGH. 5. IF THE FILTER FABRIC HAS DETERIORATED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED.

SILT FENCE

SCALE: NTS

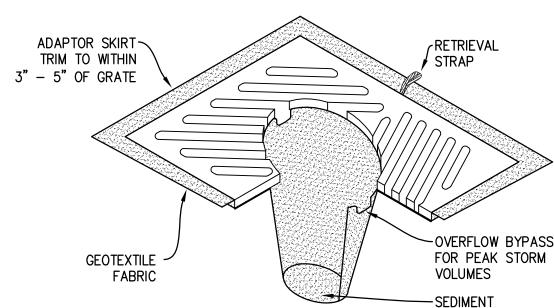


MAINTENANCE STANDARDS

- 1. QUARRY SPALLS (OR HOG FUEL) SHALL BE ADDED IF THE PAD IS NO LONGER IN ACCORDANCE WITH THE SPECIFICATIONS. 2. IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO PAVEMENT, THEN ALTERNATIVE MEASURES TO KEEP THE STREETS FREE OF SEDIMENT SHALL BE USED. THIS MAY INCLUDE STREET SWEEPING, AN INCREASE IN THE DIMENSIONS OF THE ENTRANCE, OR THE INSTALLATION OF A
- WHEEL WASH. IF WASHING IS USED, IT SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK, AND WASH WATER SHALL DRAIN TO A SEDIMENT TRAP OR POND. 3. ANY SEDIMENT THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED IMMEDIATELY BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED OR STABILIZED ON-SITE. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY. IF IT IS NECESSARY TO WASH THE STREET, THE CONSTRUCTION OF A SMALL SUMP SHALL BE CONSIDERED. THE SEDIMENT WOULD THEN BE WASHED INTO THE SUMP.
- ANY ROCK SPALLS THAT ARE LOOSENED FROM THE PAD AND END UP ON THE ROADWAY SHALL BE
- 5. IF VEHICLES ARE ENTERING OR EXITING THE SITE AT POINTS OTHER THAN THE CONSTRUCTION ENTRANCE(S), FENCING (SECTION 5.4.1) SHALL BE INSTALLED TO CONTROL TRAFFIC.

ROCK CONSTRUCTION ENTRANCE

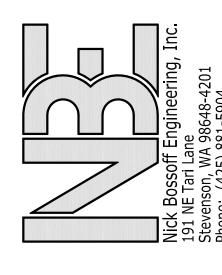
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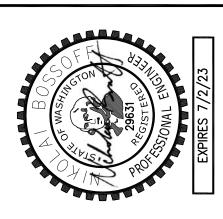


ACCUMULATION 1. INSERT SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING ACTIVITY, OR UPON PLACEMENT OF A NEW CATCH BASIN.

- 2. SEDIMENT SHALL BE REMOVED FROM THE UNIT WHEN IT BECOMES HALF FULL.
- 3. SEDIMENT REMOVAL SHALL BE ACCOMPLISHED BY REMOVING THE INSERT, EMPTYING, AND RE-INSERTING IT INTO THE CATCH BASIN.

CB INSERT





REVISION	05/07/23 PERMIT SUBMITTAL					
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MERCER

DETAILS

HONG & KAO RESIDENCE

G-001	COVER SHEET
L001	EXISTING VEGETATION & CRITICAL AREA CONDITIONS - WEST
L002	EXISTING VEGETATION & CRITICAL AREA CONDITIONS - EAST
L003	SITE IMPACTS & MITIGATION PLAN - WEST
L004	SITE IMPACTS & MITIGATION PLAN - EAST
L005	SITE PREPARATION PLAN - WEST
L006	SITE PREPARATION PLAN - EAST
L007	PLANTING PLAN & SCHEDULE - WEST
L008	PLANTING PLAN & SCHEDULE - EAST
L009	PLANT INSTALLATION DETAILS & NOTES

PROJECT DIRECTORY

CLIENT: HUI HONG & STEVE KAO 5425 W. MERCER WAY MERCER ISLAND, WA 98040

T: 425.545.88610 HUIHONG9823@GMAIL.COM

LANDSCAPE DCG|WATERSHED CONTACT: KENNY BOOTH 750 SIXTH ST SOUTH

> KIRKLAND, WA 98033 T: 425.822.5242

KENNY.BOOTH@DCGWATERSHED.C

WWW.DCGWATERSHED.COM

ARCHITECT: CHESMORE/BUCK ARCHITECTURE CONTACT: DAVE BUCK 27 100TH AVE NE

BELLEVUE WA, 98004 T: 425.679.0907 DAVE@CHESMOREBUCK.COM

PROJECT INFORMATION

PROJECT ADDRESS: 5425 W MERCER WAY, MERCER ISLAND, WA 98040

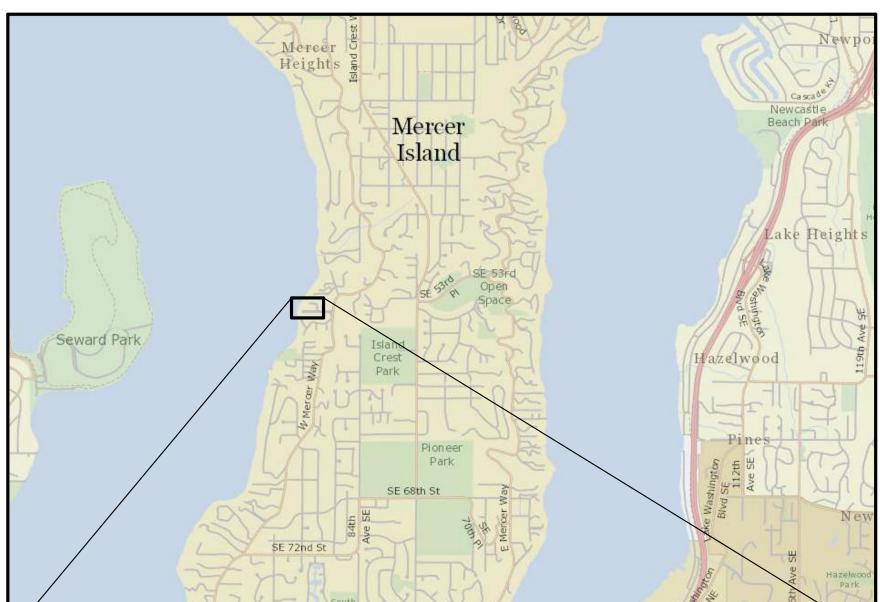
ASSESSOR PARCEL 2948900015

GROVELAND PARK ADD VAC 3-4 & S 10 FT OF 2 & SH LDS ADJ & VAC ST ADJ IN BLK 22 & VAC N 40 FT

LEGAL DESCRIPTION: OF 16 THRU 22 & VAC S 50 FT OF 9 THRU 15 & VAC ST ADJ IN BLK 2

MITIGATION PLANTING REQUIREMENT AS PART OF AN INTERIOR RENOVATION & DETACHED GARAGE

REPLACEMENT WITH ADU ADDITION DESCRIPTION:





VICINITY MAPS

G-001

SCHEMATIC DESIGN

CALL 811

2 BUSINESS DAYS

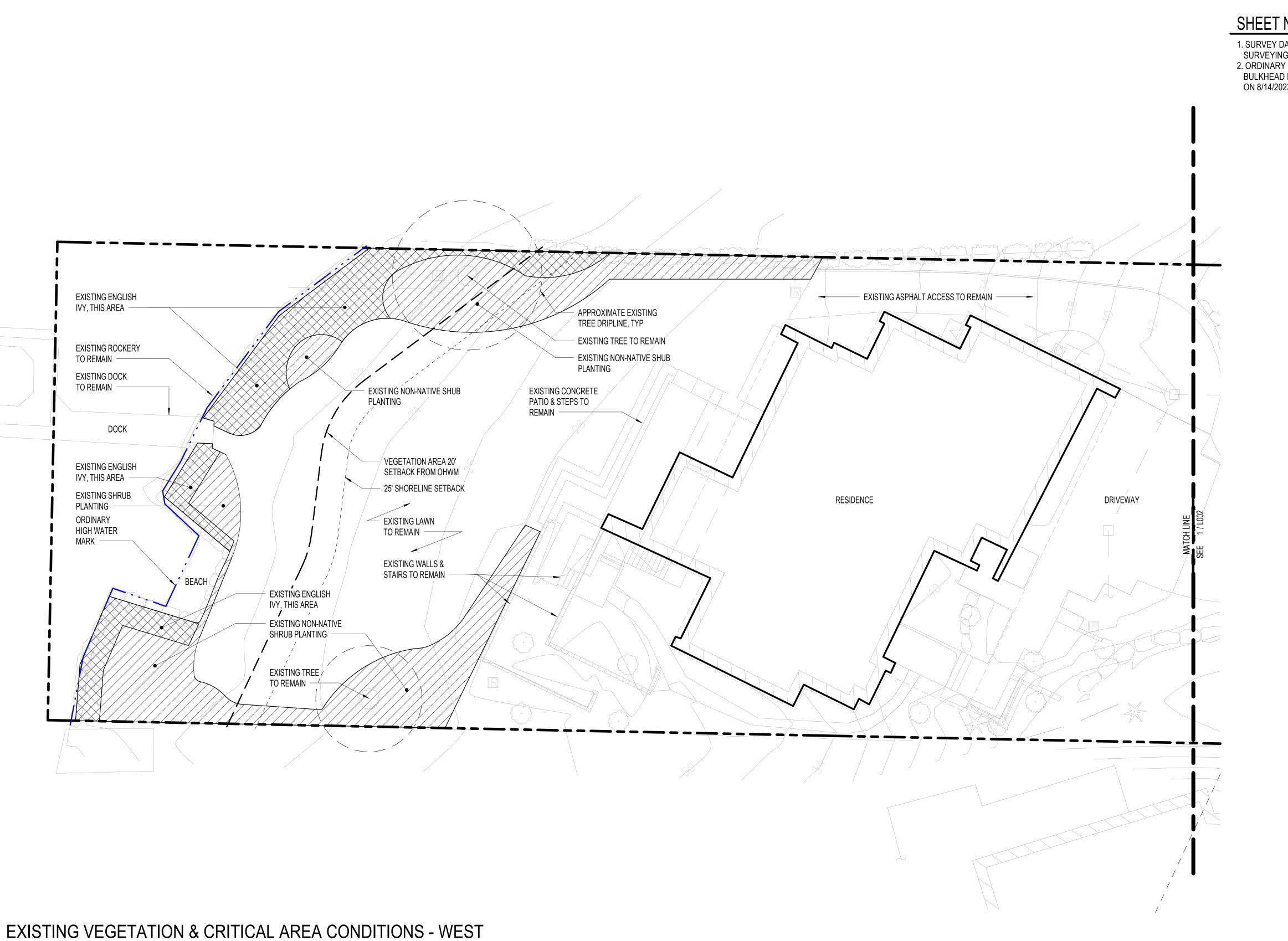
BEFORE YOU DIG

(UNDERGROUND UTILITY LOCATIONS ARE APPROX

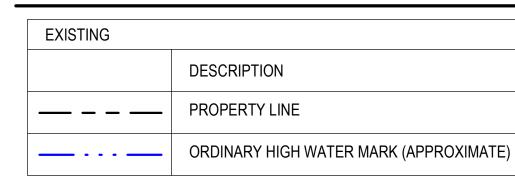
KEY PLAN

PLAN NUMBER:

HONG & KAO RESIDENCE

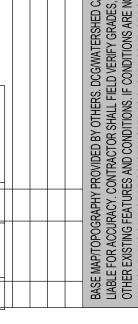


EXISTING CONDITIONS LEGEND



SHEET NOTES

- SURVEY DATED 02/07/2023 RECEIVED FROM ENCOMPASS ENGINEERING & SURVEYING.
 ORDINARY HIGH WATER MARK ESTIMATED AT +18.6' ALONG FACE OF
- BULKHEAD FROM SURVEY AND AVAILABLE DATA BY DCG|WATERSHED CO. ON 8/14/2023





CALL 811 2 BUSINESS DAYS BEFORE YOU DIG (UNDERGROUND UTILITY LOCATIONS ARE APPROX.

HONG & KAO RESIDENCE

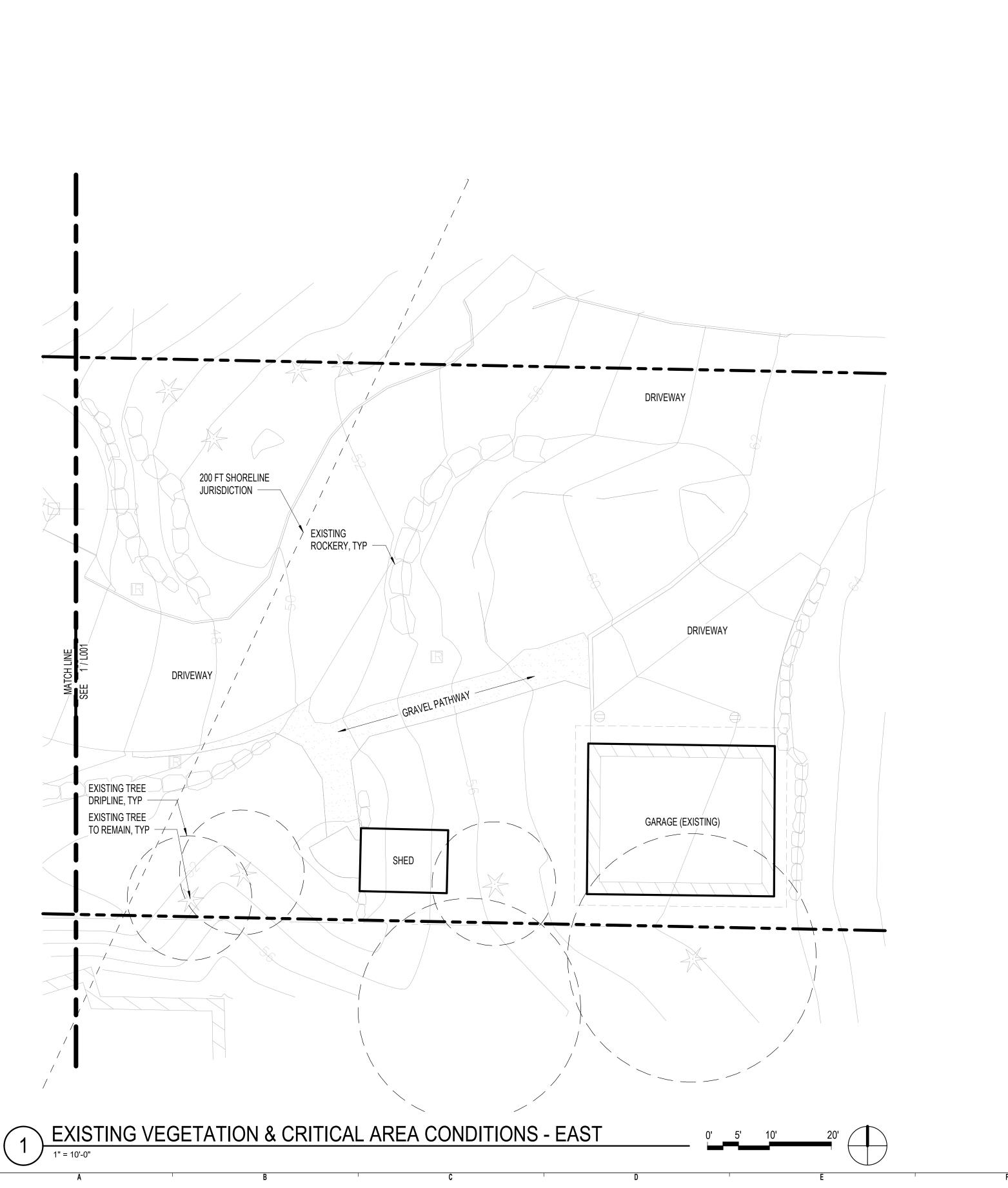
SCHEMATIC DESIGN

EXISTING VEGETATION & CRITICAL AREA CONDITIONS - WEST

DATE: 01/01/23 PLAN NUMBER:

L001

SHEET 2 OF 10



EXISTING CONDITIONS LEGEND

_		
	EXISTING	
		DESCRIPTION
		PROPERTY LINE
		ORDINARY HIGH WATER MARK (APPROXIMATE)

CONDITIONS LEGEND				
			- 1	

AIE: BY DESCRIPTION			PITOPOGRAPHY PROVIDED BY OTHERS. DCG/WATERS OR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GF XISTING FEATURES AND CONDITIONS. IF CONDITIONS PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTAINS
A I E:			P/TOPOGI OR ACCUF XISTING F



2 BUSINESS DAYS BEFORE YOU DIG

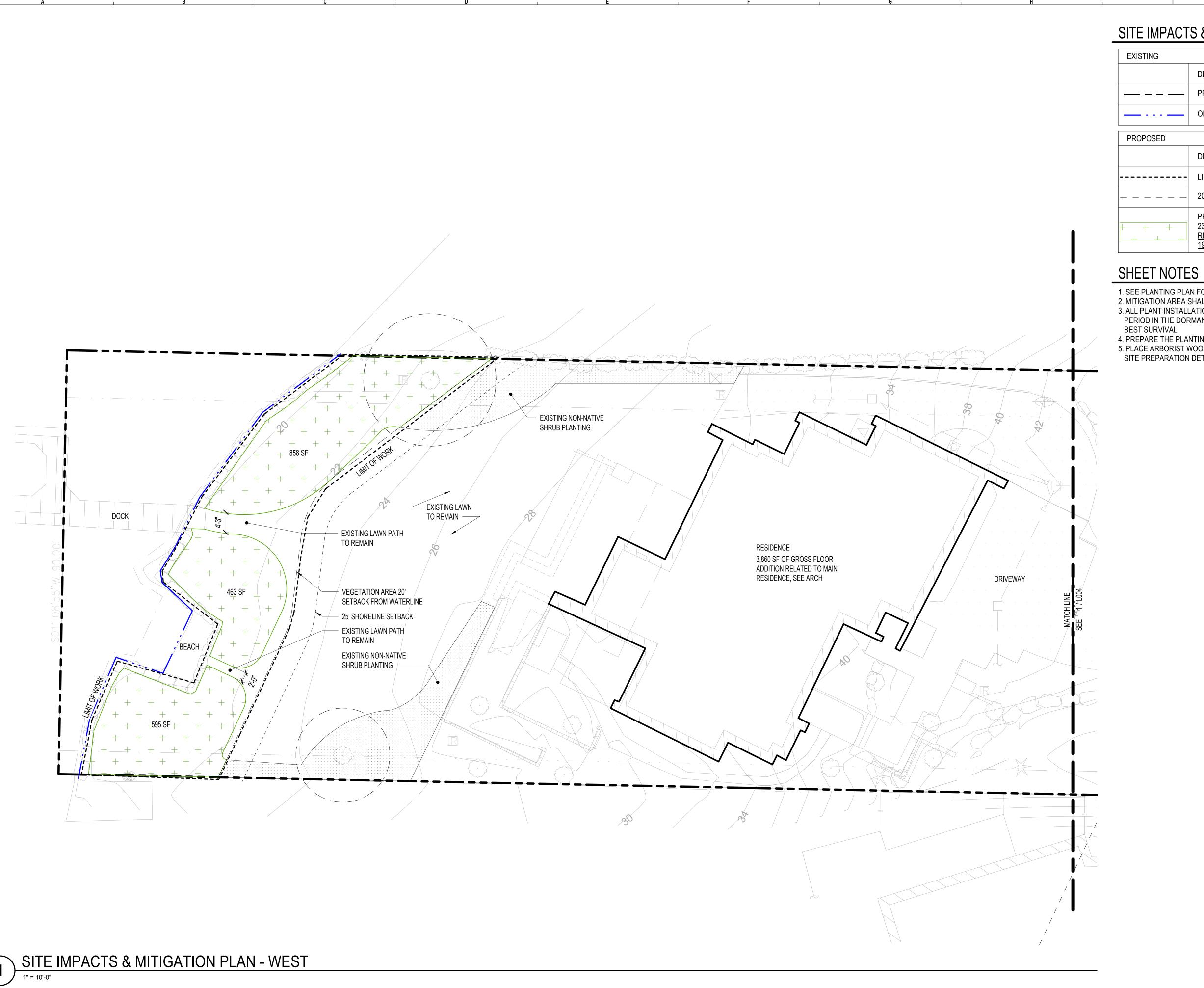
HONG & KAO RESIDENCE

SCHEMATIC DESIGN

EXISTING VEGETATION & CRITICAL AREA CONDITIONS - EAST

DATE: 01/01/23 PLAN NUMBER:

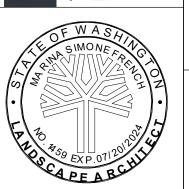
L002 **SHEET** 3 **OF** 10



SITE IMPACTS & MITIGATION LEGEND

EXISTING	
	DESCRIPTION
	PROPERTY LINE
	ORDINARY HIGH WATER MARK (APPROXIMATE)
PROPOSED	
	DESCRIPTION
	LIMIT OF MITIGATION PLANTING WORK
	20' SHORELINE BUFFER (2351.8 SF)
+ + + +	PROPOSED MITIGATION AREA 2337.9 X 75% = 1903.4 SF MITIGATION REQUIRED PER MICC 19.13.050.K.4 1916 SF MITIGATION PROPOSED

- 1. SEE PLANTING PLAN FOR RESTORATION OF MITIGATION AREA
- 2. MITIGATION AREA SHALL RECEIVE IRRIGATION PER MITIGATION NOTES
 3. ALL PLANT INSTALLATION IS TO TAKE PLACE DURING A FROST-FREE
 PERIOD IN THE DORMANT SEASON (OCTOBER 15TH MARCH 30TH), FOR
- 4. PREPARE THE PLANTING AREA AND PLANTING PITS PER L009
 5. PLACE ARBORIST WOOD CHIP MULCH LAYER AND INSTALL PLANTS PER SITE PREPARATION DETAILS



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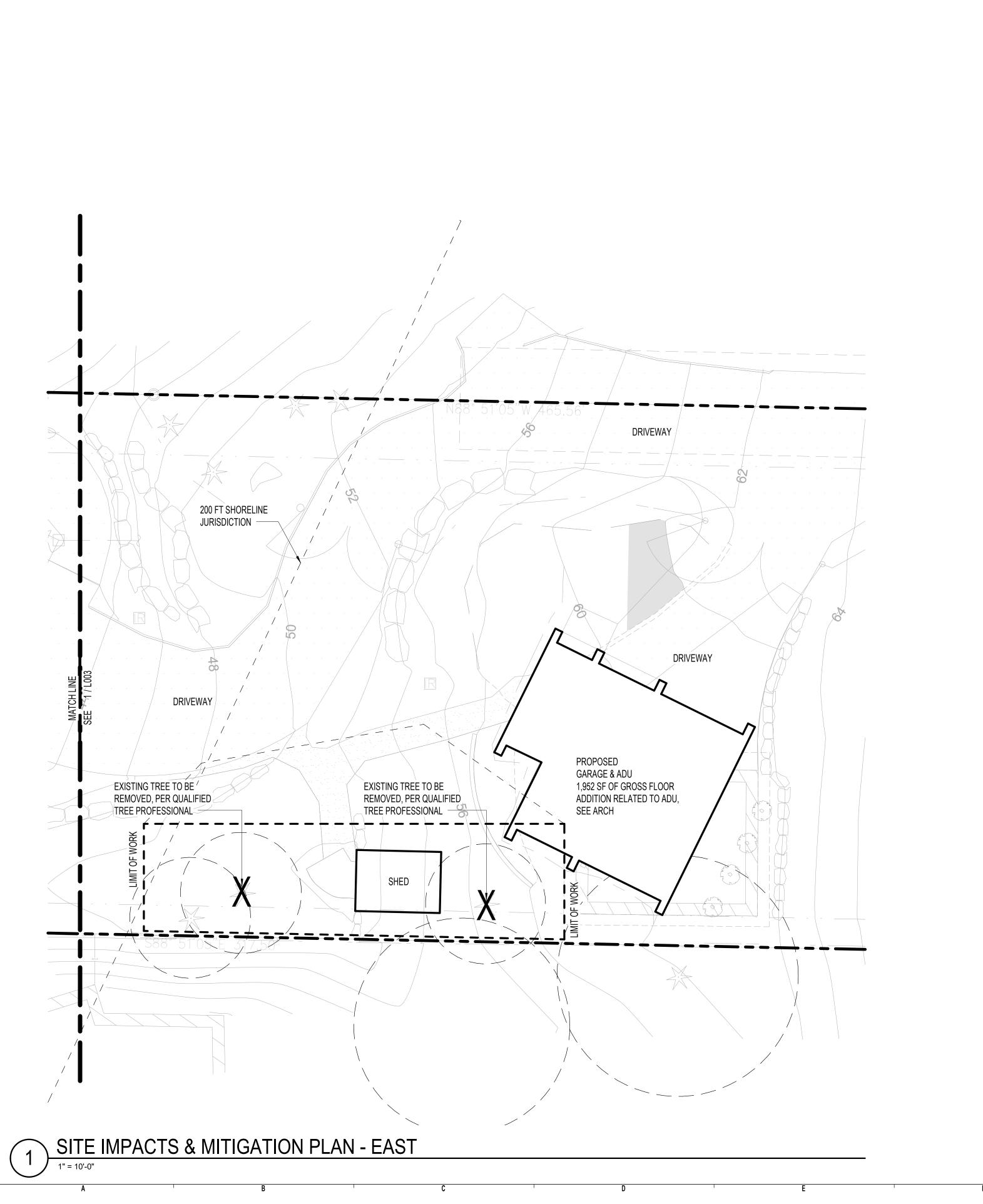
HONG & KAO RESIDENCE

SCHEMATIC DESIGN

SITE IMPACTS & MITIGATION PLAN -WEST

DATE: 01/01/23 PLAN NUMBER:

SHEET 4 OF 10



SHEET NOTES

- 1. SEE PLANTING PLANS FOR ADDITIONAL INFORMATION ON REQUIRED MITIGATION PLANTING FOR REMOVED TREES
- 2. SEE TREE RETENTION PLANS SUBMITTED AS PART OF THIS PROJECT FOR ADDITIONAL TREE INFORMATION

GRAPHY PROVIDED BY OTHERS. DCG/WATER URACY. CONTRACTOR SHALL FIELD VERIFY G

242
346
BASE MAP/TOPOGRAPHY PROVIDED BY LIABLE FOR ACCURACY, CONTRACTOR

P: 425.822.5242 www.dcg&afeF\$Reti.813ff

> ixth Street South ind, Wa 98033

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5425 W. MERCER WAY
MERCER ISLAND, WA 98040

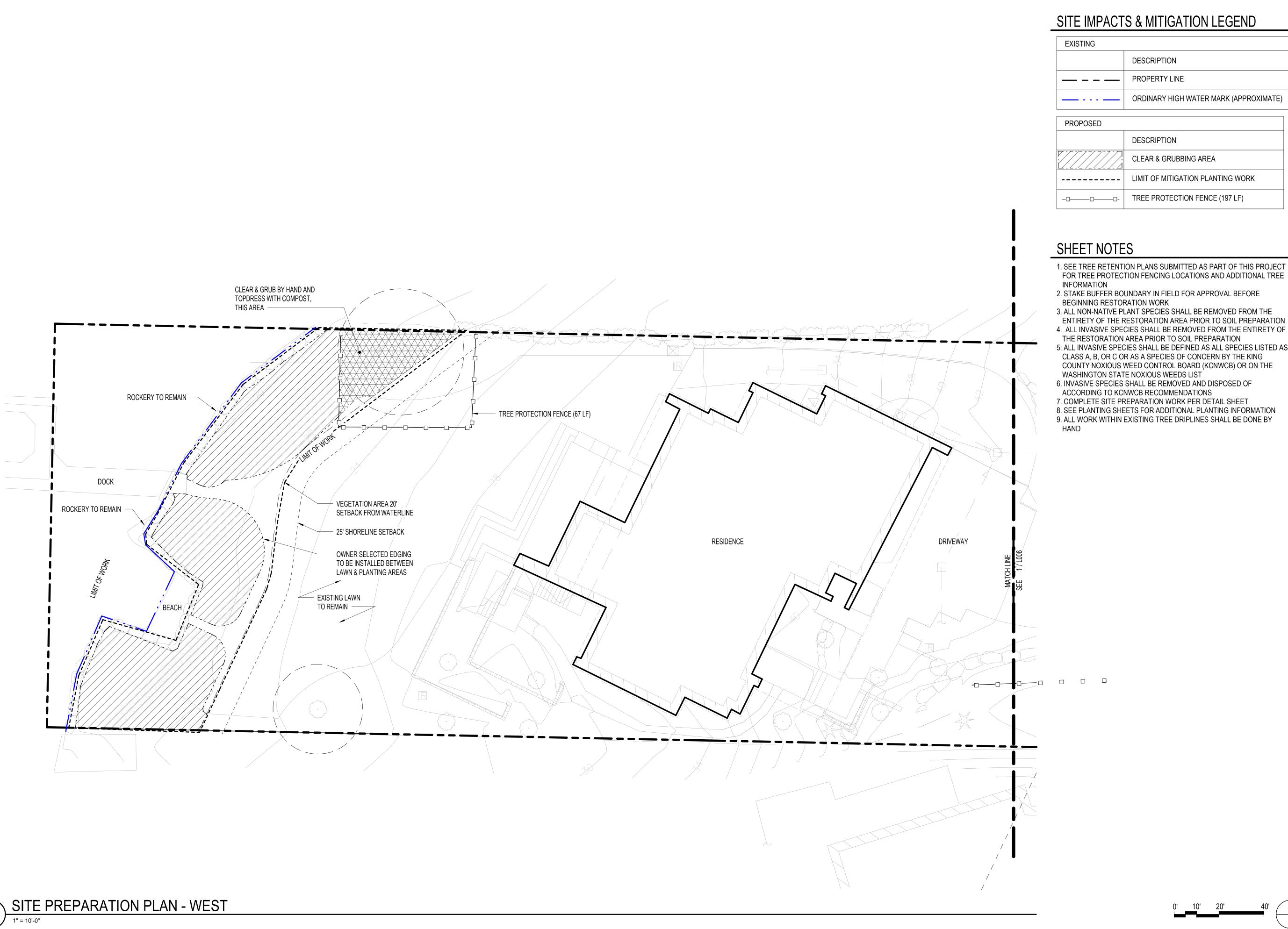
SCHEMATIC DESIGN

SITE IMPACTS & MITIGATION PLAN -EAST

DATE: 01/01/23
PLAN NUMBER:

L004

SHEET <u>5</u> OF <u>10</u>



	EXISTING	
		DESCRIPTION
		PROPERTY LINE
		ORDINARY HIGH WATER MARK (APPROXIMATE
<u> </u>		

PROPOSED	
	DESCRIPTION
	CLEAR & GRUBBING AREA
	LIMIT OF MITIGATION PLANTING WORK
-00-	TREE PROTECTION FENCE (197 LF)

- 1. SEE TREE RETENTION PLANS SUBMITTED AS PART OF THIS PROJECT FOR TREE PROTECTION FENCING LOCATIONS AND ADDITIONAL TREE
- 2. STAKE BUFFER BOUNDARY IN FIELD FOR APPROVAL BEFORE
- 3. ALL NON-NATIVE PLANT SPECIES SHALL BE REMOVED FROM THE ENTIRETY OF THE RESTORATION AREA PRIOR TO SOIL PREPARATION
- THE RESTORATION AREA PRIOR TO SOIL PREPARATION 5. ALL INVASIVE SPECIES SHALL BE DEFINED AS ALL SPECIES LISTED AS CLASS A, B, OR C OR AS A SPECIES OF CONCERN BY THE KING

- 8. SEE PLANTING SHEETS FOR ADDITIONAL PLANTING INFORMATION 9. ALL WORK WITHIN EXISTING TREE DRIPLINES SHALL BE DONE BY



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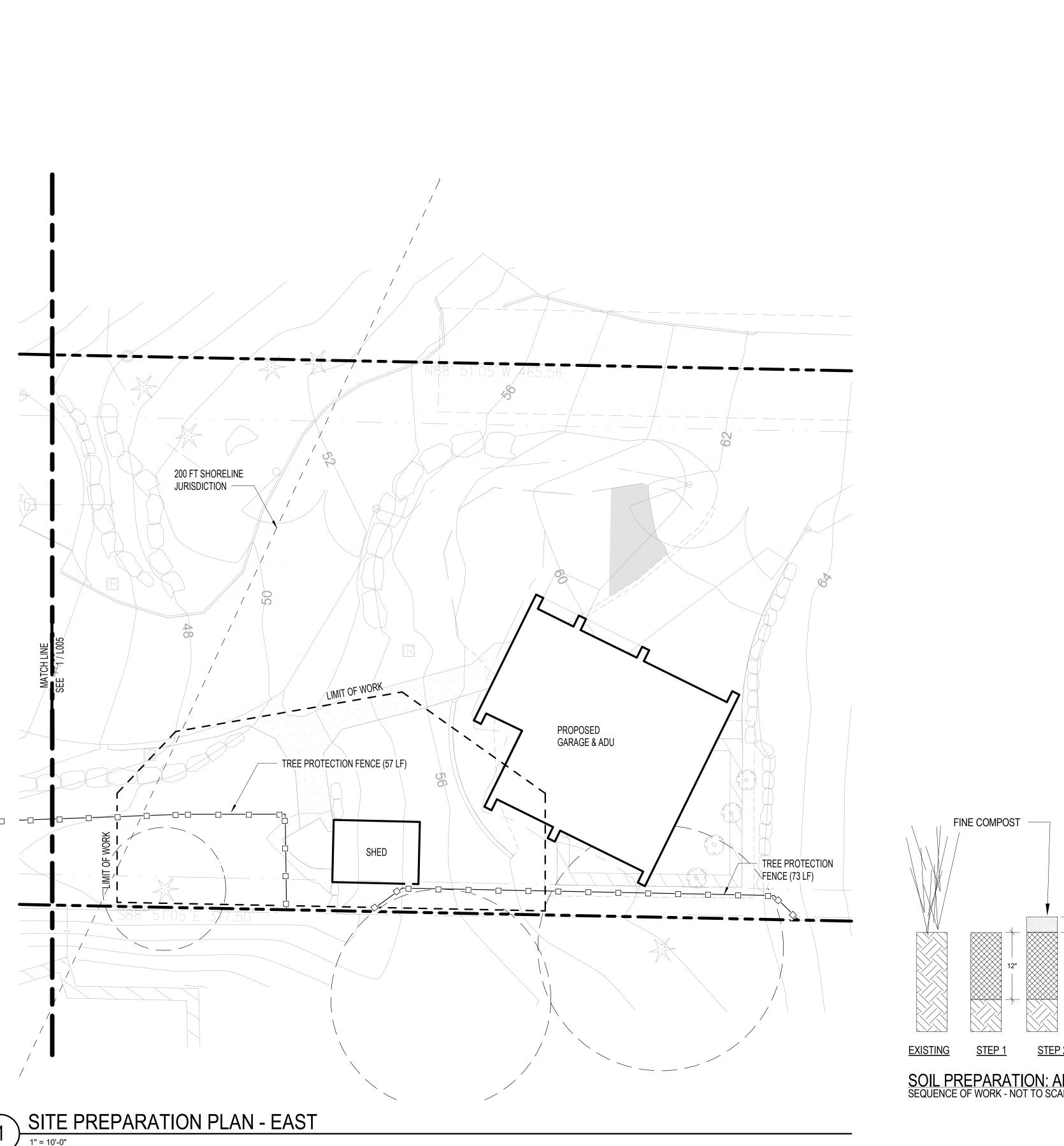
SCHEMATIC DESIGN

SITE PREPARATION PLAN - WEST

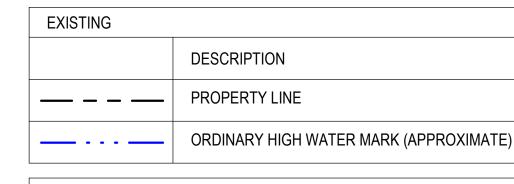
DATE: 07/12/23

PLAN NUMBER:

SHEET 6 **OF** 10



SITE IMPACTS & MITIGATION LEGEND



PROPOSED	
	DESCRIPTION
	CLEAR & GRUBBING AREA
	LIMIT OF MITIGATION PLANTING WORK
-00-	TREE PROTECTION FENCE (197 LF)

SHEET NOTES

HAND

- 1. SEE TREE RETENTION PLANS SUBMITTED AS PART OF THIS PROJECT FOR ADDITIONAL TREE INFORMATION
- 2. STAKE BUFFER BOUNDARY IN FIELD FOR APPROVAL BEFORE BEGINNING RESTORATION WORK
- 3. ALL INVASIVE SPECIES SHALL BE REMOVED FROM THE ENTIRETY OF THE RESTORATION AREA PRIOR TO SOIL PREPARATION
- 4. ALL INVASIVE SPECIES SHALL BE DEFINED AS ALL SPECIES LISTED AS CLASS A, B, OR C OR AS A SPECIES OF CONCERN BY THE KING COUNTY NOXIOUS WEED CONTROL BOARD (KCNWCB) OR ON THE WASHINGTON STATE NOXIOUS WEEDS LIST
- 5. INVASIVE SPECIES SHALL BE REMOVED AND DISPOSED OF ACCORDING TO KCNWCB RECOMMENDATIONS

TREE ROOT ZONE AREA PREPARATION

NEEDED TO AVOID HITTING ROOTS.

REMOVE INVASIVE AND NON-NATIVE PLANTS USING HAND TOOLS

STEP 3
PLANT AREA PER PLANTING PLAN USING HAND TOOLS AND BEING

CAREFUL NOT TO DAMAGE TREE ROOTS. ADJUST SPACING AS

AND BEING CAREFUL NOT TO DAMAGE TREE ROOTS.

STEP 2 PLACE TWO (2) INCH LAYER OF COMPOST OVER AREA.

STEP 4
PLACE THREE (3) INCH LAYER OF WOOD CHIP MULCH

- 6. COMPLETE SITE PREPARATION WORK PER DETAIL SHEET
- 7. SEE PLANTING SHEETS FOR ADDITIONAL PLANTING INFORMATION 8. ALL WORK WITHIN EXISTING TREE DRIPLINES SHALL BE DONE BY



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SITE PREPARATION PLAN - EAST

DATE: 07/12/23 PLAN NUMBER:

SHEET 7 **OF** 10

PLANTING AREA PREPARATION

REMOVE UNDESIRABLE SPECIES. WORK WITHIN EXISTING ROOT ZONES SHALL BE DONE BY HAND. DECOMPACT TO A TWELVE (12) INCH

DEPTH.

PLACE THREE (3) INCHES COMPOST.

INCORPORATE COMPOST INTO FIVE (5) INCHES OF SOIL (FOR AN EIGHT (8) INCH SETTLED SOIL DEPTH AT 10%

AFTER AMENDING, RAKE BEDS AND REMOVE SURFACE ROCKS > TWO (2) INCH DIAMETER. PLACE MULCH LAYER THREE (3) INCHES DEEP AND INSTALL PLANTS. (SEE

SOIL PREPARATION: AMEND EXISTING SOILS SEQUENCE OF WORK - NOT TO SCALE

STEP 3

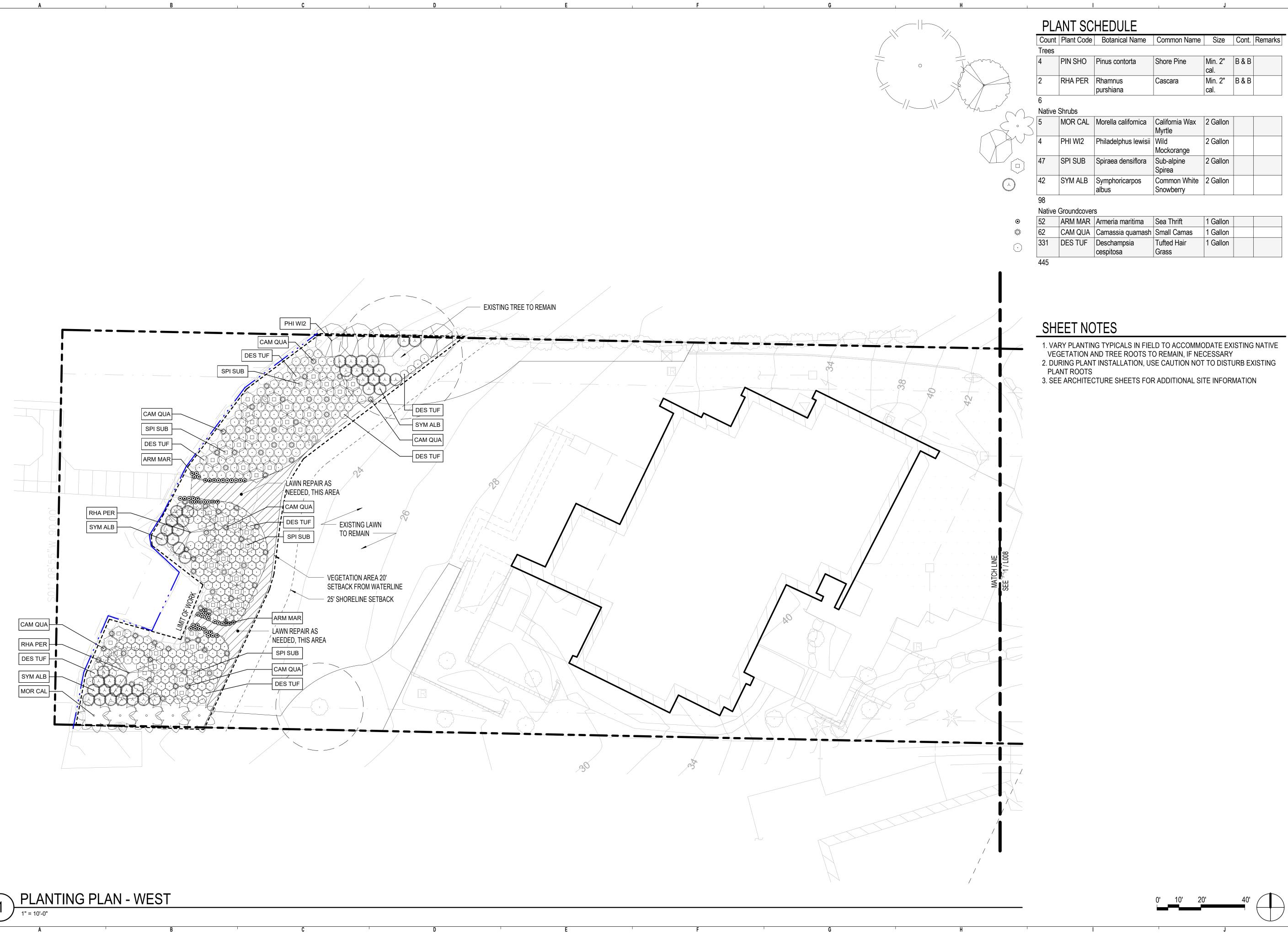
BARK OR WOOD CHIP MULCH

ORGANIC CONTENT).

PLANTING PLAN AND

DETAILS.)

STEP 4





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5425 W. MERCER WAY

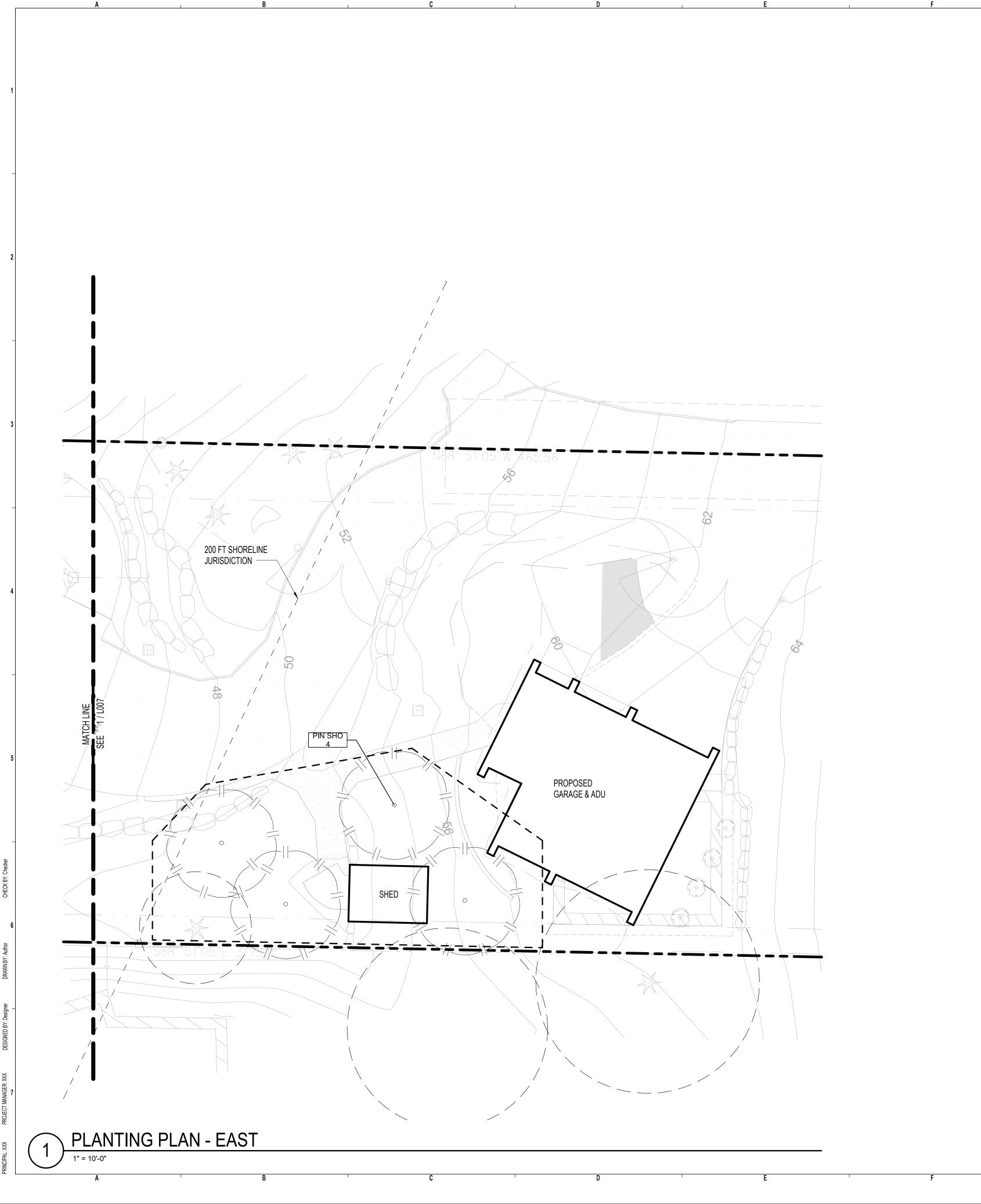
SCHEMATIC DESIGN

PLANTING PLAN & SCHEDULE - WEST

DATE: 07/12/23

L007

SHEET 8 OF 10



Count	Plant Code	Botanical Name	Common Name	Size	Cont.	R
Trees						
4	PIN SHO	Pinus contorta	Shore Pine	Min. 2" cal.	B&B	
2	RHA PER	Rhamnus purshiana	Cascara	Min. 2" cal.	В&В	
6	•	•	•			

	•					
	Native S	Shrubs				
3	5	MOR CAL	Morella californica	California Wax Myrtle	2 Gallon	
	4	PHI WI2	Philadelphus lewisii	Wild Mockorange	2 Gallon	
	47	SPI SUB	Spiraea densiflora	Sub-alpine Spirea	2 Gallon	
	42	SYM ALB	Symphoricarpos albus	Common White Snowberry	2 Gallon	

Native	Groundcover	S			
52	ARM MAR	Armeria maritima	Sea Thrift	1 Gallon	
62	CAM QUA	Camassia quamash	Small Camas	1 Gallon	
331	DES TUF	Deschampsia cespitosa	Tufted Hair Grass	1 Gallon	

SHEET NOTES



Count	Plant Code	Botanical Name	Common Name	Size	Cont.	Remarks
Trees						
4	PIN SHO	Pinus contorta	Shore Pine	Min. 2" cal.	B & B	
2	RHA PER	Rhamnus purshiana	Cascara	Min. 2" cal.	B&B	
6					•	
Native	Shrubs					

Native	Groundcover	S			
52	ARM MAR	Armeria maritima	Sea Thrift	1 Gallon	
62	CAM QUA	Camassia quamash	Small Camas	1 Gallon	
331	DES TUF	Deschampsia cespitosa	Tufted Hair Grass	1 Gallon	

- 1. VARY PLANTING TYPICALS IN FIELD TO ACCOMMODATE EXISTING NATIVE VEGETATION AND TREE ROOTS TO REMAIN, IF NECESSARY
 2. DURING PLANT INSTALLATION, USE CAUTION NOT TO DISTURB EXISTING PLANT ROOTS
 3. SEE ARCHITECTURE SHEETS FOR ADDITIONAL SITE INFORMATION



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SCHEMATIC DESIGN

PLANTING PLAN & SCHEDULE - EAST

PLAN NUMBER:

QUALITY ASSURANCE

1. PLANTS SHALL MEET OR EXCEED THE SPECIFICATIONS OF FEDERAL, STATE, AND LOCAL LAWS REQUIRING INSPECTION FOR PLANT DISEASE AND INSECT CONTROL.

2. PLANTS SHALL BE HEALTHY, VIGOROUS, AND WELL-FORMED, WITH WELL DEVELOPED, FIBROUS ROOT SYSTEMS, FREE FROM DEAD BRANCHES OR ROOTS. PLANTS SHALL BE FREE FROM DAMAGE CAUSED BY TEMPERATURE EXTREMES, LACK OR EXCESS OF MOISTURE, INSECTS, DISEASE, AND MECHANICAL INJURY. PLANTS IN LEAF SHALL BE WELL FOLIATED AND OF GOOD COLOR. PLANTS SHALL BE HABITUATED TO THE OUTDOOR ENVIRONMENTAL CONDITIONS INTO WHICH THEY WILL BE PLANTED (HARDENED-OFF).

3. TREES WITH DAMAGED, CROOKED, MULTIPLE OR BROKEN LEADERS WILL BE REJECTED. WOODY PLANTS WITH ABRASIONS OF THE BARK OR SUN SCALD WILL BE REJECTED. 4. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO FLORA OF THE PACIFIC NORTHWES BY HITCHCOCK AND CRONQUIST, UNIVERSITY OF WASHINGTON PRESS, 2018 AND/OR TO A FIELD GUIDE TO THE COMMON WETLAND PLANTS OF WESTERN WASHINGTON &

NORTHWESTERN OREGON, ED. SARAH SPEAR COOKE, SEATTLE AUDUBON SOCIETY, 1997.

DEFINITIONS

1. PLANTS/PLANT MATERIALS. PLANTS AND PLANT MATERIALS SHALL INCLUDE ANY LIVE PLANT MATERIAL USED ON THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO CONTAINER GROWN, B&B OR BAREROOT PLANTS; LIVE STAKES AND FASCINES (WATTLES); TUBERS, CORMS, BULBS, ETC..; SPRIGS, PLUGS, AND LINERS.

2. CONTAINER GROWN. CONTAINER GROWN PLANTS ARE THOSE WHOSE ROOTBALLS ARE ENCLOSED IN A POT OR BAG IN WHICH THAT PLANT GREW.

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN SPECIFIED MATERIALS IN ADVANCE IF SPECIAL GROWING, MARKETING OR OTHER ARRANGEMENTS MUST BE MADE IN ORDER TO SUPPLY SPECIFIED MATERIALS

2. SUBSTITUTION OF PLANT MATERIALS NOT ON THE PROJECT LIST WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE RESTORATION CONSULTANT.

3. IF PROOF IS SUBMITTED THAT ANY PLANT MATERIAL SPECIFIED IS NOT OBTAINABLE, A PROPOSAL WILL BE CONSIDERED FOR USE OF THE NEAREST EQUIVALENT SIZE OR ALTERNATIVE SPECIES, WITH CORRESPONDING ADJUSTMENT OF CONTRACT PRICE.

4. SUCH PROOF WILL BE SUBSTANTIATED AND SUBMITTED IN WRITING TO THE CONSULTANT AT LEAST 30 DAYS PRIOR TO START OF WORK UNDER THIS SECTION.

INSPECTION

1. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE RESTORATION CONSULTANT FOR CONFORMANCE TO SPECIFICATIONS, EITHER AT TIME OF DELIVERY ON-SITE OR AT THE GROWER'S NURSERY. APPROVAL OF PLANT MATERIALS AT ANY TIME SHALL NOT IMPAIR THE SUBSEQUENT RIGHT OF INSPECTION AND REJECTION DURING PROGRESS OF THE WORK.

2. PLANTS INSPECTED ON SITE AND REJECTED FOR NOT MEETING SPECIFICATIONS MUST BE REMOVED IMMEDIATELY FROM SITE OR RED-TAGGED AND REMOVED AS SOON AS POSSIBLE 3. THE RESTORATION CONSULTANT MAY ELECT TO INSPECT PLANT MATERIALS AT THE PLACE OF GROWTH. AFTER INSPECTION AND ACCEPTANCE, THE RESTORATION CONSULTANT MAY REQUIRE THE INSPECTED PLANTS BE LABELED AND RESERVED FOR PROJECT SUBSTITUTION OF THESE PLANTS WITH OTHER INDIVIDUALS, EVEN OF THE SAME SPECIES AND SIZE, IS UNACCEPTABLE.

MEASUREMENT OF PLANTS

1. PLANTS SHALL CONFORM TO SIZES SPECIFIED UNLESS SUBSTITUTIONS ARE MADE AS OUTLINED IN THIS CONTRACT

2. HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO MAIN BODY OF PLANT AND NOT BRANCH OR ROOT TIP TO TIP. PLANT DIMENSIONS SHALL BE MEASURED WHEN THEIR BRANCHES OR ROOTS ARE IN THEIR NORMAL POSITION.

3. WHERE A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND AT LEAST 50% OF THE PLANTS SHALL BE AS LARGE AS THE MEDIAN OF THE SIZE RANGE. (EXAMPLE: IF THE SIZE RANGE IS 12" TO 18", AT LEAST 50% OF PLANTS MUST BE 15" TALL.).

SUBMITTALS

PROPOSED PLANT SOURCES

1. WITHIN 45 DAYS AFTER AWARD OF THE CONTRACT, SUBMIT A COMPLETE LIST OF PLANT MATERIALS PROPOSED TO BE PROVIDED DEMONSTRATING CONFORMANCE WITH THE REQUIREMENTS SPECIFIED. INCLUDE THE NAMES AND ADDRESSES OF ALL GROWERS AND NURSERIES.

PRODUCT CERTIFICATES

NOTIFICATION

PLANT MATERIALS

DELIVERY, HANDLING, & STORAGE

ROOT SYSTEMS MUST BE ENSURED.

ARRANGE FOR INSPECTION.

1. PLANT MATERIALS LIST - SUBMIT DOCUMENTATION TO CONSULTANT AT LEAST 30 DAYS PRIOR TO START OF WORK UNDER THIS SECTION THAT PLANT MATERIALS HAVE BEEN ORDERED. ARRANGE PROCEDURE FOR INSPECTION OF PLANT MATERIAL WITH CONSULTANT AT TIME OF SUBMISSION.

2. HAVE COPIES OF VENDOR'S OR GROWERS' INVOICES OR PACKING SLIPS FOR ALL PLANTS ON SITE DURING INSTALLATION. INVOICE OR PACKING SLIP SHOULD LIST SPECIES BY SCIENTIFIC NAME, QUANTITY, AND DATE DELIVERED (AND GENETIC ORIGIN IF THAT INFORMATION WAS PREVIOUSLY REQUESTED).

UNTIL PLANTING AND THEN HANDLED CAREFULLY BY THE TRUNK OR STEM.

BOXES, BAGS, OR BUNDLES SHALL HAVE ONE LABEL PER GROUP.

CONTRACTOR MUST NOTIFY CONSULTANT 48 HOURS OR MORE IN ADVANCE OF DELIVERIES SO THAT CONSULTANT MAY

EXTREMES, BREAKAGE AND DRYING. PROPER VENTILATION AND PREVENTION OF DAMAGE TO BARK, BRANCHES, AND

STORAGE MUST BE PROTECTED AGAINST ANY CONDITION THAT IS DETRIMENTAL TO THEIR CONTINUED HEALTH AND

CONTAINER, BALL, BOX, OR OTHER PROTECTIVE STRUCTURE, EXCEPT BAREROOT PLANTS SHALL BE KEPT IN BUNDLES

PERCENT OF CONTAINER GROWN PLANTS IN INDIVIDUAL POTS SHALL BE LABELED. PLANTS SUPPLIED IN FLATS, RACKS,

1. TRANSPORTATION - DURING SHIPPING, PLANTS SHALL BE PACKED TO PROVIDE PROTECTION AGAINST CLIMATE

2. SCHEDULING AND STORAGE - PLANTS SHALL BE DELIVERED AS CLOSE TO PLANTING AS POSSIBLE. PLANTS IN

3. HANDLING - PLANT MATERIALS SHALL NOT BE HANDLED BY THE TRUNK, LIMBS, OR FOLIAGE BUT ONLY BY THE

4. LABELS - PLANTS SHALL HAVE DURABLE, LEGIBLE LABELS STATING CORRECT SCIENTIFIC NAME AND SIZE. TEN

WARRANTY

PLANT WARRANTY

PLANTS MUST BE GUARANTEED TO BE TRUE TO SCIENTIFIC NAME AND SPECIFIED SIZE, AND TO BE HEALTHY AND CAPABLE OF VIGOROUS GROWTH.

REPLACEMENT

1. PLANTS NOT FOUND MEETING ALL OF THE REQUIRED CONDITIONS AT THE CONSULTANT'S DISCRETION MUST BE REMOVED FROM SITE AND REPLACED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE

2. PLANTS NOT SURVIVING AFTER ONE YEAR TO BE REPLACED AT THE CONTRACTOR'S EXPENSE.

PLANT MATERIAL

GENERAL

1. PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO OR MORE SEVERE THAN THOSE OF THE PROJECT SITE

2. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY OR SUBSPECIES. NO CULTIVARS OR NAMED VARIETIES SHALL BE USED UNLESS SPECIFIED AS SUCH.

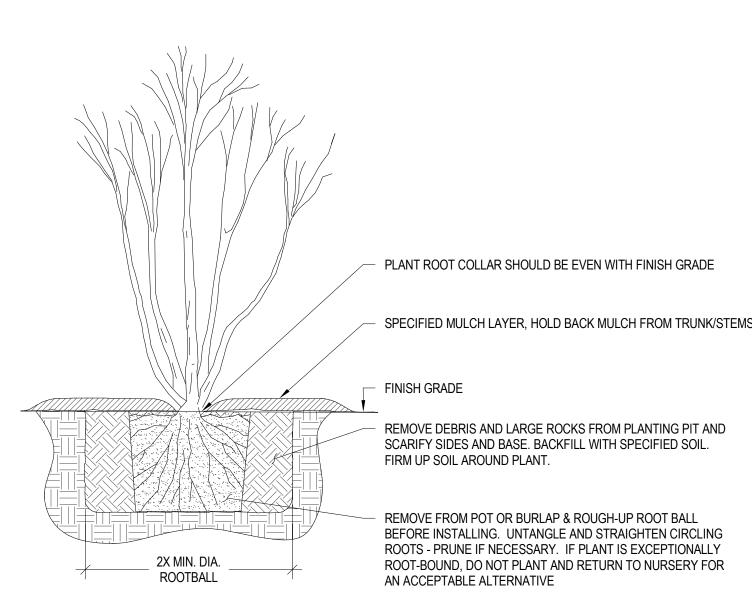
SEE PLANT LIST ON ACCOMPANYING PLANS AND PLANT SCHEDULES.

ROOT TREATMENT

1. CONTAINER GROWN PLANTS (INCLUDES PLUGS): PLANT ROOT BALLS MUST HOLD TOGETHER WHEN THE PLANT IS REMOVED FROM THE POT, EXCEPT THAT A SMALL AMOUNT OF LOOSE SOIL MAY BE ON THE TOP OF THE ROOTBALL.

2. PLANTS MUST NOT BE ROOT-BOUND; THERE MUST BE NO CIRCLING ROOTS PRESENT IN ANY PLANT INSPECTED.

3. ROOTBALLS THAT HAVE CRACKED OR BROKEN WHEN REMOVED FROM THE CONTAINER SHALL BE REJECTED.



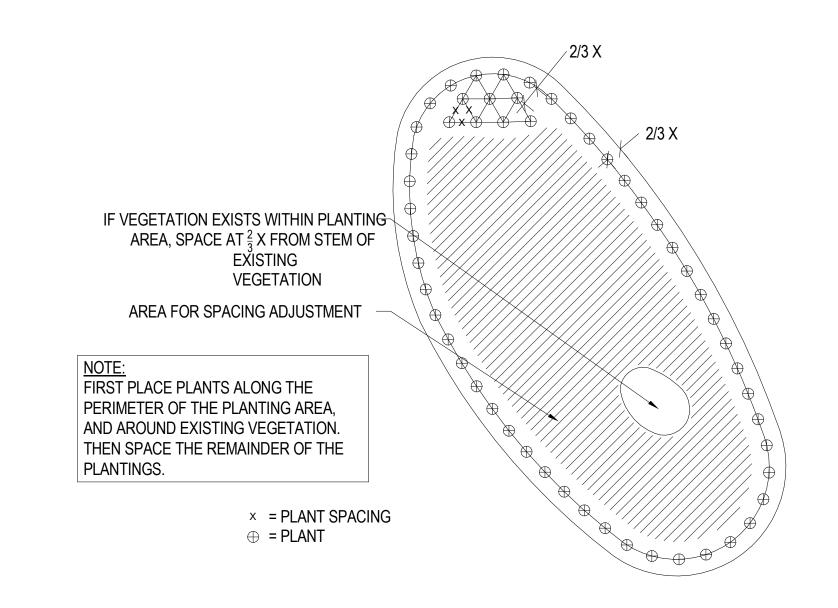


1. PLANTING PIT SHALL NOT BE LESS THAN TWO TIMES WIDTH OF ROREBIANE BURLAP AROUND ROOT BALL 3. LOOSEN ROOT-BOUND PLANTS BEFORE PLANTING 4. SOAK PLANTING PIT BEFORE AND AFTER PLANTING IF STAKING IS NEEDED, PROVIDE A 5. LARGE TREES AND SHRUBS MAY NEED TO BE 2.5-3" ROUND TREE STAKE MADE OF STAKED UNTREATED LUMBER. ANGLE AGAINST PREVAILING WINDS AND DEEP ENOUGH TO BE STABLE. ATTACH TREE STAKES TO TRUNK WITH PLASTIC "CHAIN-LOCK" OR EQUAL HIGH DENSITY POLYETHYLINE TREE TIE MATERIAL PROVIDE 1" OF SLACK TO ACCOMODATE TREE SET TRUNK PLUMB PROVIDE FOUR-INCH DEPTH MULCH, BUT DO NOT PILE MULCH AROUND THE BASE OF THE SOAK PLANTING PIT, TRUNK/STEM. SCARIFY EDGES OF FOUR-INCH TALL WATER PIT, AND REMOVE FINISHED GRADE BACKFILL PLANTING PIT WITH NATIVE SOIL OR PROVIDE A SIX-INCH TOP-DRESSING OF IMPORTED TOPSOIL OR COMPOST AMENDED SOIL IF SOIL COMPACT SOIL TO QUALITY IS POOR.

2 X ROOTBALL WIDTH

B&B TREE PLANTING

PREVENT SETTLING



PLANT SPACING

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SCHEMATIC DESIGN

PLANT INSTALLATION DETAILS &

PLAN NUMBER:

DATE: 07/12/23

SHEET 10 **OF** 10

SPAS WHEN ALL OF THE FOLLOWING CONDITIONS ARE PRESENT: THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE THE GLAZING IS WITHIN 5 FEET OF A SWIMMING POOL OR SPA WATER'S EDGE

GLAZING IN WALLS AND FENCES USED AS THE BARRIER FOR INDOOR AND OURDOOR SWIMMING POOLS AND

GLAZING ADJACENT TO STARWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE PLANE OF THE GLAZING ADJACENT TO STAIRWAYS, WIITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE

EGRESS IN EVERY SLEEPING ROOM SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" MINIMUM NET CLEAR OPENING WIDTH DIMENSION OF 20" AND A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. IRC SEC. R310.1

ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE UNIFORM BUILDING CODE AND THE WASHINGTON STATE ENERGY CODE, LATEST EDITION. VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH WORK.

APPLICATION AND INSTALLATIONS OF INSULATION AND VAPOR BARRIERS SHALL COMPLY WITH STATE OF WASHINGTON THERMAL INSULATION STANDARDS (H.B. 98).

WALLS: INSULATED WITH R-21 BATT, INSULATE HEADERS TO R-10.

ROOF AND CEILING: INSULATED WITH R-10 CLOSED CELL FOAMED IN-PLACE INSULATION, UNFACED FIBERGLAS BATTS IN 2X RAFTERS TO R-38 IN VAULTED CEILING CONDITIONS. FLOORS: PROVIDE R-30 BATT INSULATION OVER UNHEATED SPACE (UNLESS NOTED OTHERWISE).

<u>SLAB ON GRADE:</u> PROVIDE EXTRUDED RIGID CLOSED CELL INSULATION R-10. INSULATION TO PROVIDE THERMAL BREAK BETWEEN SLAB AND FOOTING AND RUN FROM THE TOP OF THE SLAB TO THE BOTTOM OF THE FOOTING. INSULATION MAY BE INTERRUPTED FOR 6" EVERY 2'-0" TO ALLOW FOR DOWELING TO TIE SLAB AND FOOTING TOGETHER.

VAPOR BARRIERS: AN APPROVED VAPOR BARRIER SHALL BE INSTALLED AT EXTERIOR WALLS.

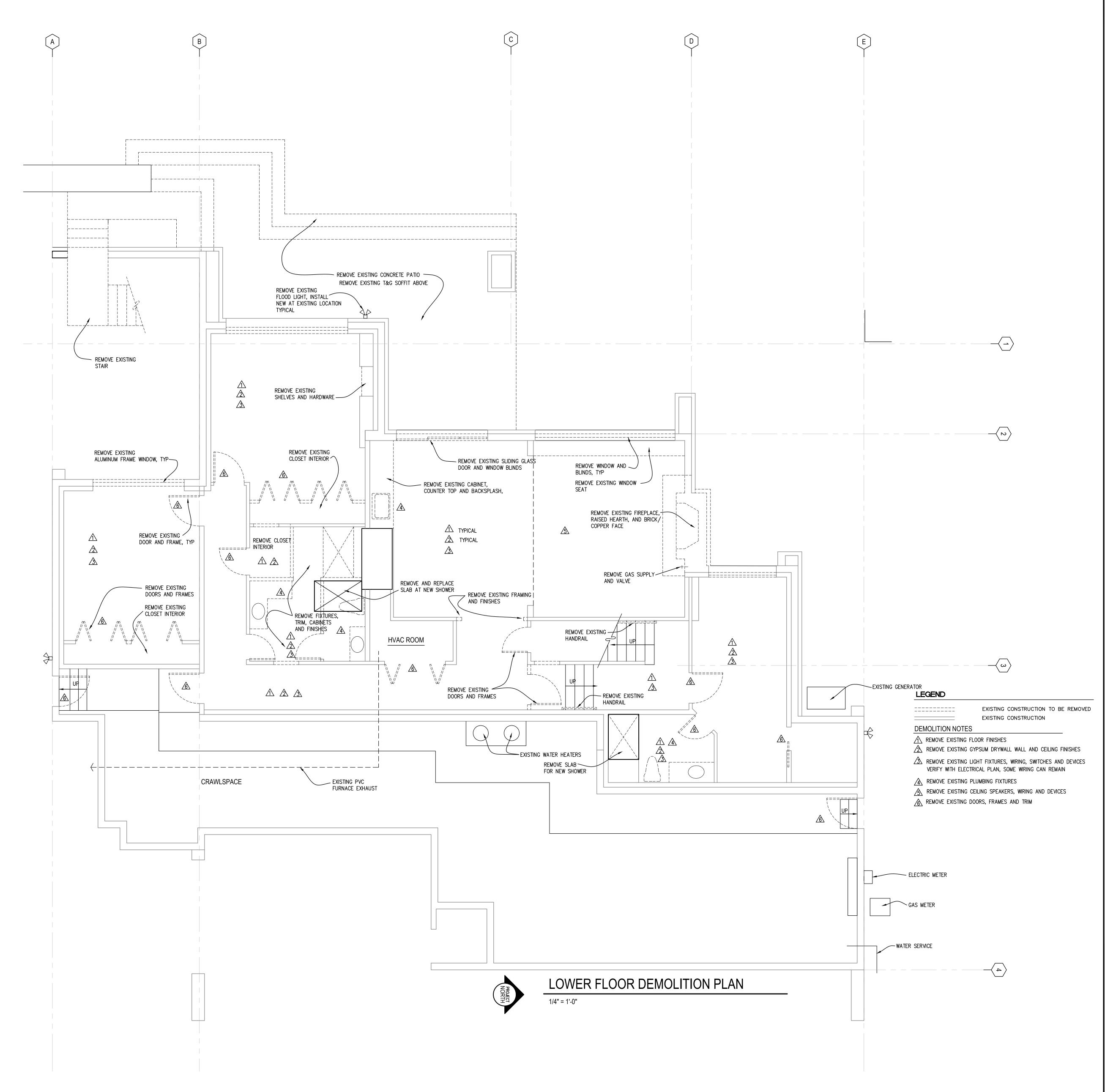
THIS VAPOR

BARRIER MAY BE A COMPONENT OF THE INSULATION MATERIAL. APPLICATION AND INSTALLATIONS OF INSULATION AND VAPOR BARRIERS SHALL COMPLY WITH STATE OF WASHINGTON THERMAL INSULATION STANDARDS (H.B. 96).

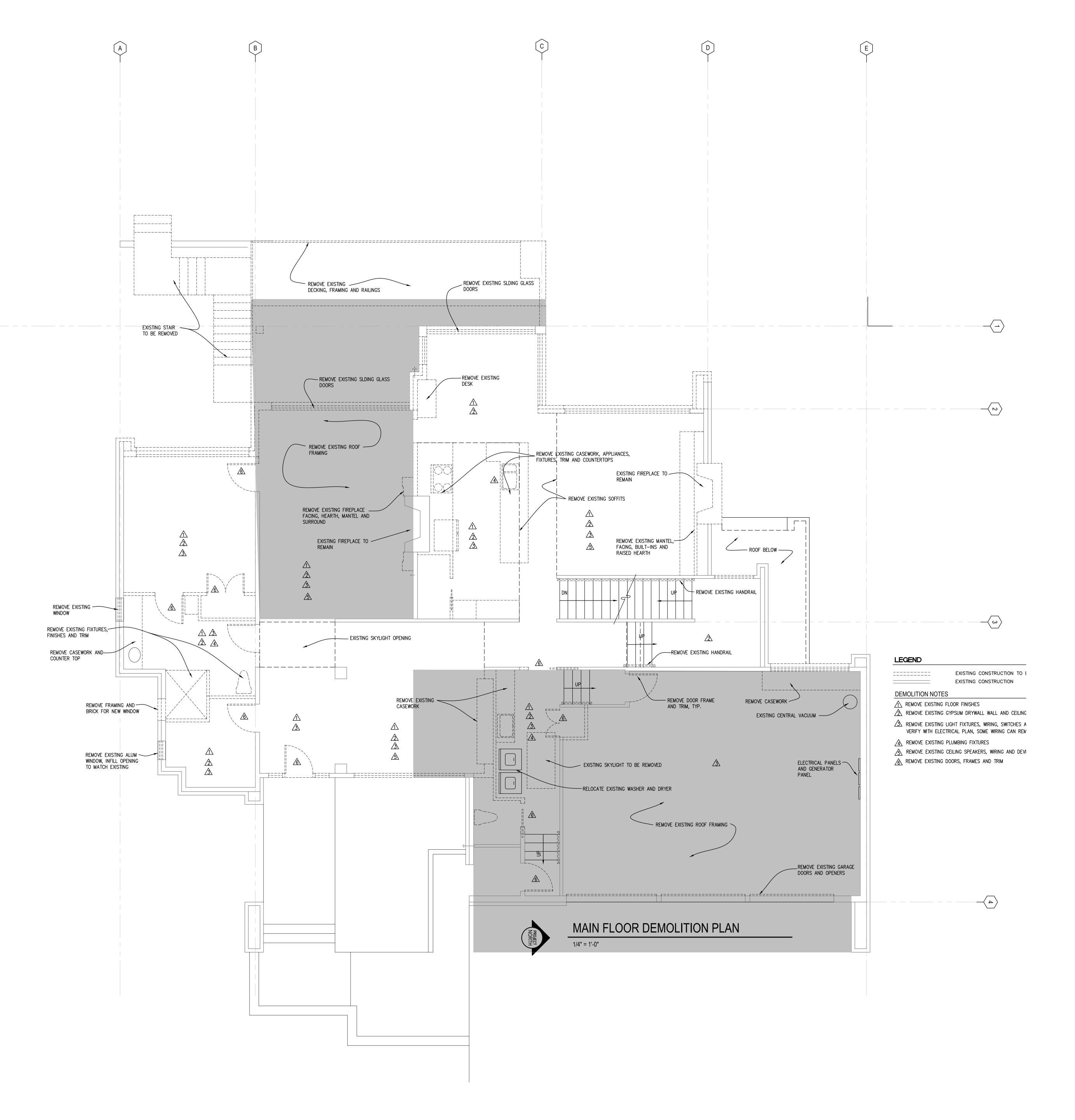
CERTIFICATE: PRIOR TO SUBSTANTIAL COMPLETION POST ON A WALL NEAR THE HEATING EQUIPMENT OR ON AN ELECTICAL PANEL THE FOLLOWING: PREDOMINATE R- VALUES, U- VALUES OF FENESTRATION, RESULTS FROM DUCT SYSTEM AND BUILDING AIR LEAKAGE TESTING, THE RESULTS FROM THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FLOW RATE TEST, AND THE TYPES AND EFFICIENCIES OF HEATING/COOLING/WHOLE-HOUSE MECHANICAL VENTILATION/WATER HEATING EQUIPMENT. LEAK TESTING: DUCTS MUST BE LEAK TESTED IN ACCORDANCE WITH WSU RS-33 USING THE MAXIMUM DUCT LEAKAGE RATES SPECIFIED. TOTAL LEAKAGE MUST BE VERIFIED BY EITHER THE ROUGH—IN TEST OR POSTCONSTRUCTION TEST PER WSEC R403.3.3. TOTAL LEAKAGE MUST BE LESS THAN OR EQUAL TO 4CFM PER 100 SF OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1" W.G. (25 PA) ACROSS THE ENTIRE SYSTEM.

406.3 MEDIUM DWELLING UNIT
UEL NORMALIZATION CREDITS SYSTEM TYPE 2 LISTED HEAT PUMP
. AIR LEAKAGE CONTROL 2.3 REDUCE AIR LEAKAGE TO 1.5 AIR CHANGES
. HIGH EFFICIENCY HVAC EQUIPMENT 3.5 AIR SOURCE DUCTED HEAT PUMP MIN. HSPF 11.0 1.5 CREDITS
EFFICIENT WATER HEATING 5.3 ENERGY STAR UEF 0.91 WATER HEATER
6.1 1200 KWh PHOTO VOLTAIC SYSTEM

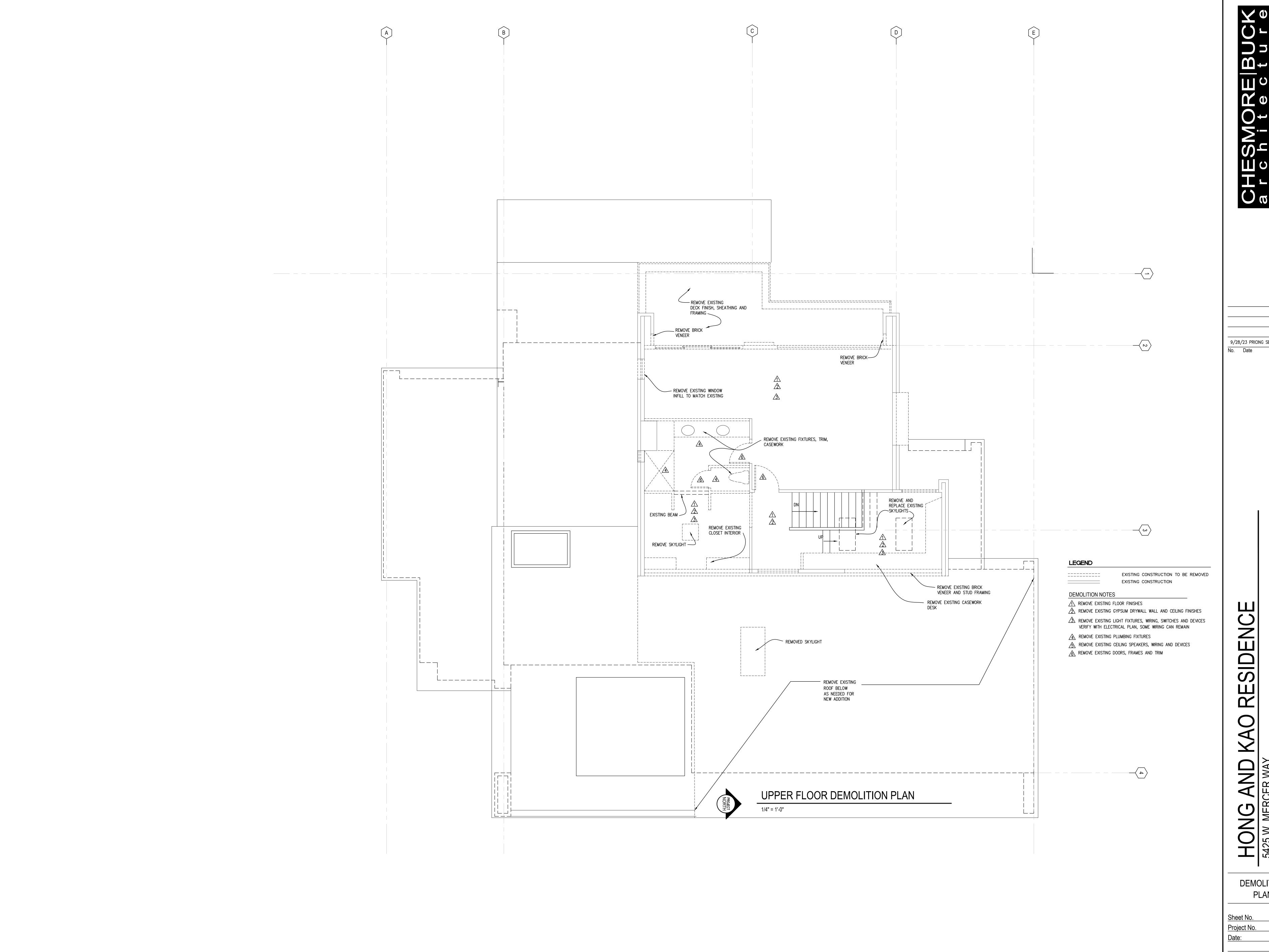
WHOLE HOUSE VENTILATION INTEGRATE WHOLE HOUSE VENTILATION WITH AIR HANDLER FANS THAT ARE VARIABLE SPEED WITH LOW SPEED OPERATION NOT GREATER THAN 25% OF RATED SUPPLY AIRFLOW. OUTDOOR AIR INTAKE OPENINGS MUST MEET THE PROVISIONS OF R303.5 AND R303.6 AND MUST INCLUDE MOTORIZED DAMPERS ACTIVATED BY THE WHOLE HOUSE VENTILATION CONTROLLER. TEST AND VERIFY THAT OUTDOOR AIR INTAKE AT MINIMUM VENTILATION FAN SPEED AND MAXIMUM HEATING OR COOLING FAN SPEED. FAN MUST BE SOUND RATED TO ONE SONE.



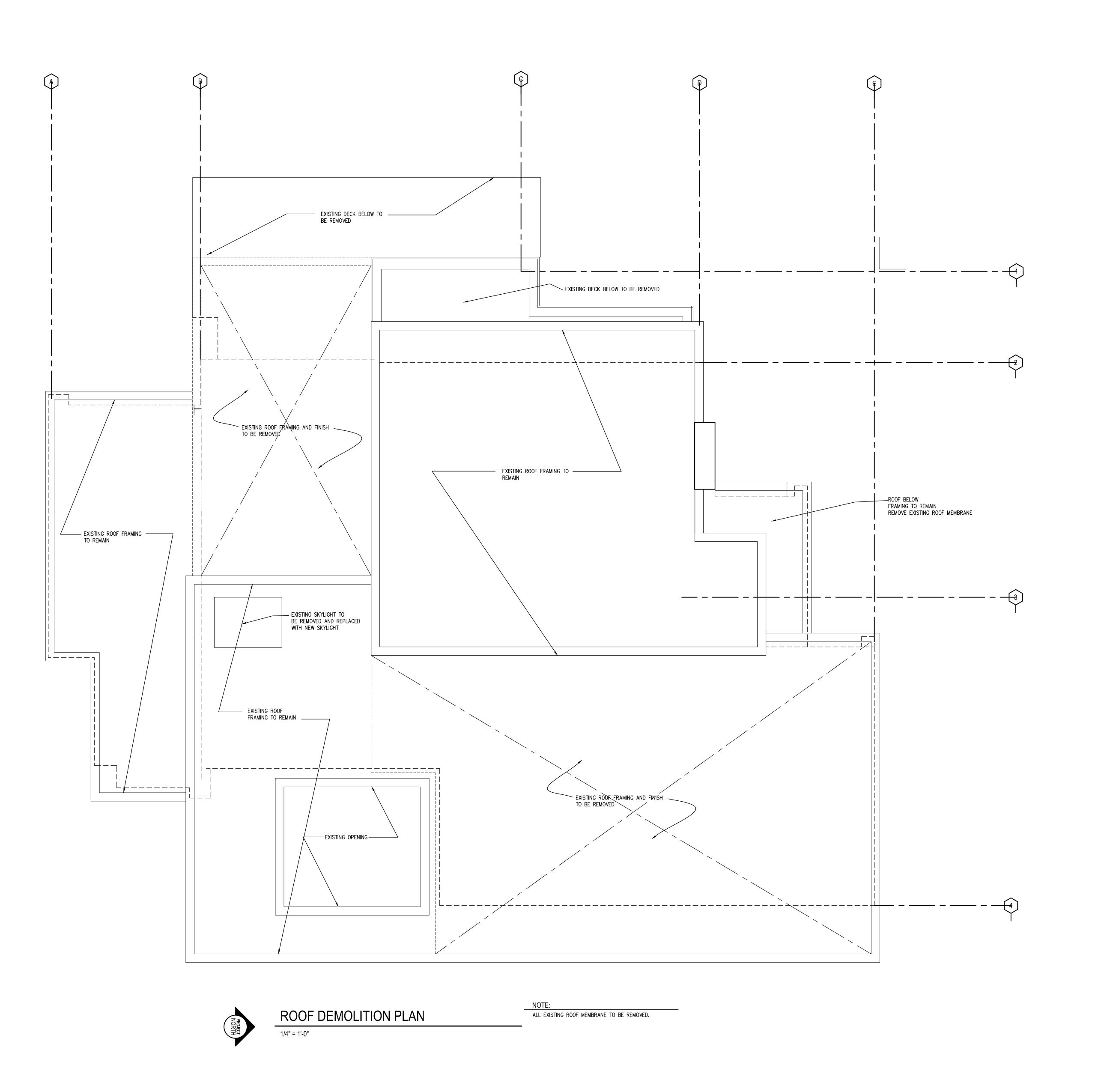
9/28/23 PRICING SET **DEMOLITION**



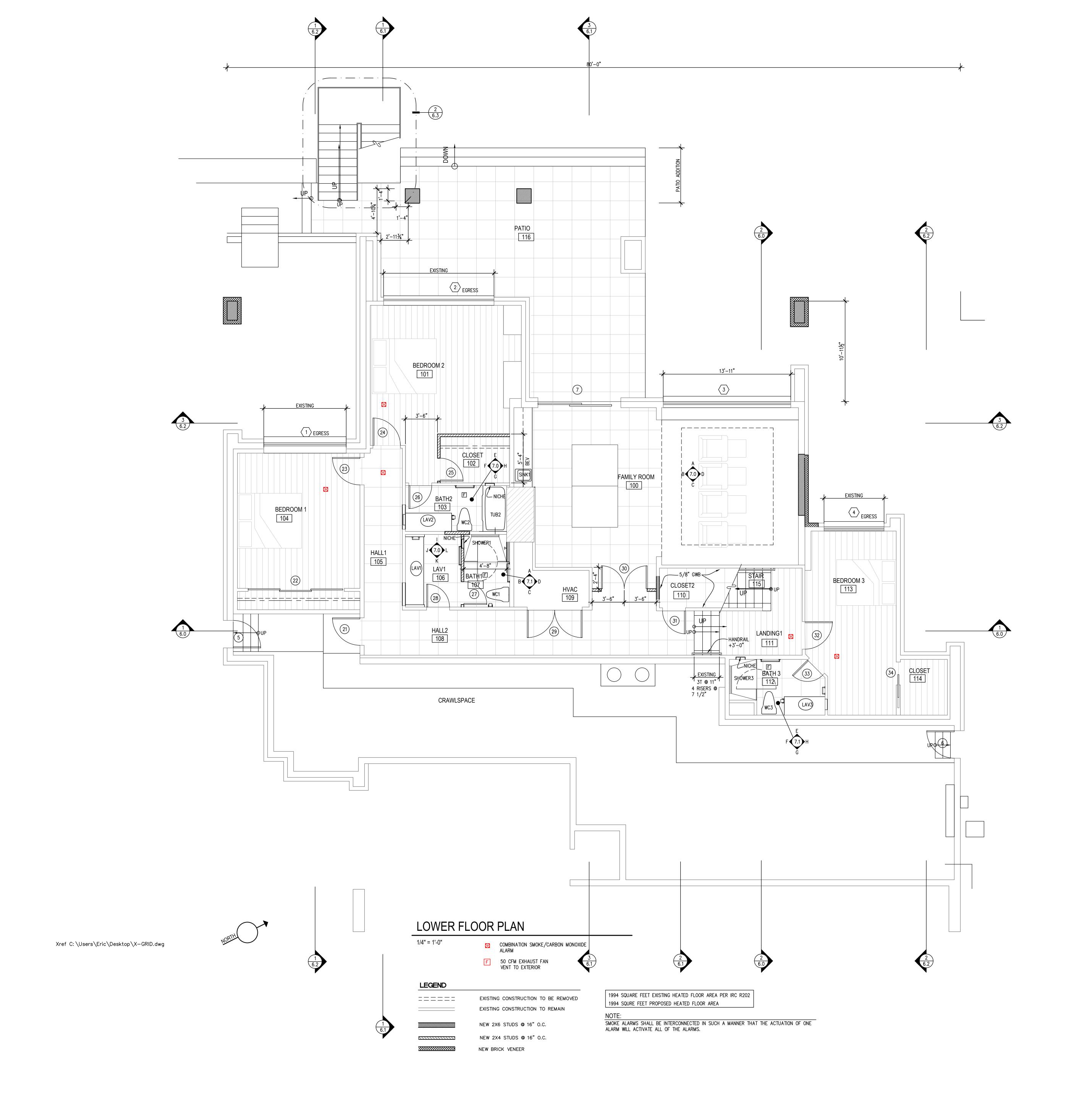
9/28/23 PRICING SET RESIDENCE DEMOLITION PLAN



DEMOLITION PLAN



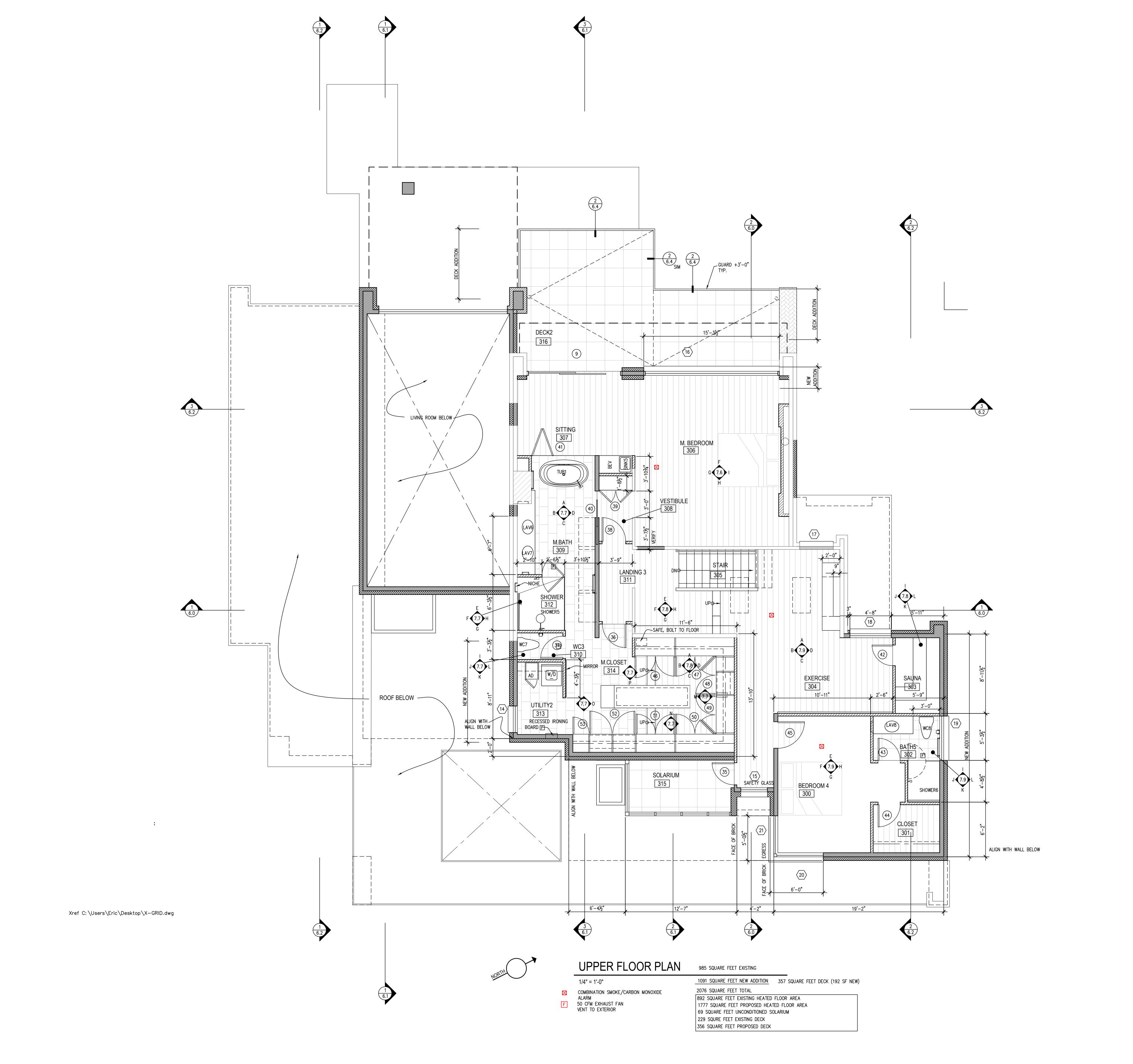
DEMOLITION PLAN



LOWER FLOOR



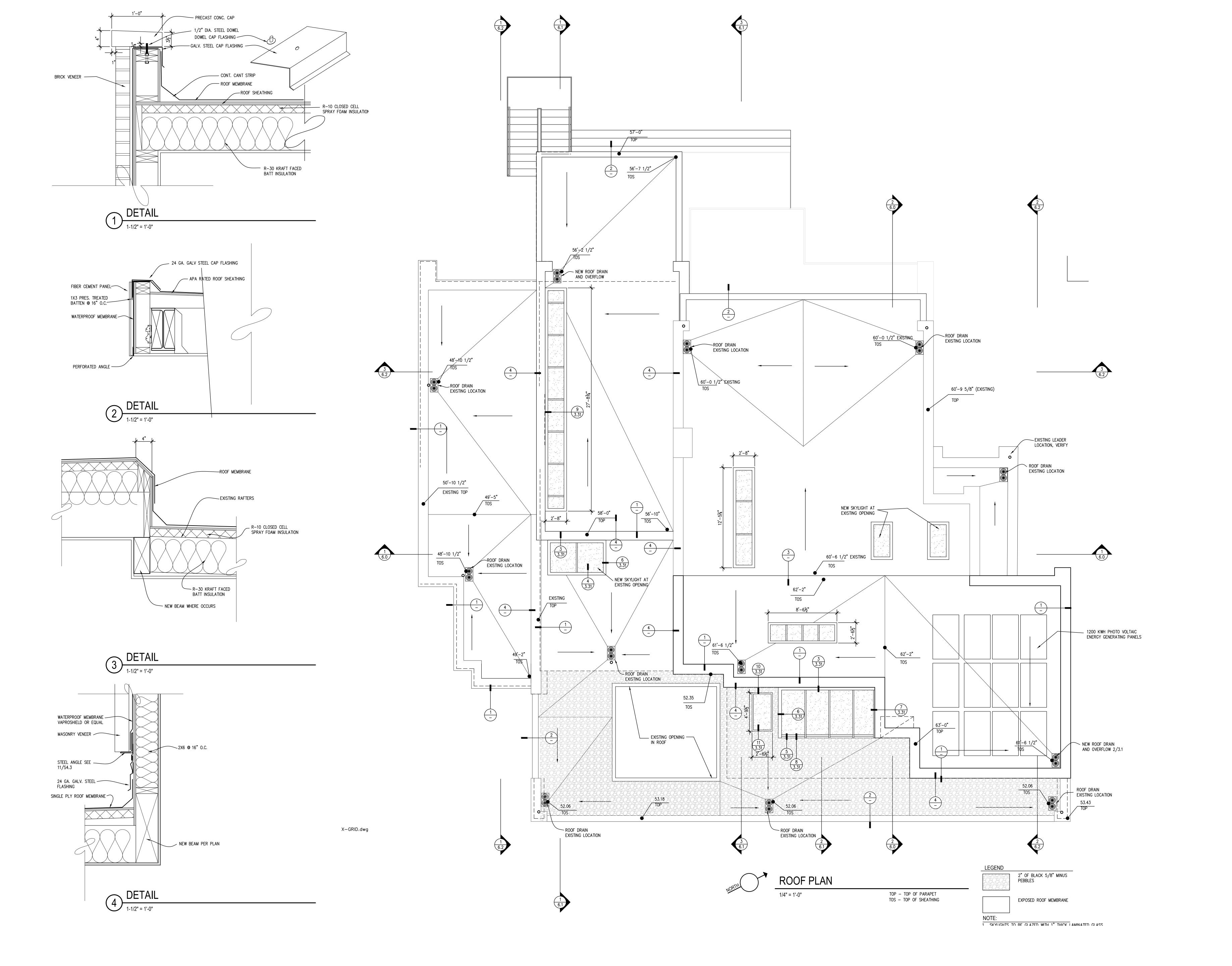
MAIN FLOOR



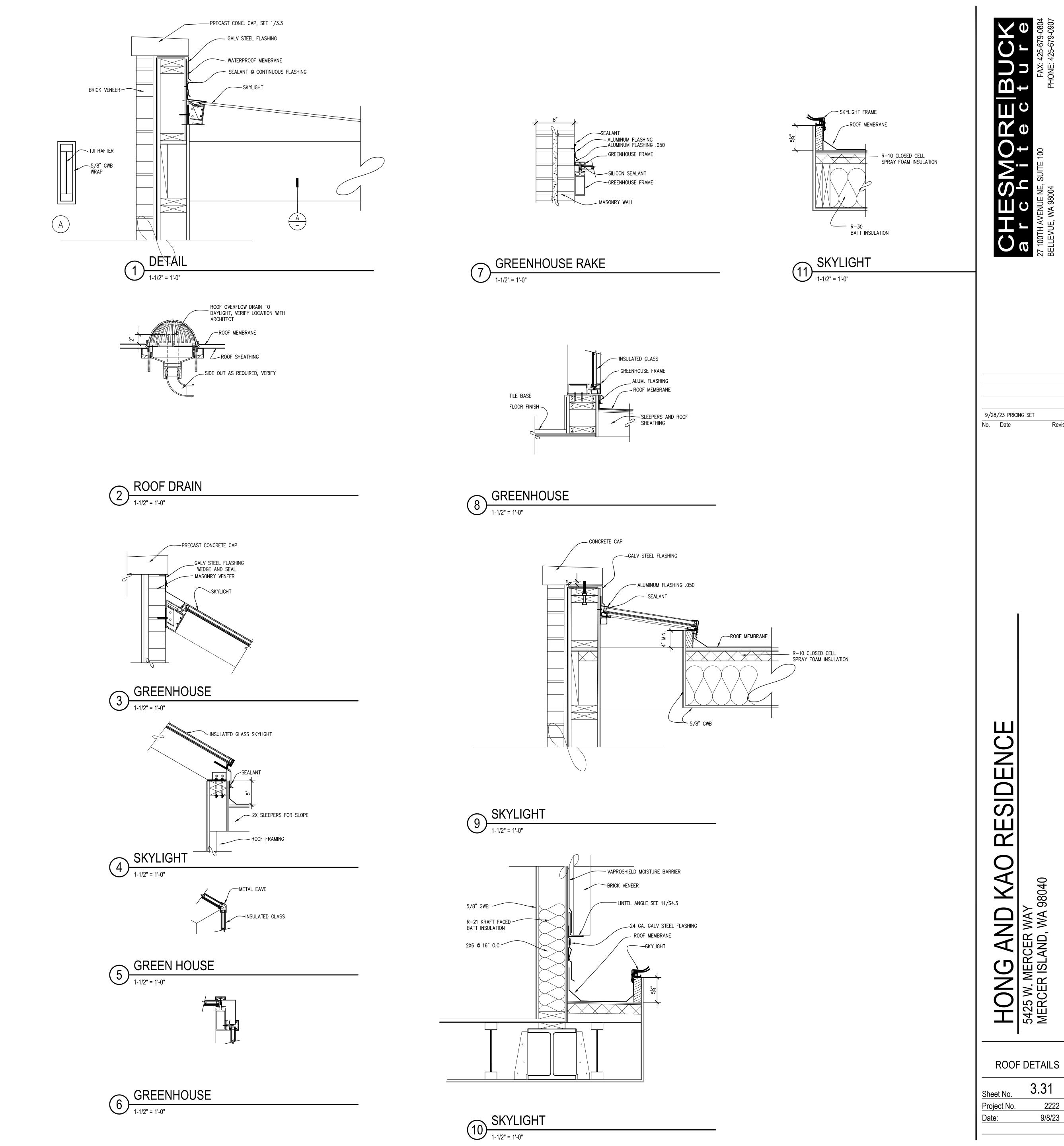


UPPER FLOOR

Sheet No. 9/8/23



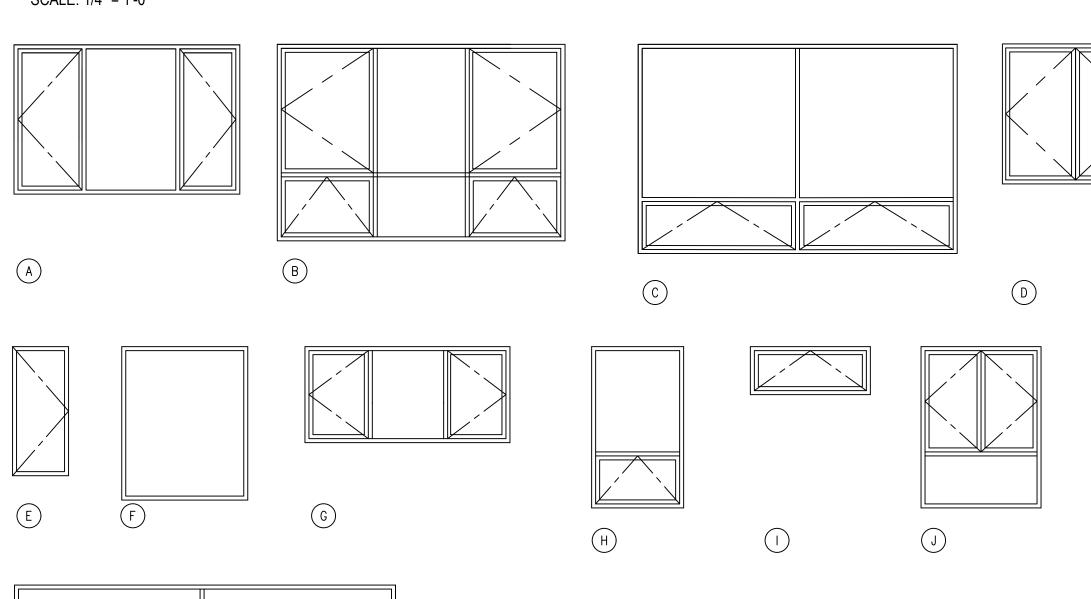
ROOF PLAN 3.3

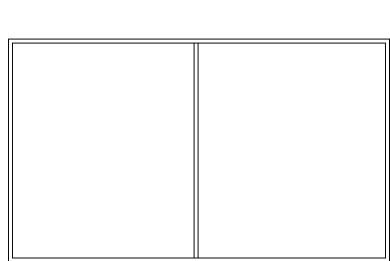


										WINDOWS DV
V	VIN	OOW	SCH	Ε	D	ULE				WINDOWS BY: ALUMINUM CLAD FRAMES; INSULATED HIGH PERFORMANCE GLAZING EXT. FINISH; INT. FINISH; HARDWARE
	ROUGH C	PENING	HEAD HEIGHT		JUE.	DETAILS				
<u> </u>	WIDTH	HEIGHT		TYPE	U-VALUE	HEAD DET#/SHT#	JAMB DET#/SHT#	JAMB DET#/SHT#	SILL DET#/SHT#	REMARKS
1	9'-0"	6'-8"	10'-3"	Α	.30	4/4.3	3/4.3	3/4.3	2/4.3	EXISTING OPENING EGRESS
2	12-0"	7'-10"	9'-3"	В	.30	4/4.3	3/4.3	3/4.3	2/4.3	EXISTING WIDTH EGRESS
3	13–11"	8'-6"	10'-3"	С	.30	1/4.3	3/4.3	5/4.3	2/4.3	-
4	6'-6"	5'-9"	8'-8"	D	.30	6/4.3	3/4.3	3/4.3	2/4.3	- EGRESS
5	2'-4"	4'-10"	7'-11" EXISTING	Ε	.30	6/4.3	3/4.3	3/4.3	2/4.3	-
6	2'-4"	4'-10"	7'-11" EXISTING	Ε	.30	6/4.3	3/4.3	3/4.3	2/4.3	OBSCURE GLASS LLUMAR MATTE FROST GLACIER
6A	2'-4"	4'-10"	7'-11" EXISTING	Ε	.30	6/4.3	3/4.3	3/4.3	2/4.3	OBSCURE GLASS LLUMAR MATTE FROST GLACIER
7	5'-4"	7'-9"	7'-11"	D	.30	11/4.3	7/4.3	15/4.3	2/4.3	- EGRESS PROVIDE FALL PROTECTION
8	12'-6"	7'-9"	7'-11"	F	.30	11/4.3	8/4.3	8/4.3	12/4.3	SAFETY GLASS
9	15'-10"	9'-6"	9'-8"	К	.30	14/4.3	8/4.3	8/4.3	12/4.3	SAFETY GLASS
10	5'-2"	6'-10"	9'-8"	Ε	.30	6/4.3	7/4.3	15/4.3	2/4.3	
11	3'-8"	5'-9"	6'-8"	F	.30	6/4.3	3/4.3	3/4.3	2/4.3	EXISTING OPENING
12	8'-8"	4'-0"	7'-6"	G	.30	6/4.3	3/4.3	3/4.3	2/4.3	EXISTING OPENING PROVIDE FALL PROTECTION
13	12'-1"	8'-0"	9'-8"	С	.30	6/4.3	3/4.3	3/4.3	2/4.3	EXISTING WIDTH
14	3'-0"	6'-6"	9'-6"	Ε	.30	6/4.3	3/4.3	3/4.3	2/4.3	-
15	3'-0"	7'-0"	8'-0"	Ε	.30	6/4.3	3/4.3	3/4.3	2/4.3	SAFETY GLASS
16	15'-3"	8'-3"	8'-3"	С	.30	1/4.3	8/4.3	9/4.3	13/4.3	SAFETY GLASS
17	3'-8"	6'-9"	7'-4"	Н	.30	6/4.3	3/4.3	3/4.3	2/4.3	EXISTING OPENING PROVIDE FALL PROTECTION SAFETY GLASS
18	4'-8"	6'-9"	7'-4"	Н	.30	6/4.3	3/4.3	3/4.3	2/4.3	PROVIDE FALL PROTECTION SAFETY GLASS
19	5'-0"	2'-0"	8'-0"	ı	.30	6/4.3	3/4.3	3/4.3	2/4.3	-
20	5'-3"	7'-0"	8'-0"	J	.30	6/4.3	3/4.3	10/4.3	2/4.3	- EGRESS
21	4'-3"	7'-0"	8'-0"	Н	.30	6/4.3	10/4.3	3/4.3	2/4.3	-

WINDOW TYPES

SCALE: 1/4" = 1'-0"



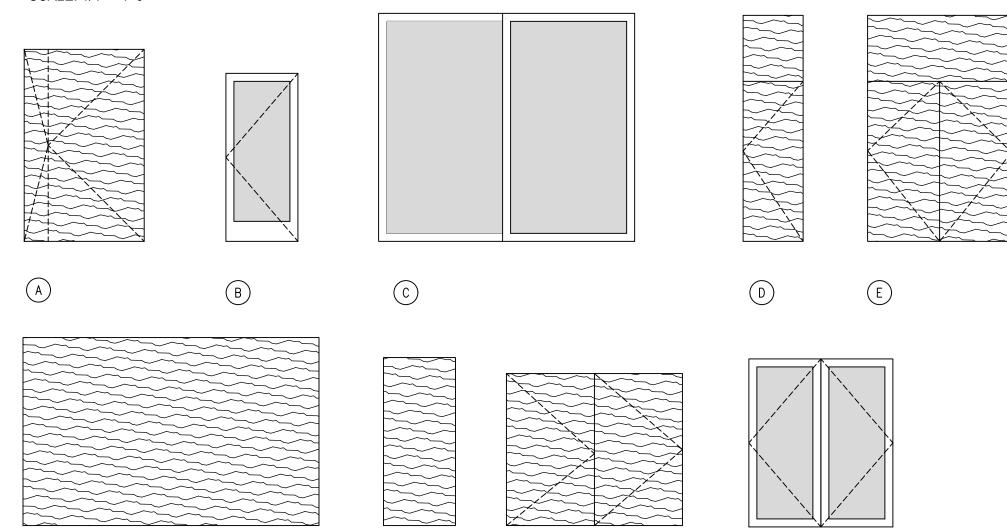


(K)

С	000	R S	CHED	U	L	E	EXTERIO ALUMINU EXT. FIN HARDWA	R DOORS BY JM CLAD FRA IISH IRE	: QUANT MES; INSUL ; INT. F		HIGH	l PEI	RFORN	MANC	E GL	AZINO	<u> </u>	NTER	IOR	DOOF	RS TO BE SOLID CORE
	DOOR DIN (NOTE: VERIFY				-UE	DETAILS					ET			BOLTS	PULL	LATCH	ROLLER	S	ER	WEATHERST.	
(#)	WIDTH	HEIGHT		TYPE	U-VALUE	HEAD DET#/SHT#	JAMB DET#/SHT#	JAMB DET#/SHT#	SILL DET#/SHT#	LOCKSET	LATCHS	DEADBOLT	PRIVACY	FLUS	KNOB	CLOS.	PCKT	BUTTS	CLOSER	WEAT	REMARKS
1	5'-0"	8'-0"	-	A	.30	1/4.2	2/4.2	3/4.2	4/4.2	0	0	•	0	0	•	0	0	0	0	•	RIXSON 375 PIVOT
2	3'-0"	7'-0"	_	В	.30	7/4.2	8/4.2	8/4.2	37/4.2	•				0			0		_		EXISTING ROUGH OPENING
3	10'-8"	9'-6"	_	C	.30	9/4.2	10/4.2	10/4.2	11/4.2	•		_		0					_		LIFT/SLIDE
4	14'-11"	9'-6"		C	.30	12/4.2	10/4.2	10/4.2	11/4.2	•		_		0	-			-			LIFT/SLIDE
5	-	_	_	├-	-	-	-	_	_	0		_		0	-					0	
6	- 0' 0"	- 0' 0"	-	-	70	77 /4 0	74/40	74/40	75 /4 0	0				0	-			-		0	
7	9'-0" NOT	9'-0" USED	<u>-</u> -	C	.30	33/4.2	34/4.2	34/4.2	35/4.2 _				-	0	_	-	-	-+		0	LIFT/SLIDE
8 9	10'-8"	8'-2"	-	C	.30	9/4.2	10/4.2	10/4.2	_					0							LIFT/SLIDE
10	2'-6"	7'-10"		D	-	14/4.2	15/4.2	15/4.2	_	0			_	0	_	_	_	-	-	0	·
11	PR 3'-0"	7'-10"	_	E	-	18/4.2	16/4.2	17/4.2	_	0		_		0	•	\rightarrow	0	\rightarrow			RIXSON 128-3/4
12	2'-6"	7'-10"		D	-	14/4.2	15/4.2	15/4.2	_	0					0		0	-	_	0	
13	2'-6"	7'–10"	_	D	-	14/4.2	15/4.2	15/4.2	_	0				0			0			0	
14	2'-6"	7'-10"	_	D	-	14/4.2	15/4.2	15/4.2	_	0				0		_	_	-		0	
15	12'-4"	7'-10"	_	F	-	19/4.2		_	-	0	0	0	0	0	•	0	0	0	0	0	BARN DOOR HARDWARE
16	2'-8"	7'-0"	-	G	-	22/4.2	20/4.2	21/4.2	-	0			-	0	•	0	•	0	0	0	POCKET DOOR
17	2'-8"	7'-0"	-	G	-	15/4.2	15/4.2	15/4.2	-	•	0	•	0	0	0	0	0	•	•	•	SOLID CORE WITH CLOSER
18	4'-4"	9'-6"	_	F	_	19/4.2	_	_	_	0	0	0	0	0	•	0	0	0	0	0	BARN DOOR HARDWARE
19	NOT	USED	<u>-</u>	_	-	-	_	-	_	0	0	0	0	0	0	0	0	0	0	0	_
20	2'-8"	-	_	D	-	22/4.2	23/4.2	21/4.2	-	0	0	0	•	0	0	0	•	0	0	0	POCKET DOOR
21	3'-0"	7'-0"	_	D	-	15/4.2 SIM	15/4.2 SIM	15/4.2 SIM	_	0				0							
22	3@ 3'-6"	-	_	G	-	24/4.2	25/4.2	26/4.2	-				-+	-	_	\rightarrow	\rightarrow	-	_		SLIDING DOOR
23	3'-0"	10'-2"	-	D	-	14/4.2	15/4.2	15/4.2	_				•	-	_	\rightarrow	\rightarrow	-	_		
24	3'-0"	10'-2"	_	D	-	14/4.2	15/4.2	15/4.2	_		_	_	-+	0	_	\rightarrow	\rightarrow	-	_	0	
25	2'-6"	8'-0"		D	-	14/4.2	15/4.2	15/4.2	_	-	•		-+	0	_	\rightarrow	\rightarrow	-	_	0	
26	2'-6"	8'-0"	-	D	-	14/4.2	15/4.2	15/4.2	_	0			-	0	-	\rightarrow	\rightarrow	\rightarrow	_	0	
27	2'-6"	8'-0"	-	D	-	14/4.2	15/4.2	15/4.2	_		_	_	•	-	_	\rightarrow	\rightarrow	-	_		
28	2'-6" PR. 3'-0"	8'-0" 8'-0"	<u>-</u> -	D D	-	14/4.2 14/4.2	15/4.2 15/4.2	15/4.2 15/4.2	_		_	_	0	-	_	\rightarrow	\rightarrow	-	_		
29 30	PR. 2'-6"	9'-2"		D	-	14/4.2	15/4.2	15/4.2			•		-+	0	_	\rightarrow	\rightarrow	-	_	0	
31	2'-6"	8'-0"		D	-	14/4.2	15/4.2	15/4.2	_		•	-	-+	0	_	\rightarrow	\rightarrow	-	_	0	
32	2'-6"	9'-2"	_	D	1-1	14/4.2	15/4.2	15/4.2	_	0			-	0	-	\rightarrow	\rightarrow	\rightarrow	_	0	
33	2'-6"	8'-0"	_	D	-	14/4.2	15/4.2	15/4.2	_				•		-	\rightarrow	\rightarrow	\rightarrow	_		
34	2'-6"	8'-0"	_	G	-	22/4.2	20/4.2	21/4.2	_		•	_	-	0	-	\rightarrow	\rightarrow	\rightarrow	_		
35	2'-6"	8'-0"	-	В	-	7/4.2	8/4.2	8/4.2	-	0	•	0	0	-	_	\rightarrow	\rightarrow	-	_		-
36	2'-6"	8'-0"	-	D	-	14/4.2	15/4.2	15/4.2	-	0	0	0	•	0	0	0	0	•	0	0	-
37	2'-6"	8'-0"	-	D	_	14/4.2	15/4.2	15/4.2	-	0	0	0	•	0	0	0	0	•	0	0	-
38	2'-8"	8'-2"	-	D	_	14/4.2	15/4.2	15/4.2	-	0	_	_	-+	0	_	\rightarrow	\rightarrow	-	_	0	
39	PR. 1'-10"	-	1-3/8" THICK	E	-	27/4.2	29/4.2	29/4.2	28/4.2						-			-			PIVOT DOORS
40	3'-2"	8'-0"	-	G	-	30/4.2		26/4.2 SIM	_				-		-			-			POCKET DOOR
41	PR. 3'-8"	6'-5"	_	Н	-	31/4.2		32/4.2 SIM	_	-	-		_		-	_	_	-	-		BIFOLD DOOR
42	-	-	-	-	-	-	-	-	-	-	_		-+	-	_	\rightarrow	\rightarrow	-			SAUNA DOOR
43	2'-6"	8'-4"	_	-	-	14/4.2	15/4.2	15/4.2	_			_	_	0	_			-		0	
44	2'-6"	8'-4"	_	-	-	14/4.2	15/4.2	15/4.2	-		-			0	_					0	
45	3'-0" PR.2-2 1/2"	8'-4"	- -	-	-	14/4.2	15/4.2	15/4.2 _	30 /4 2			_		0		<u> </u>				0	OBSCURE GLASS LLUMAR MATTE FROST GLACIER
'0	PR.2-2 1/2"	6'-3" 6'-3"	<u>-</u> -		-	38/4.2 38/4.2	<u>-</u>	_	39/4.2 39/4.2	0		0			_	•	-	-+	_		OBSCURE GLASS LLUMAR MATTE FROST GLACIER OBSCURE GLASS LLUMAR MATTE FROST GLACIER
47	PR.2'-2"	6'-3"			-	38/4.2		_	39/4.2	0						-	0	-+			OBSCURE GLASS LLUMAR MATTE FROST GLACIER OBSCURE GLASS LLUMAR MATTE FROST GLACIER
49	PR.2'-2"	6'-3"	_	 '	_	38/4.2	_	_	39/4.2	0					•	-	0	-+			OBSCURE GLASS LLUMAR MATTE FROST GLACIER
	PR.2-2 1/2"	6'-3"			-	38/4.2	_	_	39/4.2	0		_					0		_		OBSCURE GLASS LLUMAR MATTE FROST GLACIER
	PR.2-2 1/2"	6'-3"			-	38/4.2	_	_	39/4.2	0		_				-	0	-+	-+	0	
52	PR.2'-6"	7'-6"	_	1	-	38/4.2		_	39/4.2	0		_					0	-+	_		OBSCURE GLASS LLUMAR MATTE FROST GLACIER
53	2'-0"	7'-6"	_		-	38/4.2	_	_	39/4.2	0	_	0				•			_	0	OBSCURE GLASS LLUMAR MATTE FROST GLACIER
54	9'-6"	7'-0"	_	1	-	41/4.2	16/4.3	40/4.2	·	0				0	-	-+	-+	-+	0	0	
	9'-6"	7'-0"	_	1	-	41/4.2	40/4.2	40/4.2		0			_	0	0	0	0	0	0	0	
55						<u> </u>		<u> </u>		_ '	_ '	_ '	_ '	_ '	_ '						<u> </u>

DOOR TYPES

SCALE: 1/4" = 1'-0"



DOOR HARDWARE NOTES:

- 1. POCKET DOOR PULLS TO BE BALDWIN SANTA MONICA SMALL FINISH 056 SATIN NICKEL, SEE SCHEDULE FOR FUNCTION 2. PASSAGE DOOR HARDWARE TO BE BALDWIN MORTISE LATCH (6110.056.R) LO22 LEVER, AND 5032 ROSE, 056 SATIN NICKEL, SEE SCHEDULE FOR FUNCTION
- HINGES, STRIKES AND MISC. PARTS ARE TO MATCH FINISH OF LEVER 3. BARN DOOR TRACK TO BE MWE TWIN ST.1011.TW BRUSHED CHROME OR EQUIVALENT, PULLS TO BE MWE LUNA TG.1511.30

9/28/23 PRICING SET

SCHEDULES

Ρl	UMB	ING FIXT	URE SCI	HEDULI	<u> </u>	
MARK	FIXTURE	MANUFACTURER	MODEL NO.	FINISH/COLOR	FITTING	REMARKS
LAV1	_	KOHLER	LADENA K-2214	_	HANSGROHE 71710821	-
LAV2	_	KOHLER	LADENA K-2214		HANSGROHE 71710821	-
LAV3	_	KOHLER	LADENA K-2214		HANSGROHE 71710821	-
LAV4	_	KOHLER	LADENA K-2214	_	BRIZO 65035LF-GL-ECO	-
LAV5	_	KOHLER	K-2773-G3-B11	OPAQUE DOE	BRIZO R65700 VALVE, T65735LF- GL-ECO TRIM	RP72414GL DRAIN
LAV6	_	KOHLER	LADENA K-2214-0	_	65368LF-GLLHP-ECO, HK5367-GL HANDLE	-
LAV7	_	KOHLER	LADENA K-2214-0	_	65368LF-GLLHP-ECO, HK5367-GL HANDLE (BRIZO)	-
LAV8	_	KOHLER	LADENA K-2214-0	_	BRIZO 65368LF-GLLHP-ECO FAUCET	-
_	_	-	_	_	TINGGO7 OE TIMBLE	-
SHOWER1	_	HANSGROHE	04233820 TRIM		28632820 BAR, HG26036821 HEAD	01850181 VALVE, 27458823 ELBOW, GROHE 228417ENO HOSE
SHOWER2	NOT USED	-	_	_	-	
SHOWER3	_	HANSGROHE	04231820 TRIM		28632820 BAR, HG26036821 HEAD	01850181 VALVE, 27458823 ELBOW
SHOWER4	_	BRIZO	R60000-UNBX VALVE		HL60P33-GL HANDLE, T60P035- GLLHP TRIM, 85521-GL BAR	-
SHOWER5	_	BRIZO	R75000 VALVE, HL7567-GL		RP71648GL ARM, 81392-GL HEAD 88767-GL BAR, T75506-GLLHP TRII	_
SHOWER6	_	BRIZO	R60000-UNBX VALVE, T60006-GLLHP TRIM		HL6067 HANDLE, 88767-GL BAR	_
	_	-		_	-	-
SINK1	_	KOHLER	K-5287-NA	_	BRIZO 61063LF-BLGL	K-8799 DRAIN & STRAINER
SINK2	_	KOHLER	K-12794	_	SIGNATURE HARDWARE 465186	K-9115 STRAINER, K-9000 TRAP
SINK3	_	KOHLER	K-5285-NA *OPTIONS	_	BRIZO 61063LF-BLGL BRIZO 61063LF-C-BLGL	L-8799-BN STRAINER, K-11352-BN STOPPER K-77686-NA FILTER,
SINK4	_	KOHLER	K-5287-NA	_	BRIZO 61063LF-BLGL	L-8799-BN STRAINER, K-11352-BN STOPPER K-77686-NA FILTER,
SINK5	_	KOHLER	K-5287-NA	_	CALFAUCETS K51-111-XX	K-8801-VS
	_	-	_	_	-	-
WC1	TOILET	SIGNATURE HARDWARE	447355	_	-	-
WC2	TOILET	SIGNATURE HARDWARE	447355	_	K-10349-0 SEAT	-
WC3	TOILET	SIGNATURE HARDWARE	447355	_	K-10349-0 SEAT	-
WC4	TOILET	SIGNATURE HARDWARE	447355		K-10349-0 SEAT	-
WC5	TOILET	KOHLER	K-46006-0	_	-	-
WC6	TOILET	SIGNATURE HARDWARE	447355	_	K-10349-0 SEAT	-
WC7	TOILET	KOHLER	K-77780-0	_	-	-
WC8	TOILET	SIGNATURE HARDWARE	447355	_	K-10349-0 SEAT	-
_	_	-	_	_		_
TUB1	TUB	SIGNATURE HARDWARE	466612		BRIZO T70310-ALL-TW-F-GL FILLEI R70200 VALVE	
TUB2	TUB	JACUZZI	LNS6032BRXXXXW, MF35826 DRAIN	_	HANSGROHE 04233820 TRIM 01850181 VALVE, 26036821 HEAD	28632820 BAR, 27458823 ELBOW, 72411821 SPOUT 28417ENO HOSE
	_	-	-	_	-	-
	_	-	-	_	_	-

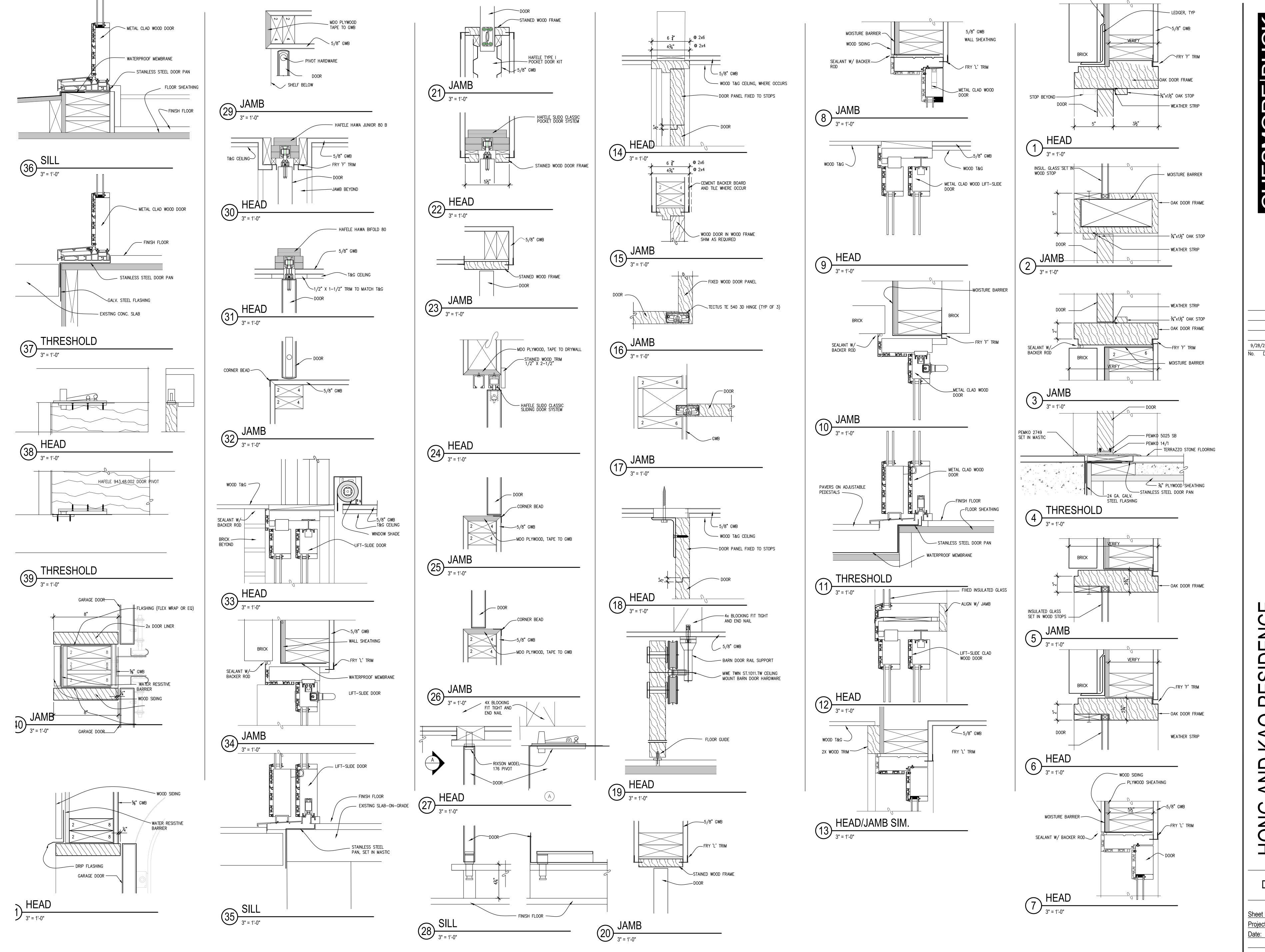
A	PPLIAN	ICE SCH	EDULE		O.P.C.I. = OWNER TO PROVIDE/CONTRACTOR TO INSTALL
MARK	PRODUCT	MANUFACTURER	MODEL NO.	FINISH/COLOR	REMARKS
DW1	DISHWASHER	WOLF-COVE	DW2450	9019419 STAINLESS PANEL, TUBULAR HANDLE	-
DW2	DISHWASHER	WOLF-COVE	DW2450	9019419 STAINLESS PANEL, TUBULAR HANDLE	
W/D	STACK WASHER/DRYER	LG	WKEX200HGA	-	120 VOLT 10 AMP, 240 VOLT 30 AMP
REFER1	REFRIGERATOR	SUB ZERO	DET3050CI/L	7023628 DUAL INST. HANDLE PANEL FRONT	115 VOLT, 15 AMP
REFER2	REFRIGERATOR	SUB ZERO	DET3050CI/R	PANEL FRONT	115 VOLT, 15 AMP
OVEN	WALL OVENS	WOLF	D03050TE/S/T	-	240/208 VOLT, 50 AMP
MICRO	MICRO WAVE OVEN	WOLF	MDD30TE/S/TH	-	120 VOLT, 15 AMP
CKTP1	INDUCTION COOKTOP	WOLF	CI365TF/S	-	3-WIRE, 240/208 VOLT, 50 AMP
CKTP2	GAS COOKTOP	WOLF	MM15TF/S		120 VOLT, 15 AMP, 3/4" GAS
HOOD	EXHAUST HOOD	WOLF	PL582212 1200 CFM	814423 BLOWER, PL522212 LINER	120 VOLT, 2.4 AMP PER BLOWER, SEE NOTE 1 BELOW
W.	WASHER	ELECTROLUX	ELFW7637AT	TITANIUM COLOR, EPWD257UTT PED	120 VOLT, 15 AMP
D.	DRYER	ELECTROLUX	ELFE7637AT	TITANIUM COLOR, EPWD257UTT PED	240 VOLT, 30 AMP
AD	AIRDRESSER	SAMSUNG	DF60A8500CG		120 VOLT
BEV	BEVERAGE REFER	ZEPHYR	PRB24C01CPG		115 VOLT, 1.5 AMP
WD	WARMING DRAWER	WOLF	WWD30	829839 FRONT	120 VOLT, 15 AMP
DISP	DISPOSAL	INSINKERATOR	BADGER5XPWC	BRIZO 69080-BL SWITCH	

^{1.} PROVIDE MAKEUP AIR AT A RATE EQUAL TO THE EXHAUST AIR RATE. PROVIDE AT LEAST ONE DAMPER COMPLYING WITH IRC M1503.6.2. DAMPER SHALL BE GRAVITY OR ELECTRICALLY OPERATED THAT OPENS WHEN EXHAUST SYSTEM OPERATES.

SF	PECIAL	TIES SCI	HEDULE			
MARK	PRODUCT	MANUFACTURER	MODEL NO.	FINISH/COLOR	LOCATION	REMARKS
GAS LOG	_	RH PETERSON	SPLIT OAK DESIGNER PLUS 36" (SPD-36)	-	LIVING	-
GLASS DOOR	FIREPLACE DOOR	STOLL DOOR	ELITE THINLINE	STANDARD FINISH	LIVING	-
SAFE	_	AMERICAN SECURITY	EST1014	-	-	9-3/4"H X 14-1/8"W X 7-3/4"D
TIE RACK	_	HAFELE	807.54.633	MATT NICKEL	-	-
BELT RACK	_	HAFELE	807.54.631	MATT NICKEL	-	-
PANT RACK	_	HAFELE	805.58.635	MATT NICKEL	-	-
HAMPER	PULL-OUT HAMPER	HAFELE	807.52.631	MATT NICKEL	-	-
IRON	IRONING BOARD	IRONAWAY	AE-42	-	-	-
ROD	CLOTHES ROD	HAFELE	830.28.710	MATT NICKEL	VARIOUS	VERIFY LENGTHS

		MATEF	ASE		CAS	SING	WALLS			CEILI	NG	FINI		CASI	NG \	WALLS			NG		
OOM NAME	<u> </u> <u>i</u>	У мт	L. [DET.#/SHT.#	DR.	WIN.	N E	_		MTL.	HEIGHT	FLOOR	BASE	DR.	WIN.	N E	_	W	S CEILING	REMARKS	
COOM 2	100 F5	/F3 B F4 B	+	1/8.0	-	-	W1 W		W1 W1	C1/C2 S	10'-2"	X1/S2 X1	_	-				-	P/ST1 -	* EXISTING * EXISTING	
.T 2		F4 B		1/8.0 1/8.0-1A/8.0	-	-	W1 W W6 W6/	N7 W1		C1 C1	8'-0" 8'-0"	X1 S2	-	-				-	-		
ROOM 1		F4 B	+	1/8.0 1/8.0	-	-	W1 W			C1 C1	10'-2" 10'-2"*	X1 S2	-	-				-	-	* EXISTING	
1	+ +	-3 B1/		1/8.0 1/8.0–1A/8.0	-	-	W1 W			C1	8'-0" 8'-0"	S2 S2	-	-				-	-		
ER1	F	6		,	_	_	W3 W	<u> </u>		C1 C1			_	-	_		_	_			
!	+ +	F3 B		1/8.0	-	-	W1 W			C1 C1	10'-2"*	S2 S1	-	-				-	-	* EXISTING * EXISTING	
ET2 IING	+ +	F3 B2	+	- 1/8.0	-	-	W1 W			C1 C1	10'-2"* 10'-0"*	S2 X1	-	-				-	1	* EXISTING * EXISTING	
3 WER3		F3 B1/	W8 1	I/8.0-1A/8.0	_	-	W1 SS			C1 C1	8'-0" *	S2	_	-	-		_	-	-	* EXISTING	
ROOM3	113 F	-4 B		1/8.0	_	-	W1 W	l W1	W1	C1	9'-2" *	X1	_	-	-		_	_	-	* EXISTING	
SET IR	114 F 115 F4	F4 B /F11 B		1/8.0 1/8.0	-	-	W1 W	l W1	W1	C1 C1	9'-2" * VARIES *	X1 X1	-	-			- -	-	_	* EXISTING * EXISTING	
0 RY	+ +	F2 B	+	1/8.0 1/8.0	-	-	W		-	C2 C2	9'-6" *	S2 S2	-	-				-	ST1	* EXISTING	
IC _3	+ +	7 B		1/8.0	-	-	W1 W		_ W1	C2 C2	9'-6" * 9'-6" *	S2 S2	-	-			_	-		* EXISTING * EXISTING	
	203 F	-7 B	1	1/8.0	-	_	W1 W	l W1	W1	C1	9'-6" *	S2	_	_	_		_	_	_	* EXISTING	
ry .ge	205	F1 B:	_	1/8.0	-	-	W1 W			C1	9'-6" 8'-4"	S2 S1	-	-			_	-	_	* EXISTING	
NG2 EN	+ +	F4 B		1/8.0	-	-	W1 W		W1 W1	C2 C2	8'-6" * 9'-6" *	X1 S2	-	-			- -	1	ST1 ST1	* EXISTING * EXISTING	
KFAST RY	+ +	-7 -		- 1/8.0	-	-			W1 W1	C2 C1	9'-6" * 9'-6"	S2 S2	-	-			_	-	ST1	* EXISTING	
G	210 F	7 -		_	-	_	- w	1 -	_	C2	9'-6"	S2	_	_	_			_	ST1		
G ROOM CE	212 F	7 B		1/8.0	_	-	W1 W			C2 C1	15'-6" 7'-10"*	S2 S2	_	-			-	-	ST1 -	* EXISTING	
SET	+ +	7 B		1/8.0 1/8.0	-	-	W1 W			C1	7'-10" [*] 7'-10" [*]	S2 S2	-	-			_	-	-	* EXISTING * EXISTING	
14 WER 4	+ +	7 B1/	W10 1	I/8.0-1A/8.0	-	-	W10 W1		W1 W10	C1 C1	7'-10"*	S2	_	-	-		_	-	_	* EXISTING	
TS	216 F	-7 B	+	1/8.0	_	-	W1 W	l W1	W1	C2	7'-10"*	S2	_	-				-		* EXISTING * EXISTING	
DER (1	+ +	7 B		1/8.0	-	_	W1 W		W1 -	C2 C2	7'–10" ^{**}	S2 S1	-	-			_	_	ST1 ST1	* EXISTING	
OOM4		 -4 B		- 1/8.0	-	-	W1 W	l W1	W1	- C1	- 8'-8"	_ X1	-	-			-	-	-		
SET H5	301 F	F4 B		1/8.0 1/8.0-1A/8.0	-	-	W1 W		W1 W13	C1	8'-8" 8'-8"	X1 S2	-	-			-	-	-		
WER6	F	10	W15 '				W12 W1	2 W12	_	C1											
NA PCISE	304 F	- B	_	1/8.0	-	_	— — — W1 W	l W1		- C1	- 8'-6"	X1	-	-			_	_	-		
DROOM	305 F4	/F11 B	_	1/8.0 1/8.0	-	-	- W			C2 C2	8'-0 * 8'-3" *	X1 X1	-	-			_	-		* EXISTING * EXISTING	
IG BULE	+	F4 B		1/8.0 1/8.0	-	-	- W			C2 C2	8'-3" * 8'-3" *	X1 X1	-	-			_	-		* EXISTING * EXISTING	
ATH		12 B		1/8.0	-	-	W1 –			C2 C2	8'-0" * 8'-0" *	S2 S2	-	-				-		* EXISTING * EXISTING	
DING3	311 F	-4 B	1	1/8.0	-	_	- W	1 W1		C2	8'-6" *	X1	-	_	-			-	ST1	* EXISTING	
ER5 Y2		12 B	1	- 1/8.0	-	-	w		— W1	C2 C2	8'-0" [*] 9'-8"	- S2	-	-			_	_	ST1 ST1	* EXISTING	
SET	314 F12	2/F4 B F2 -	_	1/8.0	-	-	W1 W			C2 9	'-8"/ 8'-8" VARIES	S2/X1 S1	-	-			_	-	ST1		
ORING EXPOSED CONCRET PAVERS	E (EXISTIN	IG)		F11 -	MTL:	KATH.	CARPET A LIVING					IFR: (UNITED	TILE				MFR	ID SUF : QU :: CA	RFACE	MISCELLANEOUS M1 - FABRIC MTL: FABRIC WALL MFR: ARCHITEX PATTERN: WHAT THE FRAY
MFR: DALTILE	PORCELAIN		RS		COLO	TENT: 1	WORKS RUI 100% NYLO Y ROOM				C S	OLOR: IZE: ISTALL	AV3 12" X					FINI	SH: N CKNESS	MATTE	COLOR: SANDAL WOOD TBD M2 — FABRIC MTL: FABRIC
				F12 ·	- TILE	E: SUR(GED YARD	TBSELEC	IED		W9 - TII	LE						INS	E: ΓALL:	PROVIDE SEAM LAYOUT PRIOR TO INSTALL	MFR: HOLLY HUNT OUTDOOR OR PERENNIALS
MODEL: TREAD COLOR: LUMINAR THICKNESS: 3/4 SIZE: 24" X 24" - PORCELAIN TILE MFR: DALTILE	•			F12 ·	MTL MFR	E: SURO - : MAR :: MET		AND	GRANITE		MF	TL: NA FR: M	ISI	STONE		TINIT	SS2	– NA ⁻ MTL	E: FALL: FURAL : SOL	TO INSTALL STONE LID SURFACE NATURAL STONE	MFR: HOLLY HUNT OUTDOOR OR PERENNIALS PATTERN: TBD M3 — LEATHER
MODEL: TREAD COLOR: LUMINAR THICKNESS: 3/4 SIZE: 24" X 24" - PORCELAIN TILE MFR: DALTILE MODEL: DIGNITA	, RY RY WHITE	DR07			MTL MFR PAT FINI SIZE	E: SURO : MAR : MET TERN: SH: HO	GED YARD RBLE TILE A MARBLE CALACAT	AND	GRANITE	HONED	M7 MF P7 CC SIZ	TL: NA FR: M ATTERN OLOR: ZE: 1	ISI I: VE SILVE	N CUT R BROW	TRAVER	TINE	SSZ	- NA MTL MFR COL FINI	E: FALL: FURAL : SOL : ME OR: F SH: F	TO INSTALL STONE LID SURFACE NATURAL STONE TA MARBLE AND GRANITE HONEY ONYX POLISHED	MFR: HOLLY HUNT OUTDOOR OR PERENNIALS PATTERN: TBD
MODEL: TREAD COLOR: LUMINAR THICKNESS: 3/4 SIZE: 24" X 24" - PORCELAIN TILE MFR: DALTILE MODEL: DIGNITA COLOR: LUMINA	, RY RY WHITE	DR07			MTL MFR PAT FINI: SIZE — TILE MTL MFR	E: SURGE: MAR MET TERN: SH: HG 12" MAT MAT MAT MAT MAT MAT MAT MA	GED YARD BLE TILE A MARBLE CALACAT ONED X 24" TURAL STO	TAND TA CAF	GRANITE PRARA I	HONED	MT MF PA CC SIZ W10 — T MT	TL: NA FR: M ATTERN DLOR: ZE: 1 ILE TL: PO	ISI I: VEI SILVE 2" X 2 RCELA NITED	N CUT R BROW 24" N TILE TILE/CF	TRAVER 'N			- NA MTL MFR COL FINI THIO 3 - SO	E: FALL: FURAL : SOL : ME OR: I SH: F CKNESS	TO INSTALL STONE LID SURFACE NATURAL STONE TA MARBLE AND GRANITE HONEY ONYX	MFR: HOLLY HUNT OUTDOOR OR PERENNIALS PATTERN: TBD M3 - LEATHER MTL: LEATHER UPHOLSTERY MFR: HOLLY HUNT PATTERN: STINGRAY FINISHES
MODEL: TREAD COLOR: LUMINAR THICKNESS: 3/4 SIZE: 24" X 24" - PORCELAIN TILE MFR: DALTILE MODEL: DIGNITA COLOR: LUMINA SIZE: 24" X GROUT: - HARDWOOD MFR: CARLISLE	, RY RY WHITE 24" WIDE PLA		ORS		MTL MFR PAT FINI: SIZE — TILE MTL MFR PAT FINI	E: SURGE: : MAR :: MET :TERN: SH: HG: :: 12" :: NAT R: DAL :TERN: SH:	GED YARD BLE TILE TA MARBLE CALACAT ONED X 24" TURAL STO	TAND TA CAF NES	GRANITE PRARA I	HONED	MT MF PA CC SIZ W10 — T MT MF PA CC	TL: NA FR: M ATTERN DLOR: ZE: 1 ILE TL: POI FR: U ATTERN DLOR:	ISI I: VEI SILVE 2" X 2 RCELA NITED I: GO AV32	N CUT R BROW 24" N TILE TILE/CF THAM 2 PENTI	TRAVER IN ROSSVILL			- NA MTL MFR COL FINI THIO 3 - SC MT	E: FALL: FURAL: SOLUTION FOR: F	TO INSTALL STONE LID SURFACE NATURAL STONE TA MARBLE AND GRANITE HONEY ONYX POLISHED S: 1-1/4" SLAB JRFACE UARTZ TRATUS QUARTZ LEVINA	MFR: HOLLY HUNT OUTDOOR OR PERENNIALS PATTERN: TBD M3 - LEATHER MTL: LEATHER UPHOLSTERY MFR: HOLLY HUNT PATTERN: STINGRAY FINISHES X1 - FACTORY FINISH P1 - PAINT
MODEL: TREAD COLOR: LUMINAR THICKNESS: 3/4 SIZE: 24" X 24" - PORCELAIN TILE MFR: DALTILE MODEL: DIGNITA COLOR: LUMINA SIZE: 24" X GROUT: - HARDWOOD MFR: CARLISLE COLLECTION: TRACOLOR: REFUG	, RY RY WHITE 24" WIDE PLA NQUIL		ORS	F13	MTL MFR PAT FINI: SIZE MTL MFF PAT FINI SIZE	E: SURGE: SURGE: MAR E: MET TERN: SH: HG E: 12" E: NAT R: DAL TERN: SH: MOS	GED YARD BLE TILE A MARBLE CALACAT ONED X 24" TURAL STO TILE DA 06 (SAIC 13"	TAND TA CAF NES	GRANITE PRARA I	HONED	MT MF PA CC SIZ W10 - T MT PA CC SIZ W11 - T MT	TL: NA TERN ATTERN DLOR: ZE: 1 ILE TL: POI TR: U ATTERN DLOR: ZE: 1 ILE TL: PI ILE	ISI I: VEI SILVE 2" X : RCELA NITED I: GO AV32 2" X :	N CUT R BROW 24" N TILE TILE/CF THAM 2 PENTI 24"	TRAVER IN COSSVILL HOUSE		SS	- NA MTL MFR COL FINI THIO 3 - SC MT MR CC FIN TH	E: FALL: FURAL: SOL: OR: SH: FCKNESS LID SL: QUER: SUCOR: S	TO INSTALL STONE LID SURFACE NATURAL STONE TA MARBLE AND GRANITE HONEY ONYX POLISHED S: 1-1/4" SLAB URFACE UARTZ TRATUS QUARTZ LEVINA POLISHED SS: 3/4" (2CM) DETAIL X/X	MFR: HOLLY HUNT OUTDOOR OR PERENNIALS PATTERN: TBD M3 - LEATHER MTL: LEATHER UPHOLSTERY MFR: HOLLY HUNT PATTERN: STINGRAY FINISHES X1 - FACTORY FINISH P1 - PAINT MTL: ACRYLIC LATEX PAINT MFR:
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MODEL: TREAD COLOR: LUMINAR THICKNESS: 3/4 SIZE: 24" X 24" - PORCELAIN TILE MFR: DALTILE MODEL: DIGNITA COLOR: LUMINA SIZE: 24" X GROUT: - HARDWOOD MFR: CARLISLE COLLECTION: TRACOLOR: REFUG - CARPET MATL: BROADLOOMFR: FABRICA COLLECTION: WHI COLOR: 715WN Q NOTE: PROVIDE STATES	RY RY WHITE 24" WIDE PLA NQUIL E M WOOL C IE NOISE UIET SEQ: ' EAMING LA	NK FLO ARPET I AYOUT	ORS	F13 BA B1 -	MTL MFR PAT FINI: SIZE MTL MFR PAT FINI: SIZE WOO MTI SIZ DE	E: SURGE: SURGE: MARE: METTERN: SH: HITERN: SH: DALTERN: SH: E: MOSE: POFE: 3-TAIL: 13BBER BA	GED YARD BLE TILE A MARBLE CALACAT ONED X 24" TURAL STO TILE DA 06 (SAIC 13" E PLAR 1/2" X 5 1/8.0 ASE	TA CAF	GRANITE PRARA I	HONED	MT MF PA CC SIZ W10 - T MT PA CC SIZ W11 - T MT PA CC SIZ IN:	TL: NA FR: M ATTERN DLOR: ZE: 1 ILE TL: PO ATTERN DLOR: ZE: 1 ILE TL: PO FR: Z ATTERN DLOR: ZE: 2 STALL:	ISI I: VEI SILVE 2" X 2 RCELA NITED I: GO AV32 2" X 2 ORCEL COLLI I: EP ARAE	N CUT R BROW 24" N TILE TILE/CF THAM 2 PENTH 24" AIN TILE ECTION DQUE ESCATO 48"	TRAVER IN ROSSVILL HOUSE	_E ^AO/244	SS	- NA MTL MFR COL FINI THIO 3 - SO MT CC FIN TH EC 4 - SO MF CC FIN TH	E: IVALL: IVAL: IVALL: IVALL: IVALL: IVALL: IVALL: IVALL: IVALL: IVA	TO INSTALL STONE LID SURFACE NATURAL STONE TA MARBLE AND GRANITE HONEY ONYX POLISHED S: 1-1/4" SLAB URFACE UARTZ TRATUS QUARTZ LEVINA POLISHED SS: 3/4" (2CM) DETAIL X/X URFACE QUARTZ TRATUS CALACATTA PANTHEON POLISHED SS: 3/4" (2CM) SLAB	MFR: HOLLY HUNT OUTDOOR OR PERENNIALS PATTERN: TBD M3 - LEATHER MTL: LEATHER UPHOLSTERY MFR: HOLLY HUNT PATTERN: STINGRAY FINISHES X1 - FACTORY FINISH P1 - PAINT MTL: ACRYLIC LATEX PAINT MFR: COLOR: SHEEN: P2 - PAINT MTL: ACRYLIC LATEX PAINT MFR:
MODEL: TREAD COLOR: LUMINAR THICKNESS: 3/4 SIZE: 24" X 24" PORCELAIN TILE MFR: DALTILE MODEL: DIGNITA COLOR: LUMINA SIZE: 24" X GROUT: HARDWOOD MFR: CARLISLE COLLECTION: TRACOLOR: REFUG CARPET MATL: BROADLOOMFR: FABRICA COLLECTION: WHI COLOR: 715WN Q	RY RY WHITE 24" WIDE PLA NQUIL E M WOOL C TE NOISE UIET SEQ: 1 EAMING LA INSTALLAT	NK FLO ARPET I AYOUT	ORS	F13 BA B1 -	MTL MFR PAT FINI: SIZE MTL MFR PAT FINI: SIZE WOO MTI SIZ MFR COL	E: SURGE: SURGE: MARE: METTERN: SH: HITERN: SH: DALE: MOSE: MOSE: MOSE: MOSE: APPERISHED BASING APPERI	GED YARD BLE TILE A MARBLE CALACAT ONED X 24" TURAL STO TILE DA 06 (SAIC 13" E PLAR 1/2" X 5 1/8.0 ASE PPE IBD	TA CAF	GRANITE PRARA I	HONED	MT MF PA CO SIZ W10 - T MT MF PA CO SIZ IN: W11 - T MT MF PA CO SIZ IN: W12 - T MT MF MF MF	TL: NA TTERN DLOR: ZE: 1 ILE TL: PO TR: U ATTERN DLOR: ZE: 1 ILE TL: PO TR: Z ATTERN DLOR: ZE: 2 STALL: ILE TL: PO TR: U	ISI I: VEI SILVE 2" X : RCELA NITED I: GO AV32 2" X : COLLI I: EP ARAE 24" X HOR	N CUT R BROW 24" N TILE TILE/CF THAM 2 PENTI 24" AIN TILE ECTION OQUE ESCATO 48" IZONTAL AIN TILE TILE	TRAVER IN POSSVILL HOUSE ZAREP	_E ^AO/244 KED	SS SS	- NAMER OOL MERCON MARK OOL MA	E: IVALL: IVAL: IVALL: IVALL: IVALL: IVALL: IVALL: IVALL: IVALL: IVA	TO INSTALL STONE LID SURFACE NATURAL STONE TA MARBLE AND GRANITE HONEY ONYX POLISHED S: 1-1/4" SLAB URFACE UARTZ TRATUS QUARTZ LEVINA POLISHED SS: 3/4" (2CM) DETAIL X/X URFACE QUARTZ TRATUS CALACATTA PANTHEON POLISHED SS: 3/4" (2CM) SLAB DETAIL X/X URFACE	MFR: HOLLY HUNT OUTDOOR OR PERENNIALS PATTERN: TBD M3 - LEATHER MTL: LEATHER UPHOLSTERY MFR: HOLLY HUNT PATTERN: STINGRAY FINISHES X1 - FACTORY FINISH P1 - PAINT MTL: ACRYLIC LATEX PAINT MFR: COLOR: SHEEN: P2 - PAINT MTL: ACRYLIC LATEX PAINT MFR: COLOR: SHEEN: SHEEN: SHEEN:
MODEL: TREAD COLOR: LUMINAR THICKNESS: 3/4 SIZE: 24" X 24" - PORCELAIN TILE MFR: DALTILE MODEL: DIGNITA COLOR: LUMINA SIZE: 24" X GROUT: - HARDWOOD MFR: CARLISLE COLLECTION: TRACOLOR: REFUG - CARPET MATL: BROADLOOMFR: FABRICA COLLECTION: WHICOLOR: 715WN Q NOTE: PROVIDE SPRIOR TO PAD: HEALTHY COLOR: MTL: PORCELAIN	RY RY WHITE 24" WIDE PLA NQUIL E M WOOL C IE NOISE UIET SEQ: EAMING LA INSTALLAT	NK FLO ARPET I AYOUT	ORS	F13 BA B1 -	MTL MFR PAT FINI: SIZE MTL MFR PAT FINI: SIZE WOO MTI SIZ MFR COL	E: SURGE: SURGE: MARE: METTERN: SH: HITERN: SH: DALE: MOSE: MOSE: MOSE: MOSE: APPERISHED BASING APPERI	GED YARD BLE TILE A MARBLE CALACAT ONED X 24" TURAL STO TILE DA 06 (SAIC 13" E PLAR 1/2" X 5 1/8.0 ASE PPE	TA CAF	GRANITE PRARA I	HONED	MT MF PA CC SIZ IN: W12 - T MT MF PA CC SIZ IN: W12 - T MT MF PA CC FIN	IL: NA FR: M ATTERN DLOR: ZE: 1 ILE IL: PO TR: U ATTERN DLOR: ZE: 1 ILE TL: PO TR: Z ATTERN DLOR: ZE: 2 STALL: ILE	ISI I: VE SILVE 2" X 2 RCELA NITED I: GO AV32 2" X 2 ORCEL COLL I: EP ARAE 24" X HOR ORCEL NITED I: CR FOG UPS	N CUT R BROW 24" N TILE TILE/CR THAM 2 PENTH 24" AIN TILE ECTION DQUE ESCATO 48" IZONTAL AIN TILE DSSVILLI	TRAVER IN ROSSVILL HOUSE ZAREP	_E ^AO/244 KED	SS SS	- NAMER COLLEGE FINITHIC STATE OF THE COLLEGE FINITHIC STATE OF THE COLLEGE FINITHIED STATE O	E: IALL: IVERAL: I	TO INSTALL STONE LID SURFACE NATURAL STONE TA MARBLE AND GRANITE HONEY ONYX POLISHED S: 1-1/4" SLAB URFACE UARTZ TRATUS QUARTZ LEVINA POLISHED SS: 3/4" (2CM) DETAIL X/X URFACE QUARTZ TRATUS CALACATTA PANTHEON POLISHED SS: 3/4" (2CM) SLAB DETAIL X/X URFACE UARTZ TRATUS CALACATTA PANTHEON POLISHED SS: 3/4" (2CM) SLAB DETAIL X/X URFACE UARTZ TRATUS PLATINO DARK PREMIUM	MFR: HOLLY HUNT OUTDOOR OR PERENNIALS PATTERN: TBD M3 - LEATHER MTL: LEATHER UPHOLSTERY MFR: HOLLY HUNT PATTERN: STINGRAY FINISHES X1 - FACTORY FINISH P1 - PAINT MTL: ACRYLIC LATEX PAINT MFR: COLOR: SHEEN: P2 - PAINT MTL: ACRYLIC LATEX PAINT MFR: COLOR: CO
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MODEL: TREAD COLOR: LUMINAR THICKNESS: 3/4 SIZE: 24" X 24" PORCELAIN TILE MFR: DALTILE MODEL: DIGNITA COLOR: LUMINA SIZE: 24" X GROUT: HARDWOOD MFR: CARLISLE COLLECTION: TRACOLOR: REFUG COLLECTION: WHITCOLOR: 715WN Q NOTE: PROVIDE SPRIOR TO PAD: HEALTHY COLOR: AUDINAM SIZE: MOSAIC MTL: PORCELAIN MFR: DALTILE MODEL DIGNITAR COLOR: LUMINAM SIZE: MOSAIC TERRAZZO TILE MFR: ANN SAC MODEL TERRAZZO	RY RY WHITE 24" WIDE PLA NQUIL E M WOOL CO TE NOISE UIET SEQ:: EAMING LA INSTALLAT HOICE TILE RY ABSTRA RY WHITE	NK FLO ARPET AYOUT ION CT DR07		F13 BA B1 B2 WA W1 W2	MTL MFR PAT FINI SIZE MTI SIZE WOO MTI SIZE RUE MFF COL STY ALLS WAI MFF FINI MF FINI MFF FINI MF FINI MFF FINI MF	E: SURCE: SURCE: SURCE: MARE: METTERN: SH: HITERN: SH: DALE: MOSTER: MOSTER: MOSTER: MOSTER: MOSTER: SH: LE SITERN: STETERN: S	GED YARD BLE TILE A MARBLE CALACAT ONED X 24" TURAL STO TILE DA 06 (SAIC 13" E PLAR 1/2" X 5 1/8.0 ASE PPE TBD TBD TBD B" TYPE '' G OR EQUIVEL 5 SMO	C AND TA CAF NES CREAMY (' GYPS AL OTH	GRANITE PRARA I	HONED BLEN	MTMF PACCO SIZ IN: W10 - T MTMF PACCO SIZ IN: W11 - T MTMF PACCO SIZ IN: W12 - T MTMF PACCO FIN SIZ IN: W13 - TIME PACCO FIN SIZ IN:	TL: NA FR: MA FR: M ATTERN DLOR: ZE: 1 ILE FR: U ATTERN DLOR: ZE: 1 ILE TL: PO FR: Z ATTERN DLOR: ZE: 2 STALL: ILE FR: UI ATTERN DLOR: VISH: 2 STALL: ILE FR: DI ATTERN DLOR: VISH: 2 STALL: ILE FR: UI ATTERN DLOR: VISH: 2 STALL: ILE FR: DI ATTERN DLOR: VISH: 2 STALL: VISH: 1 STALL: VISH: 1 STALL: VISH: 1 STALL:	ISI I: VEI SILVE 2" X : RCELA NITED I: GO AV32 2" X : ORCEL I: EP ARAE 4" X HOR ORCEL I: CRI HOR ORCEL CW04 GLOSS " X 1"	N CUT R BROW 24" N TILE TILE/CF THAM 2 PENTI 24" AIN TILE ECTION DQUE ESCATO 48" IZONTAL AIN TILE DSSVILLI AIN TILE COR WA' SILVER COR WA'	TRAVER N ROSSVILL HOUSE ZAREP STACK E/SHADI	_E AO/244 KED ES	SS SS SS SS	- NA MTL MFR COL FINI THIC 3 - SC FIN THE CC FIN TH ED 5 - SO MT MF CC FIN TH ED 7 - SOL MT 7 - SOL MT 8 - SOL MT 1 - PLA	E: FALL: FALL: FALL: FALL: FALC: FALC:	TO INSTALL STONE LID SURFACE NATURAL STONE TA MARBLE AND GRANITE HONEY ONYX POLISHED S: 1-1/4" SLAB URFACE UARTZ TRATUS QUARTZ LEVINA POLISHED SS: 3/4" (2CM) DETAIL X/X URFACE QUARTZ TRATUS CALACATTA PANTHEON POLISHED SS: 3/4" (2CM) SLAB DETAIL X/X URFACE JARTZITE TRATUS PLATINO DARK PREMIUM LEATHERED SS: 3CM FACE JACE JACE JACE JACE JACE JACE JACE J	MFR: HOLLY HUNT OUTDOOR OR PERENNIALS PATTERN: TBD M3 - LEATHER MTL: LEATHER UPHOLSTERY MFR: HOLLY HUNT PATTERN: STINGRAY FINISHES X1 - FACTORY FINISH P1 - PAINT MTL: ACRYLIC LATEX PAINT MFR: COLOR: SHEEN: P2 - PAINT MTL: ACRYLIC LATEX PAINT MFR: COLOR: SHEEN: S1 - SEALER MTL: WATERBORNE DENSE STONE SEAL MFR: STAIN PROOF S2 - SEALER MTL: PREMIUM IMPREGNATING SEALER MFR: STAIN—PROOF ST1 - STAIN MTL: - INTERIOR STAIN
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MODEL: TREAD COLOR: LUMINAR THICKNESS: 3/4 SIZE: 24" X 24" PORCELAIN TILE MFR: DALTILE MODEL: DIGNITA COLOR: LUMINA SIZE: 24" X GROUT: HARDWOOD MFR: CARLISLE COLLECTION: TRACOLOR: REFUG CARPET MATL: BROADLOO MFR: FABRICA COLLECTION: WHI COLOR: 715WN Q NOTE: PROVIDE SPIOR TO PAD: HEALTHY COLOR: LUMINA SIZE: MOSAIC MTL: PORCELAIN MFR: DALTILE MODEL DIGNITAR COLOR: LUMINA SIZE: MOSAIC TERRAZZO TILE MFR: ANN SAC MODEL TERRAZZ COO: IT COLOR: CASHME SIZE: 24" X 24 TERRAZZO TILE MTL: MEDIUM TEMFR: ANN SACKS MODEL: TERRAZZ COO: IT COLOR: CASHME SIZE: 24" X 24 TERRAZZO TILE MFR: ANN SACKS MODEL: TERRAZZ COO: IT COLOR: CASHME SIZE: 24" X 24 TERRAZZO TILE MTL: MEDIUM TEMFR: ANN SACKS MODEL: TERRAZZ COO: IT COLOR: CASHME SIZE: 2" X 2" M	RY RY WHITE 24" WIDE PLA NQUIL E M WOOL CO TE NOISE UIET SEQ:: EAMING LA INSTALLAT HOICE TILE TY ABSTRA RY WHITE TO RENATA TRE RRAZZO TILE TO RENATA	NK FLO ARPET I AYOUT ION CT DRO7	NE	F13 BA B1 B2 WA W1 W2 W3	MTLL MFR PAT FINISIZE - TILE MFR PAT FINISIZE - MTI SIZE - MUTI SIZE - MUTI SIZE - MIT SIZE - MIT MFR COL STY ALLS - MIR MFR PA SIZ - MIR MR	E: SURCE: SHE MARE SHE MET TERN: SH: MET TERN: SH: MOS SH: NATL	GED YARD BLE TILE A MARBLE CALACAT ONED X 24" TURAL STO TILE DA 06 (C) SAIC 13" EPLAR 1/2" X 5 1/8.0 ASE PPE TBD TBD TBD TBD TYPE '' CRCELAIN TATEMENTS MIKASA " X 24" RCELAIN T NITED TILE POTTER Y X 6"	I AND TA CAF NES PREAMY (13" (148" (158"	GRANITE PRARA I SAND	HONED WALL	W10 - T MT MF PA CC SIZ W10 - T MT MF PA CC SIZ W11 - T MT MF PA CC FIN SIZ INS W13 - TI MT MF PA CO FIN SIZ INS W14 - TI MT MF PA FIN SIZ INS W15 - T MT MF PA FIN FIN FIN FIN FIN FIN FIN FI	IL: NA MATTERN DLOR: TERN DLOR: TILE POLITICATION DLOR	ISI I: VEI I: VEI I: SILVE 2" X 2 RCELA RITED I: AV32 2" CCENT ROG ROGEL I: ARABE A" HOR ROGEL I: ARABE A" HOR ROGEL I: ARABE III COI III CRI III COI II CRI II COI II CRI II COI II CRI II CAI	N CUT R BROW 24" N TILE TILE/CF THAM 2 PENTI 24" AIN TILE ECTION DQUE ESCATO 48" IZONTAL AIN TILE DSSVILLI AIN TILE COR WA' SILVER COR WA' TILE ACATTA HED 4" TILE CHID DIN RBLE WA	TRAVER IN STACK	LE AO/244 GED DRYWAL ANITE ARA AL NER	SS	- NAMER COLL FINITHING STATE OF MITHED STATE O	E: FALL: FULL: FOR: F	TO INSTALL STONE LID SURFACE NATURAL STONE TA MARBLE AND GRANITE HONEY ONYX POLISHED SE: 1-1/4" SLAB JIRFACE UARTZ TRATUS QUARTZ LEVINA POLISHED SS: 3/4" (2CM) DETAIL X/X JIRFACE QUARTZ TRATUS CALACATTA PANTHEON POLISHED SS: 3/4" (2CM) SLAB DETAIL X/X RFACE JARTZITE TRATUS PLATINO DARK PREMIUM LEATHERED SS: 3CM FACE JNUT FACE LINUT FACE JAMINATE INATE FENIX RIGIO JO724 ATTE LAMINATE INATE FENIX BID BIANCO KOS ATTE OVERING	MFR: HOLLY HUNT OUTDOOR OR PERENNIALS PATTERN: TBD M3 - LEATHER MTL: LEATHER UPHOLSTERY MFR: HOLLY HUNT PATTERN: STINGRAY FINISHES X1 - FACTORY FINISH P1 - PAINT MTL: ACRYLIC LATEX PAINT MFR: COLOR: SHEEN: P2 - PAINT MTL: ACRYLIC LATEX PAINT MFR: COLOR: SHEEN: S1 - SEALER MTL: WATERBORNE DENSE STONE SEAL MFR: STAIN PROOF S2 - SEALER MTL: PREMIUM IMPREGNATING SEALER MFR: STAIN—PROOF ST1 - STAIN MTL: - INTERIOR STAIN
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MODEL: TREAD COLOR: LUMINAR THICKNESS: 3/4 SIZE: 24" X 24" PORCELAIN TILE MFR: DALTILE MODEL: DIGNITA COLOR: LUMINA SIZE: 24" X GROUT: HARDWOOD MFR: CARLISLE COLLECTION: TRACOLOR: REFUGE CARPET MATL: BROADLOOM MFR: FABRICA COLLECTION: WHITCOLOR: 715WN Q NOTE: PROVIDE SPRIOR TO PAD: HEALTHY COLOR: LUMINAL SIZE: MOSAIC TERRAZZO TILE MFR: ANN SACK MODEL TERRAZZO TILE MFR: ANN SACK MODEL TERRAZZO TILE MFR: ANN SACK MODEL TERRAZZO TILE MTL: MEDIUM TEI MFR: ANN SACK MODEL: TERRAZZO TILE MTL: MEDIUM TEI	RY RY RY WHITE 24" WIDE PLA NQUIL E M WOOL C TE NOISE UIET SEQ: EAMING LA INSTALLAT HOICE TILE RY ABSTRA RY WHITE CKS TILE AND RENATA THORE THE AND	NK FLO ARPET I AYOUT ION CT DR07 ND STO	NE .	F13 BA B1 B2 WA W1 W2 W3 W4	MTL MFR PATILE SE WATER SIZE OF MILE STATE OF MILE SIZE OF MILE STATE OF	E: SURCE: SUR	GED YARD GED YARD BLE TILE A MARBLE CALACAT ONED X 24" URAL STO TILE DA 06 (SAIC 13" EPLAR 1/2" X 5 1/8.0 ASE PETED BYPE TBD BY TYPE TBD GOR EQUIVE FOTTER POTTER POTTER Y X 6" RCELAIN T NITED TILE POTTER Y X 6" RCELAIN T RITED TILE COSMIC ("X 6" RANDOM RCELAIN	I AND TA CAF NES REAMY (13" (14" (14" (15) (15" (15" (15) (15" (15)	SAND SAND GRAPI GRAPI GRAPI T	HONED WALL HITE O)	W10 - T W10 - T MF PA CC SIZ W10 - T MF PA CC SIZ W11 - T MF PA CC SIZ W12 - T MT MF PA CC FIN SIZ W13 - TI MF PA CC FIN SIZ W15 - T MF PA SIZ W16 - T MM PA CC MM PA CC MM MF PA SIZ W16 - T MM PA CC MM MM MM MM PA CC MM MM MM MM PA CC MM MM MM MM MM PA CC MM MM MM MM MM MM MM MM M	IL: NA MATTERN DLOR: 1 FR: MATTERN DLOR: 1 FR: TTERN DLOR: 1 FR: TTERN DLOR: 1 FR: TTERN DLOR: 2 FR: TTERN DLOR: 2 FR: TTERN DLOR: 2 FR: TTERN DLOR: 2 FR: TTERN DLOR: 1 FR: TT	ISI I: VEI I: VEI I: SILVE 2" X 2 RCELA RITED I: AV32 2" CCEL I: ARAE 24" HOR ORCEL I: ARAE 24" HOR ORCEL I: COI I: CW04 III COI II	N CUT R BROW 24" N TILE TILE/CF THAM 2 PENTH 24" AIN TILE ECTION DQUE ESCATO 48" IZONTAL AIN TILE DSSVILLI IZONTAL AIN TILE COR WA SILVER ARBLE ARBL	TRAVER IN STACK STACK STACK STACK WE MINK I WITH I	LE AO/244 GED DRYWAL ANITE ARA AL NER C	SS	- NATURE OF THIS COLUMN AND TH	E: FALL: IVE SUBJECT	TO INSTALL STONE LID SURFACE NATURAL STONE TA MARBLE AND GRANITE HONEY ONYX POLISHED S: 1-1/4" SLAB JRFACE UARTZ TRATUS QUARTZ LEVINA POLISHED SS: 3/4" (2CM) DETAIL X/X JRFACE QUARTZ TRATUS CALACATTA PANTHEON POLISHED SS: 3/4" (2CM) SLAB DETAIL X/X JRFACE JARTZITE TRATUS CALACATTA PANTHEON POLISHED SS: 3/4" (2CM) SLAB DETAIL X/X JRFACE JARTZITE TRATUS PLATINO DARK PREMIUM LEATHERED SS: 3CM FACE JAMINATE INATE FENIX MICA FENIX BRICA F	MFR: HOLLY HUNT OUTDOOR OR PERENNIALS PATTERN: TBD M3 - LEATHER MTL: LEATHER UPHOLSTERY MFR: HOLLY HUNT PATTERN: STINGRAY FINISHES X1 - FACTORY FINISH P1 - PAINT MTL: ACRYLIC LATEX PAINT MFR: COLOR: SHEEN: P2 - PAINT MTL: ACRYLIC LATEX PAINT MFR: COLOR: SHEEN: S1 - SEALER MTL: WATERBORNE DENSE STONE SEAL MFR: STAIN PROOF S2 - SEALER MTL: PREMIUM IMPREGNATING SEALER MFR: STAIN—PROOF ST1 - STAIN MTL: - INTERIOR STAIN
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SCHEDULES



CHESMORE BUCK
a r c h i t e c t u r e

27 100TH AVENUE NE, SUITE 100
BELLEVUE, WA 98004
PHONE: 425-679-0907

9/28/23 PRICING SET

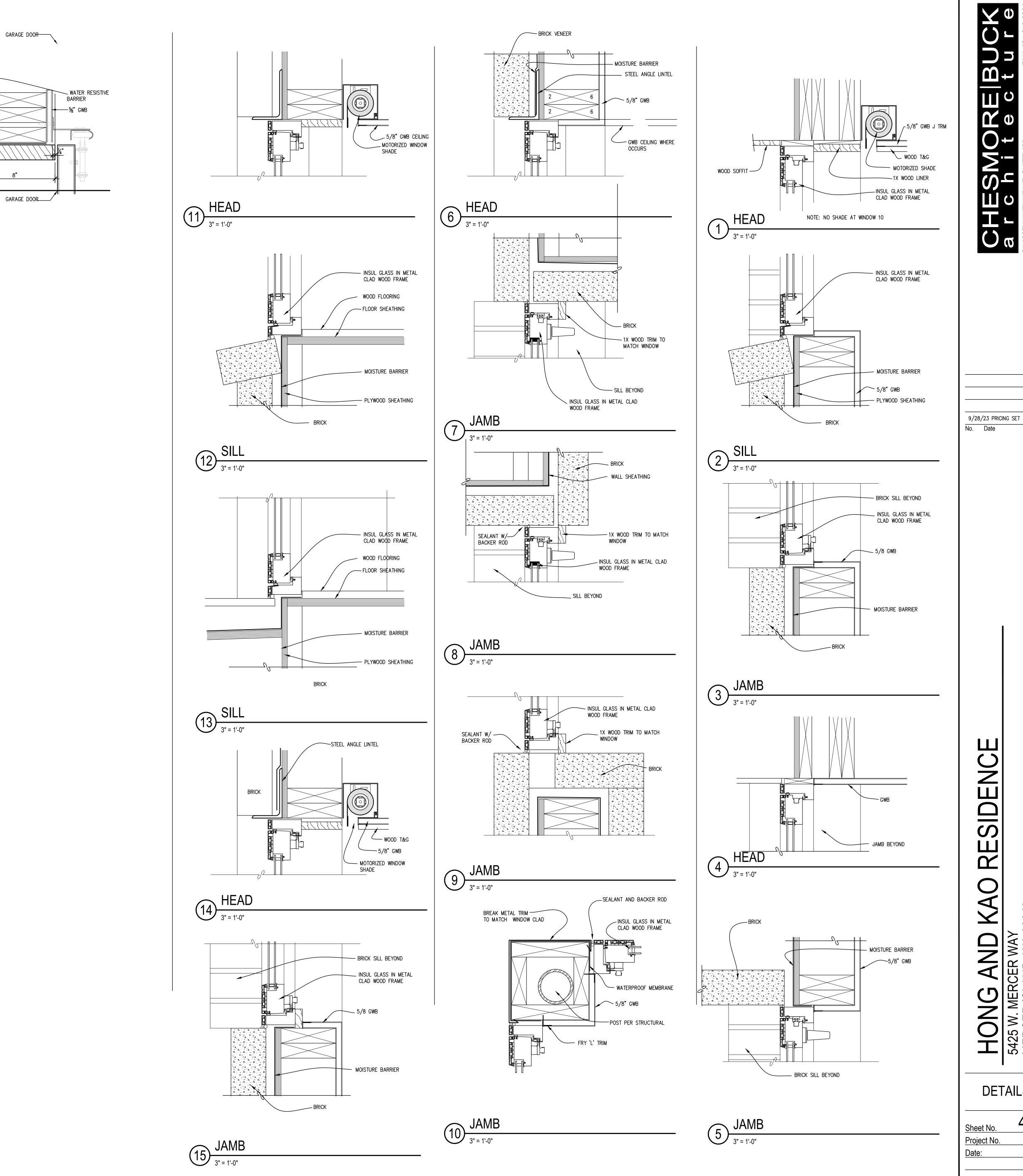
No. Date Rev

) RESIDENCE

HONG AND KAO KE 5425 W. MERCER WAY MFRCER ISLAND WA 98040

DETAILS

neet No.
2222
ate: 9/8/23



BRICK

CHESMORE BUCK
a r c h i t e c t u r e

27 100TH AVENUE NE, SUITE 100

PHONE: 425-679-0907

RESIDENCE

DETAILS

LOWER FLOOR RCP

eet No. 2222
te: 9/8/23



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CHESMORE BUCK
a r c h i t e c t u r e

27 100TH AVENUE NE, SUITE 100
BELLEVUE, WA 98004
PHONE: 425-679-090

0/28/23 PRICING SET D. Date Revisio

NG AND KAO RESIDENCE

MAIN FLOOR

No. 2222

UPPER FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"

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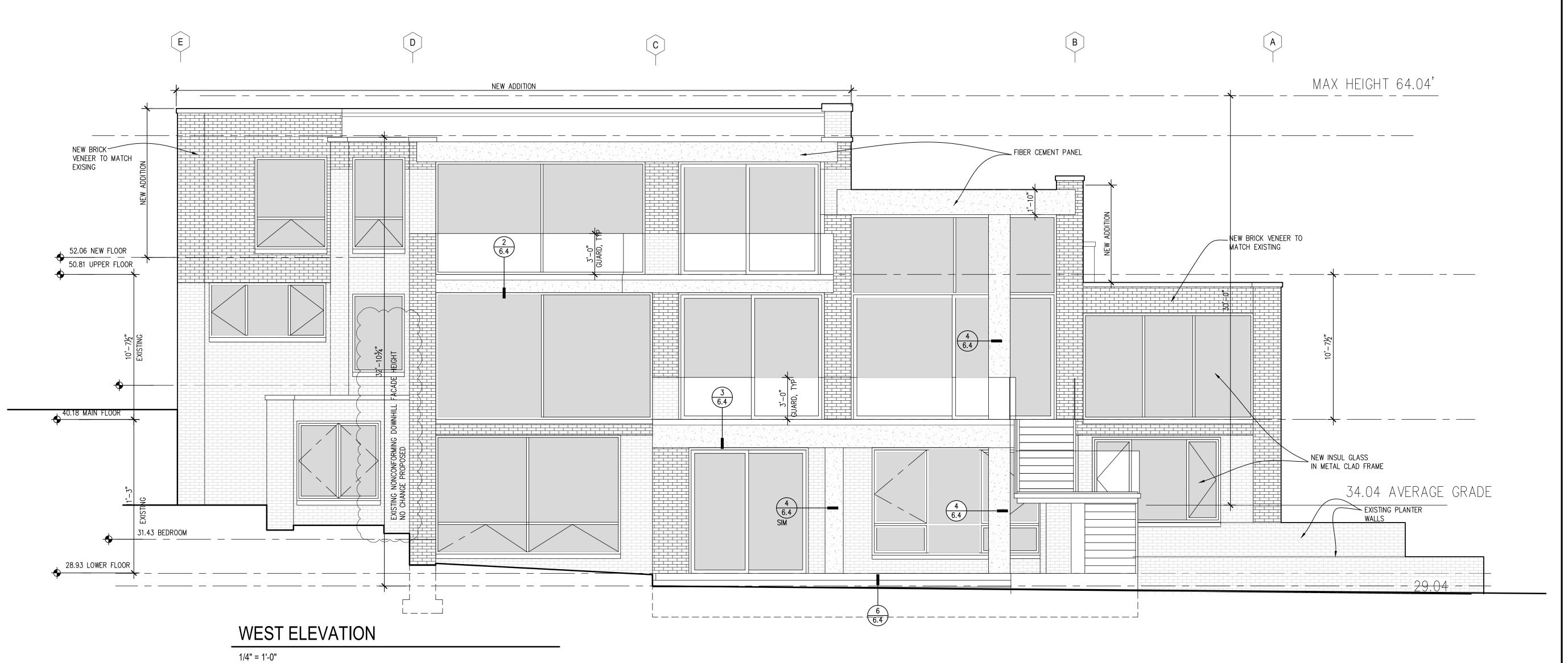
ONG AND KAO RESIDENCE

UPPER FLOOR RCP

 Sheet No.
 4.8

 Project No.
 2222

 Date:
 9/8/23



CHESMORE BUCK
a r c h i t e c t u r e

27 100TH AVENUE NE, SUITE 100
BELLEVUE, WA 98004
PHONE: 425-679-0907

9/28/23 PRICING SET

No. Date Rev

IG AND KAO RESIDENCE

ELEVATIONS

 Sheet No.
 5.0

 Project No.
 2222

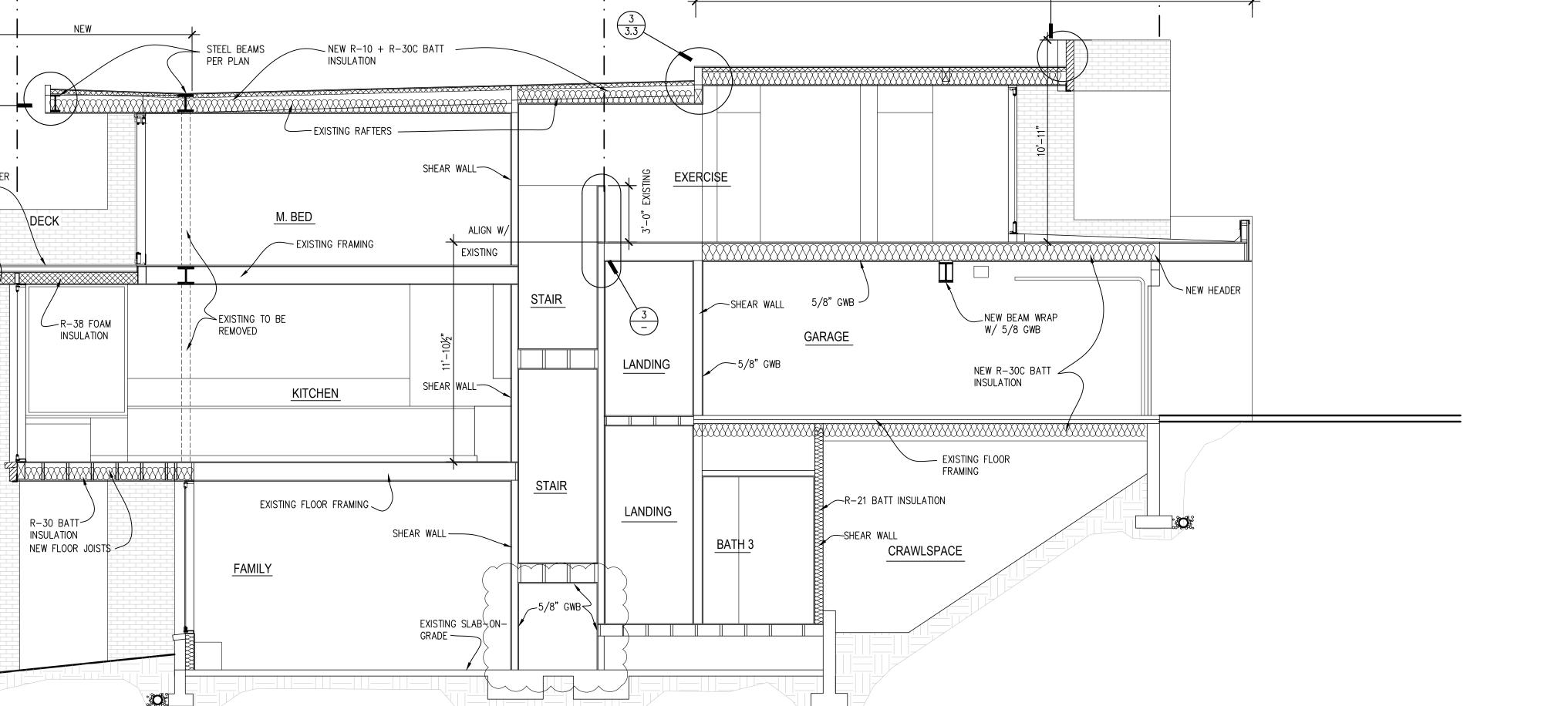
 Date:
 9/8/23

ELEVATIONS

Sheet No. 6.0 2222 9/8/23

SECTION





— EXISTING RAFTERS @ 16" O.C.

NEW R-21 BATT INSULATION

EXERCISE

NEW R-10 + R-30C BATT INSULATION

EXISTING STAIRS 🚤

NEW BRICK VENEER ----TO MATCH EXISTING

EXISTING BRICK VENEER -

R-21 BATT INSULATION

SHEAR WALL —

NEW R-10 + R-30C BATT INSULATION

HALL

INSULATION

SHOWER

NEW SKYLIGHT -AT EXISTING OPENING

 \subseteq NEW R-10 + R-30C BATT

R-30 BATT

INSULATION

NEW R-21 BATT
INSULATION

2 BUILDING SECTION

1/4" = 1'-0"

- EXISTING SLAB-ON-GRADE

INSULATION

NEW R-21 BATT INSULATION

CRAWLSPACE

BUILDING SECTION

1/4" = 1'-0"

PEDESTAL PAVER SYSTEM

SHEAR WALL

REMOVE STEPPED FASCIA

NEW BRICK VENEER TO MATCH EXISTING

 \bigcirc NEW R-10 + R-30C BATT

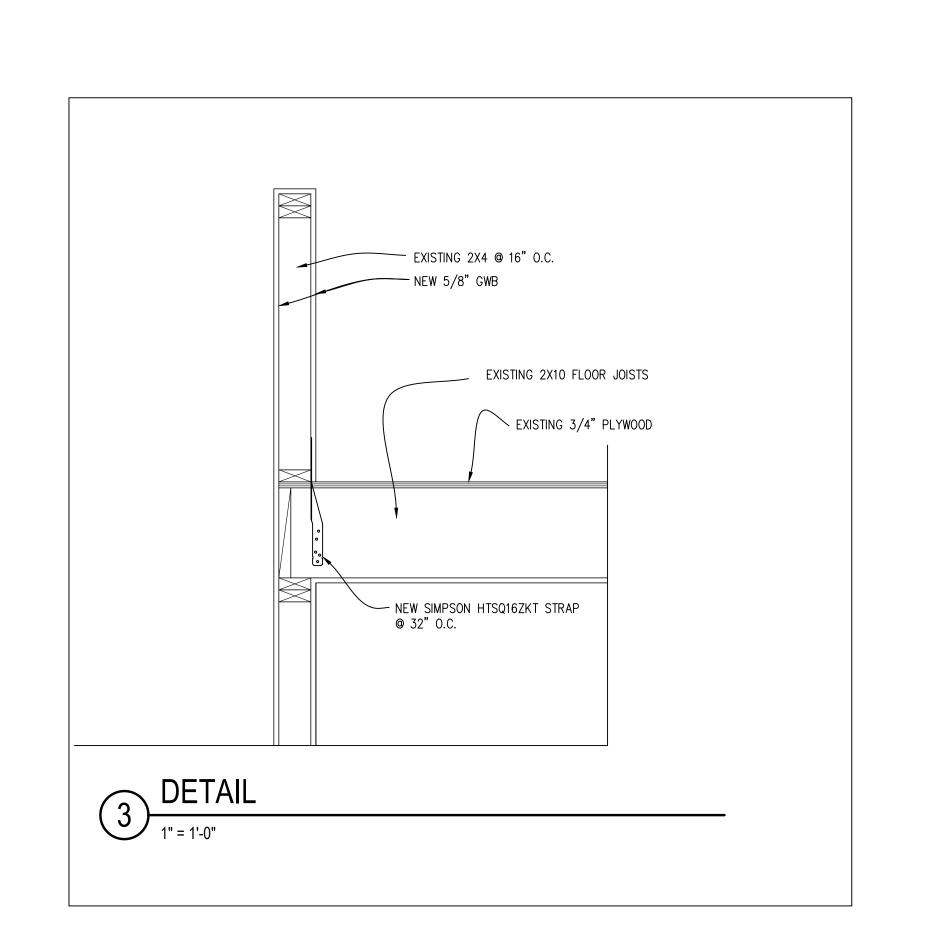
INSULATION

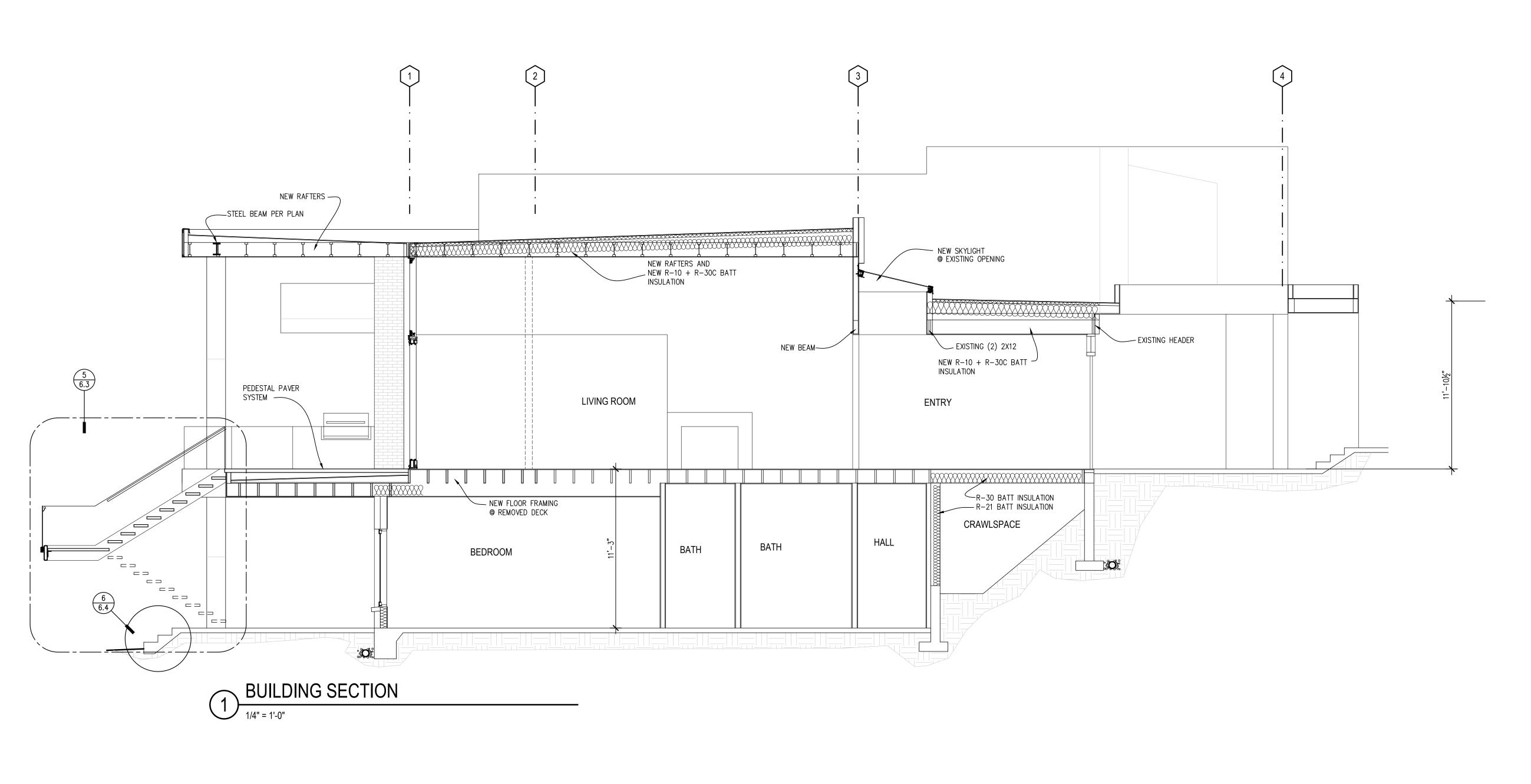
NEW R-21

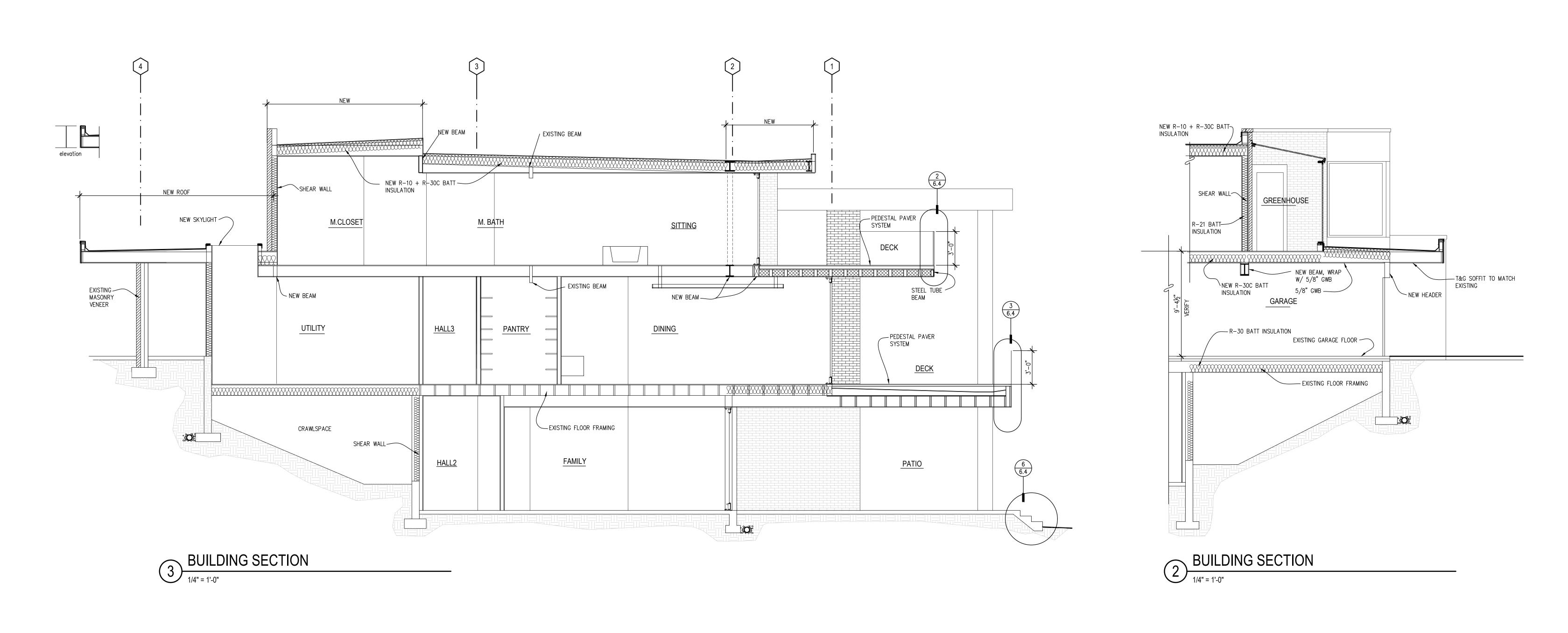
BEDROOM

 \supseteq EXISTING FRAMING

BATT INSULATION







CHESMORE BUCK
a r c h i t e c t u r e

27 100TH AVENUE NE, SUITE 100

FAX: 425-679-0804

PHONE: 425-679-0907

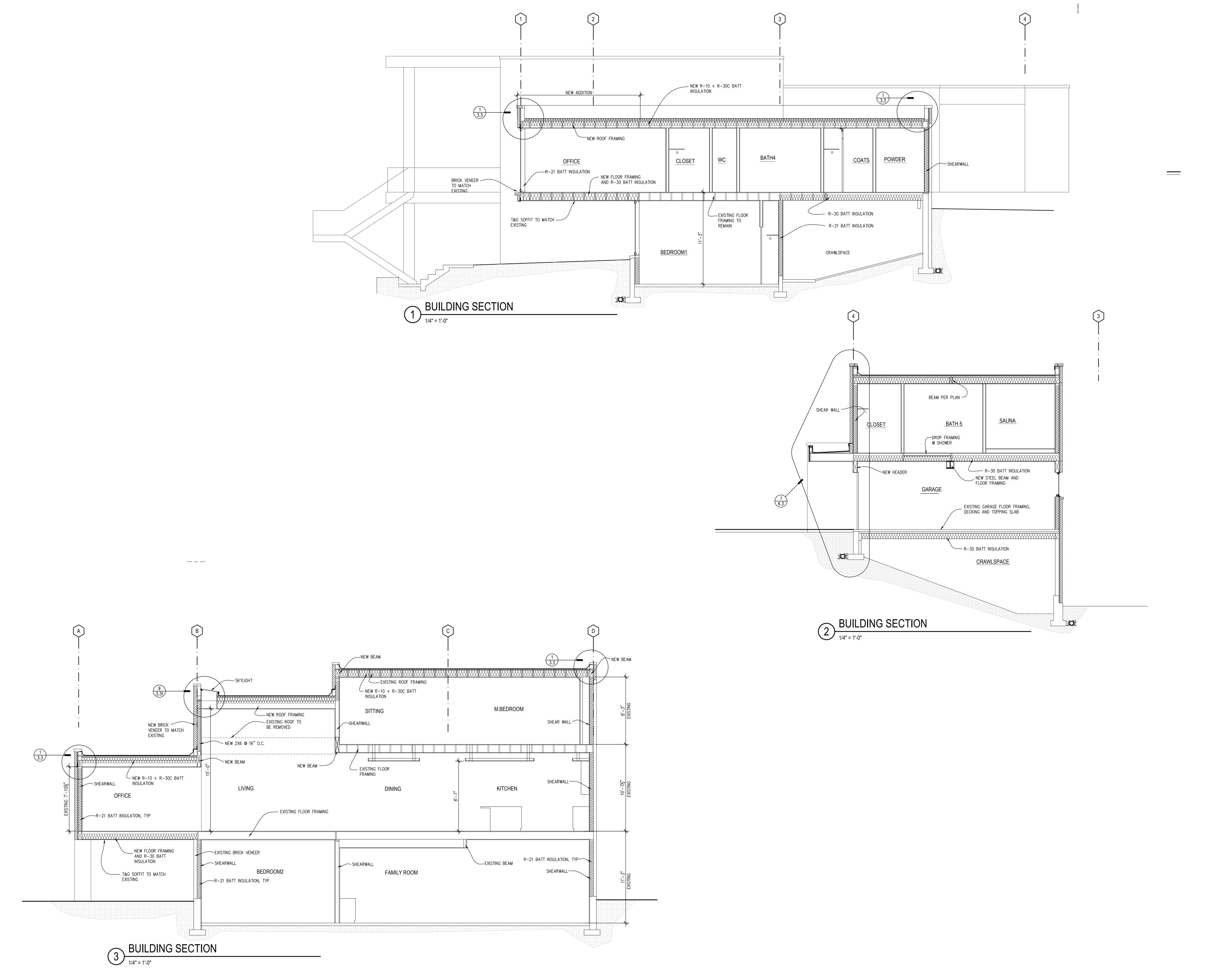
10NG AND KAO RESIDENCE 125 W. MERCER WAY

SECTION

 Sheet No.
 6.1

 Project No.
 2222

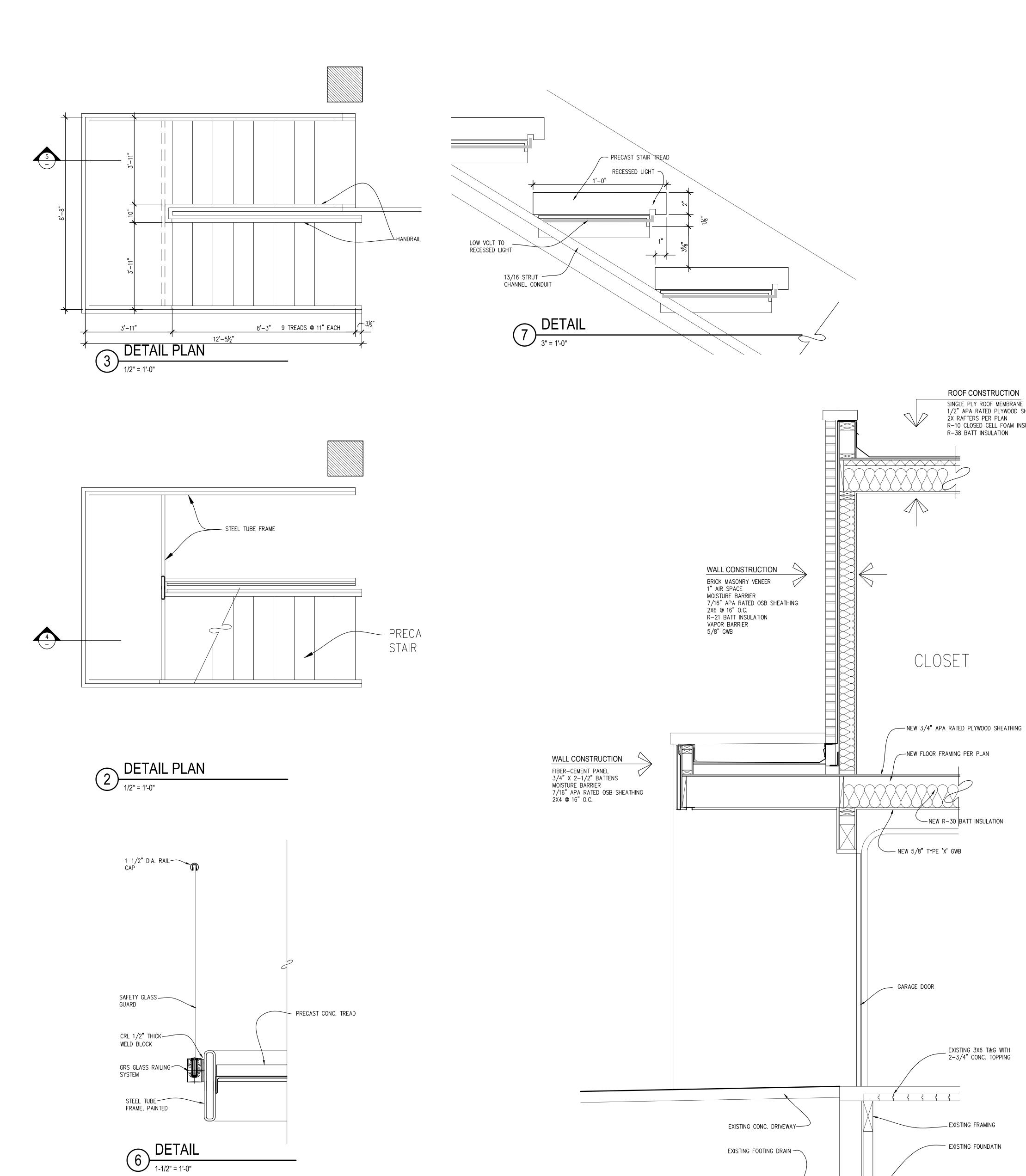
 Date:
 9/8/23



9/28/23 PRICING SET

SECTION

2222 9/8/23



6 - SIM NO HANDRAIL

NEW PATIO _____

STEPS BEYOND -

5 DETAIL PLAN

1/2" = 1'-0"

4 DETAIL PLAN

1/2" = 1'-0"

9/28/23 PRICING SET

ROOF CONSTRUCTION

_ EXISTING 3X6 T&G WITH 2-3/4" CONC. TOPPING

__EXISTING FRAMING

— EXISTING FOUNDATIN

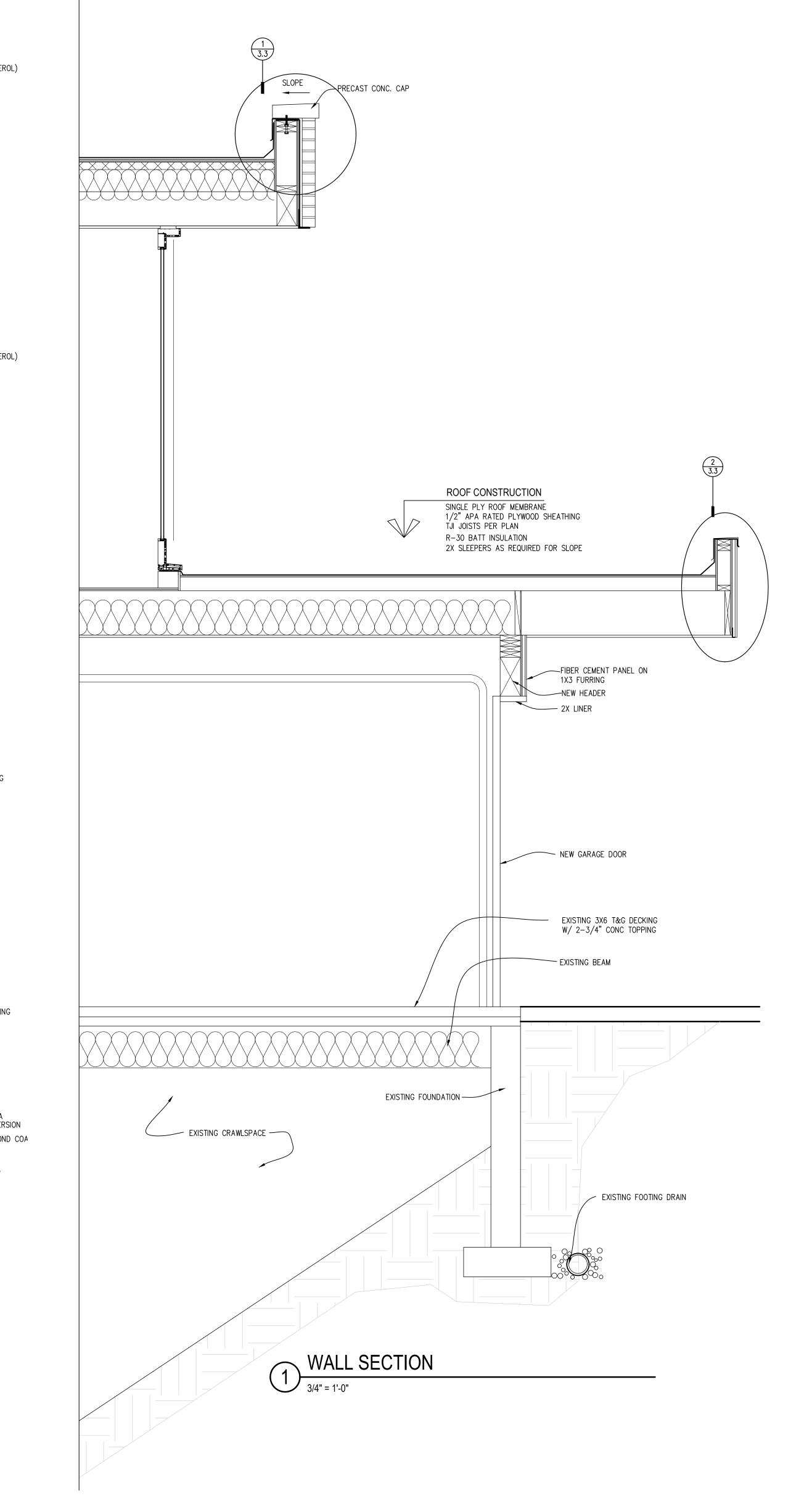
WALL SECTION

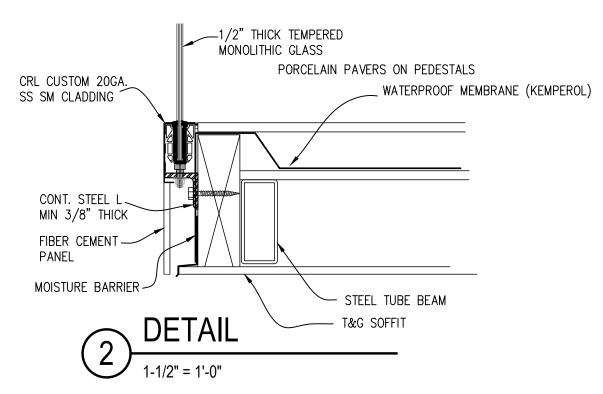
3/4" = 1'-0"

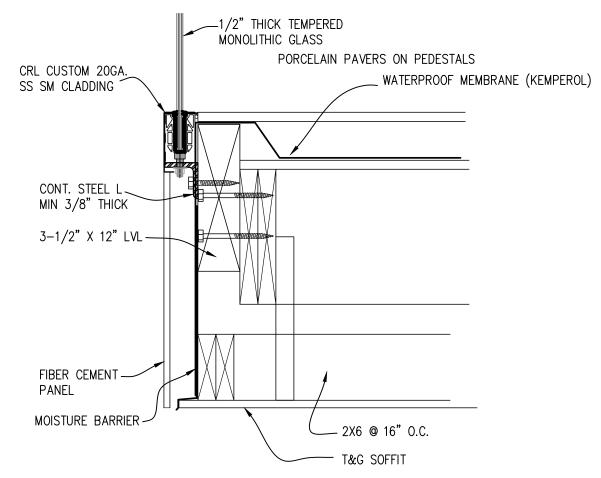
SINGLE PLY ROOF MEMBRANE
1/2" APA RATED PLYWOOD SHEATHING
2X RAFTERS PER PLAN
R-10 CLOSED CELL FOAM INSULATION
R-38 BATT INSULATION

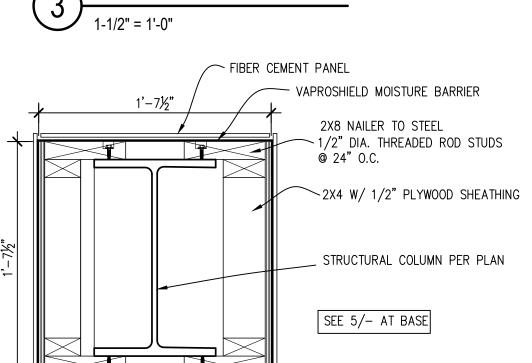
SECTION

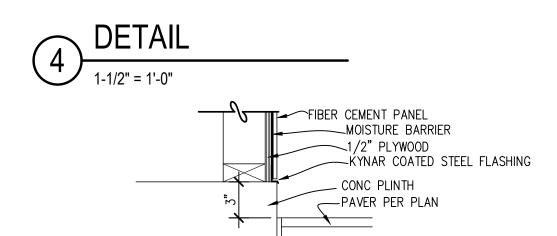
2222 9/8/23

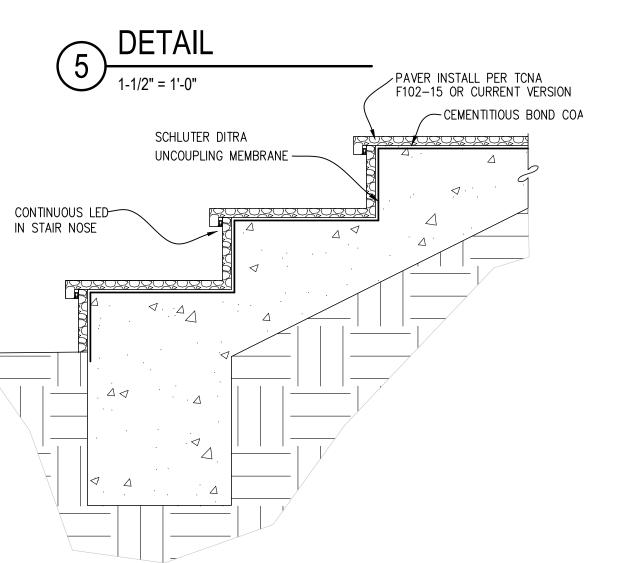












6 DETAIL

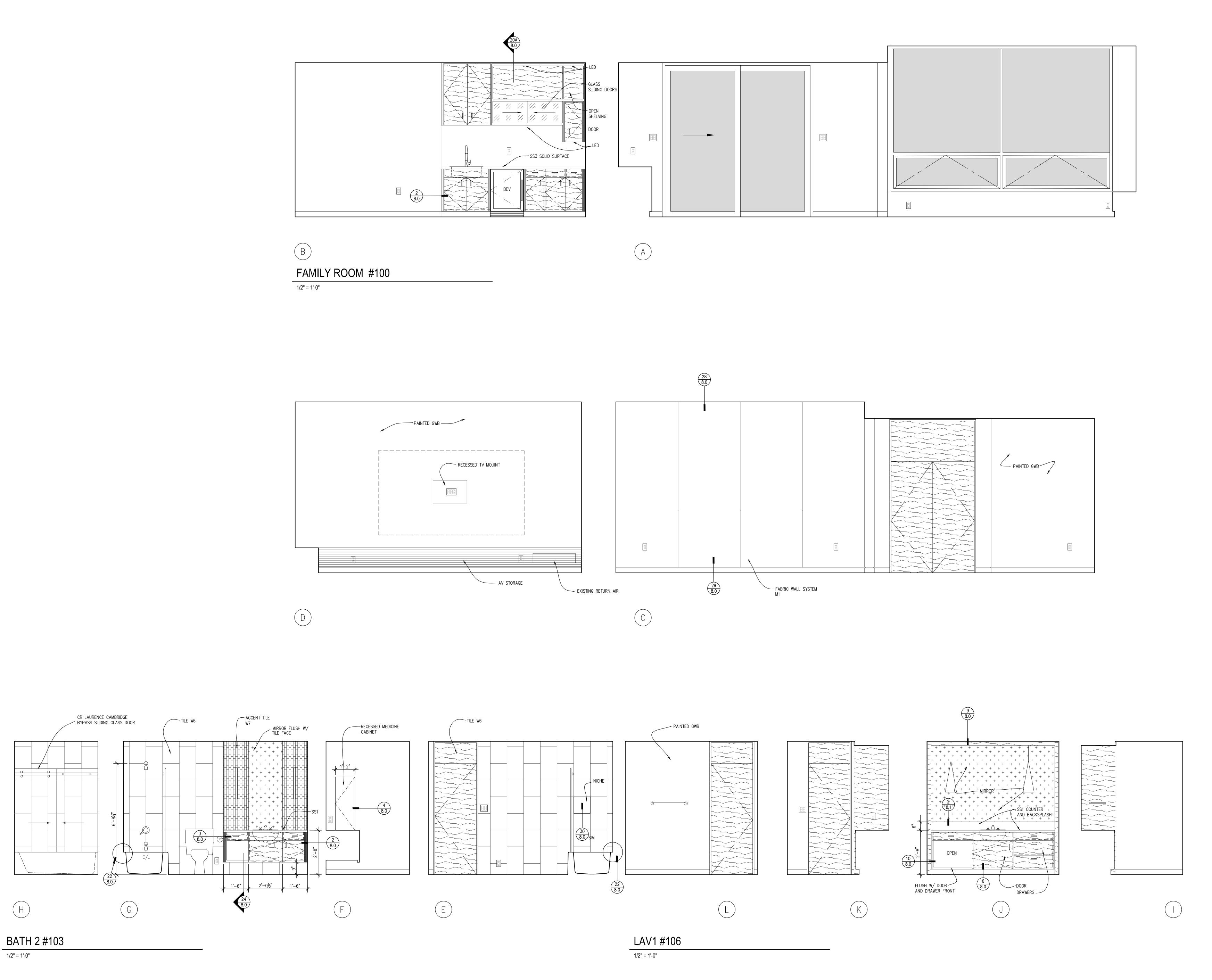
1-1/2" = 1'-0"

IONG AND KAO RESIDEN

9/28/23 PRICING SET

SECTION

eet No. 2222 oject No. 2222 ete: 9/8/23

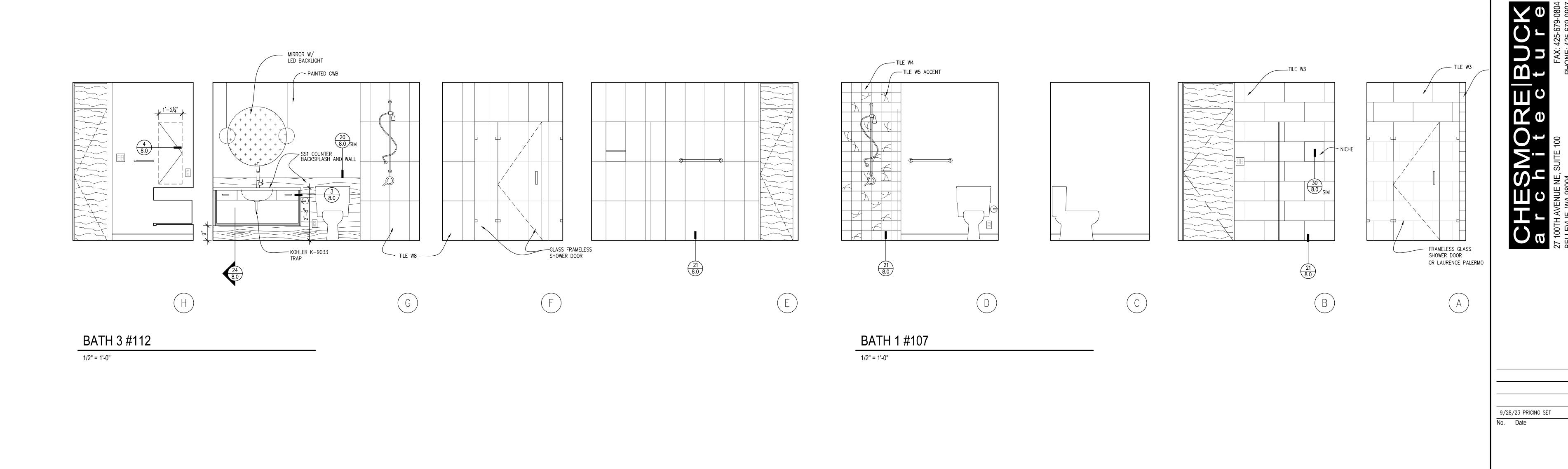


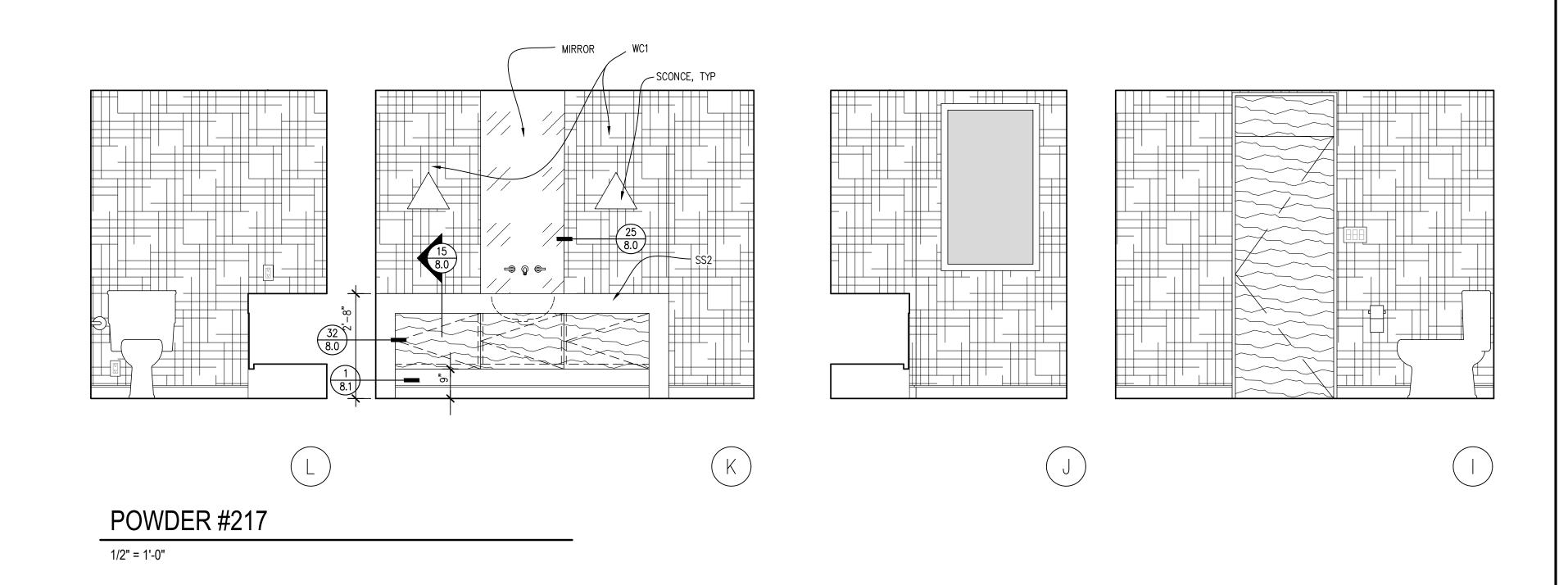


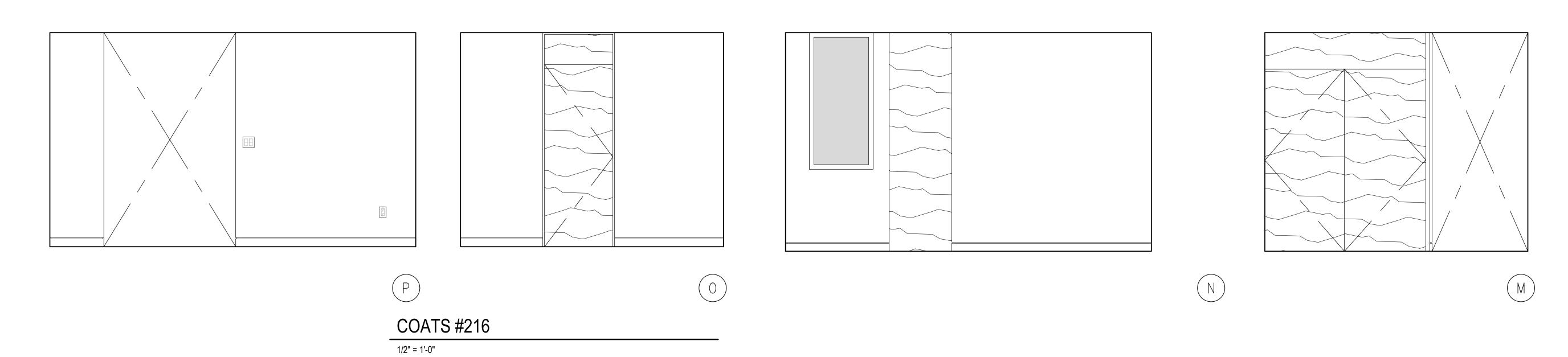
9/28/23 PRICING SET

INTERIOR ELEVATIONS

7.0 2222 9/8/23







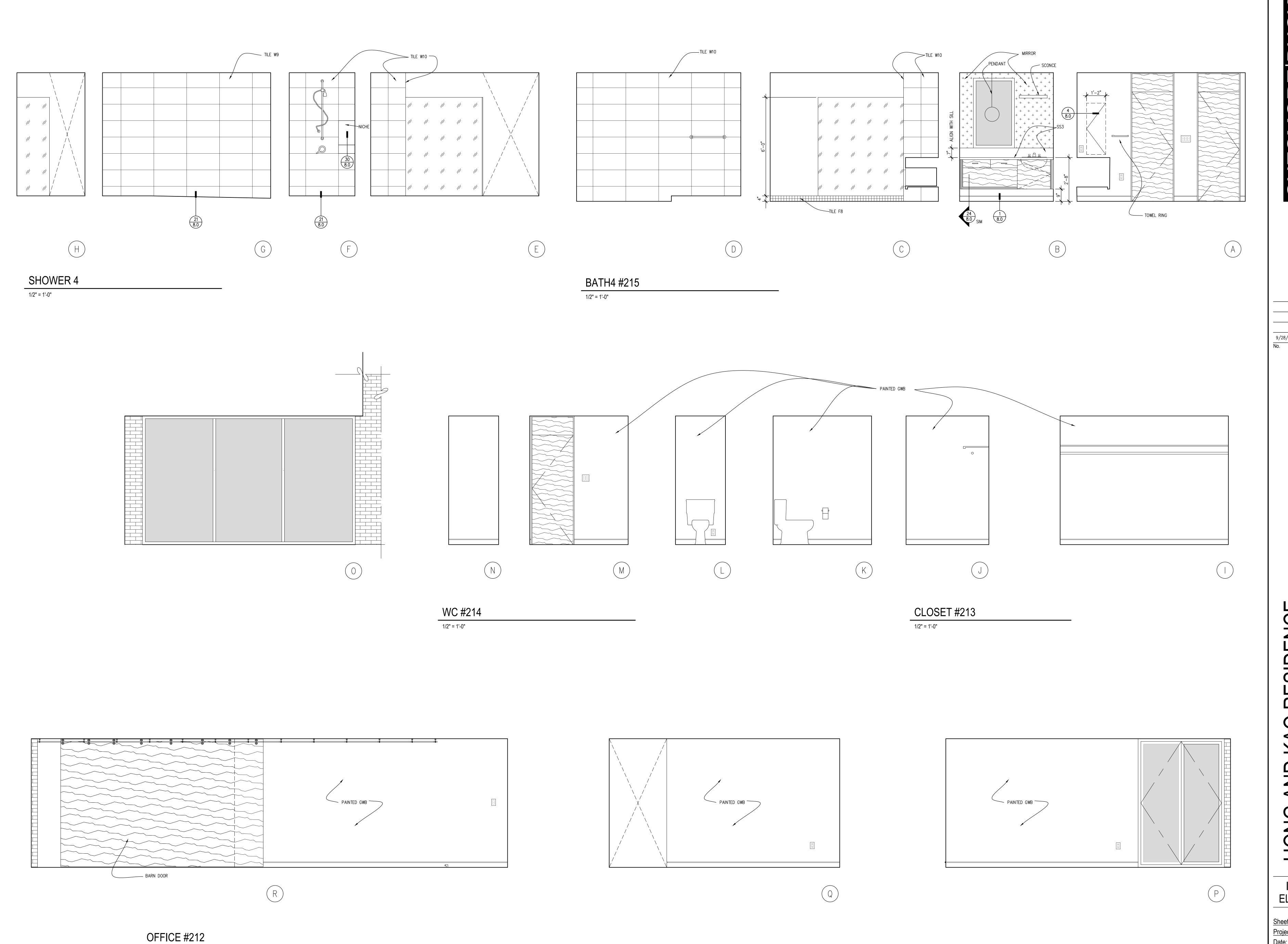
ONG AND KAO RESIDENCE

INTERIOR ELEVATIONS 7 1

 Sheet No.
 7.1

 Project No.
 2222

 Date:
 9/8/23

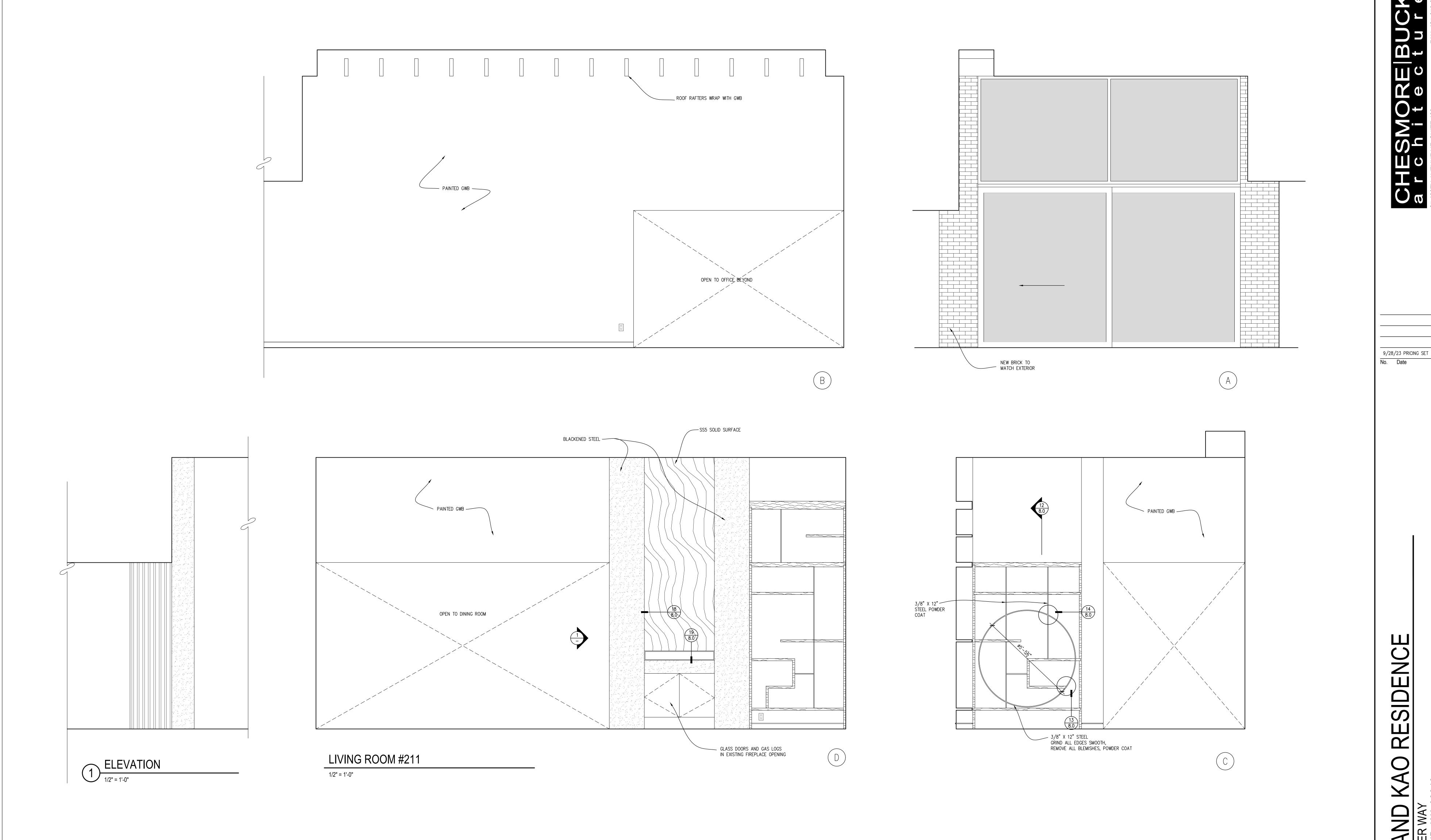


1/2" = 1'-0"

9/28/23 PRICING SET

INTERIOR ELEVATIONS

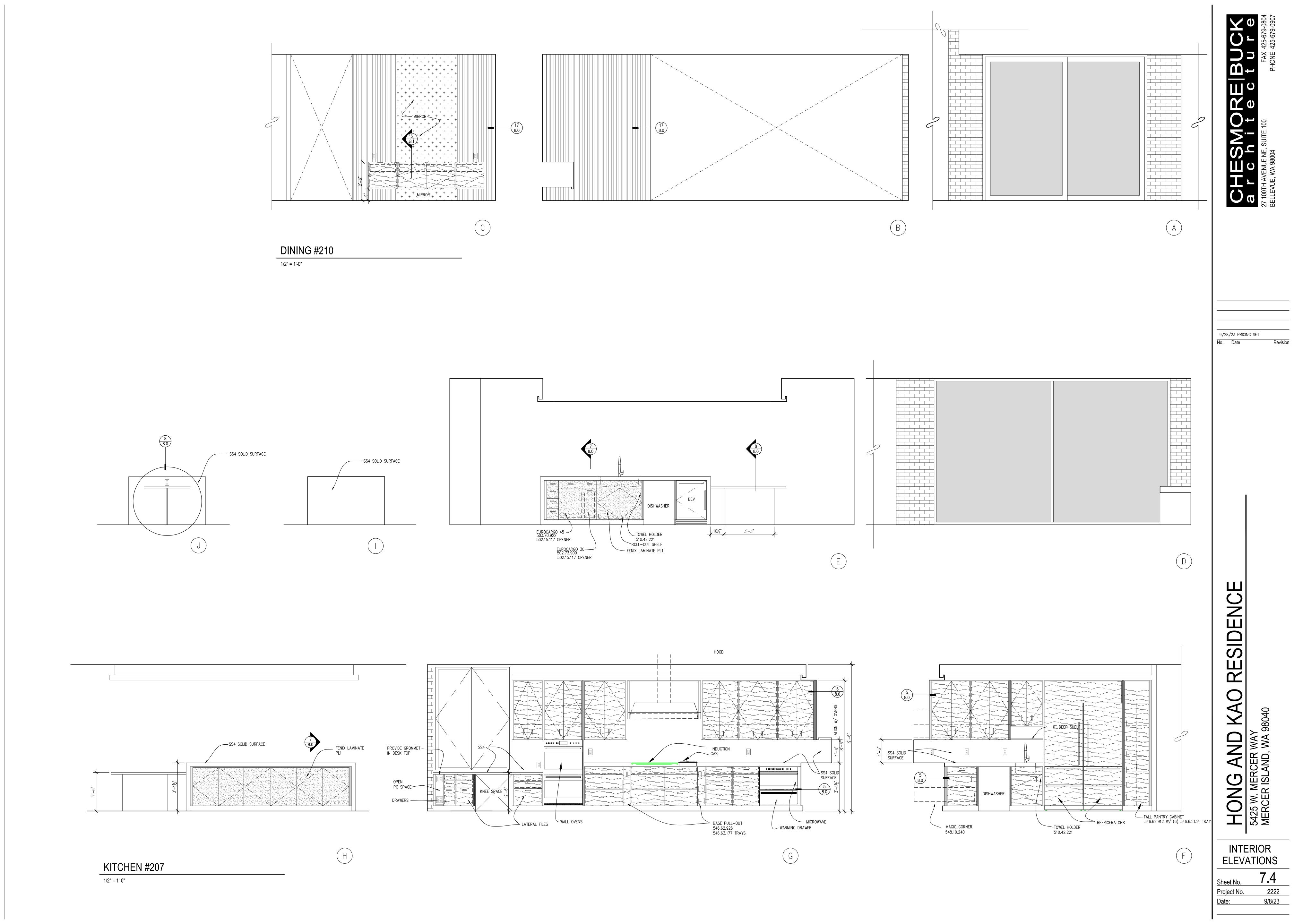
7.2 2222 9/8/23

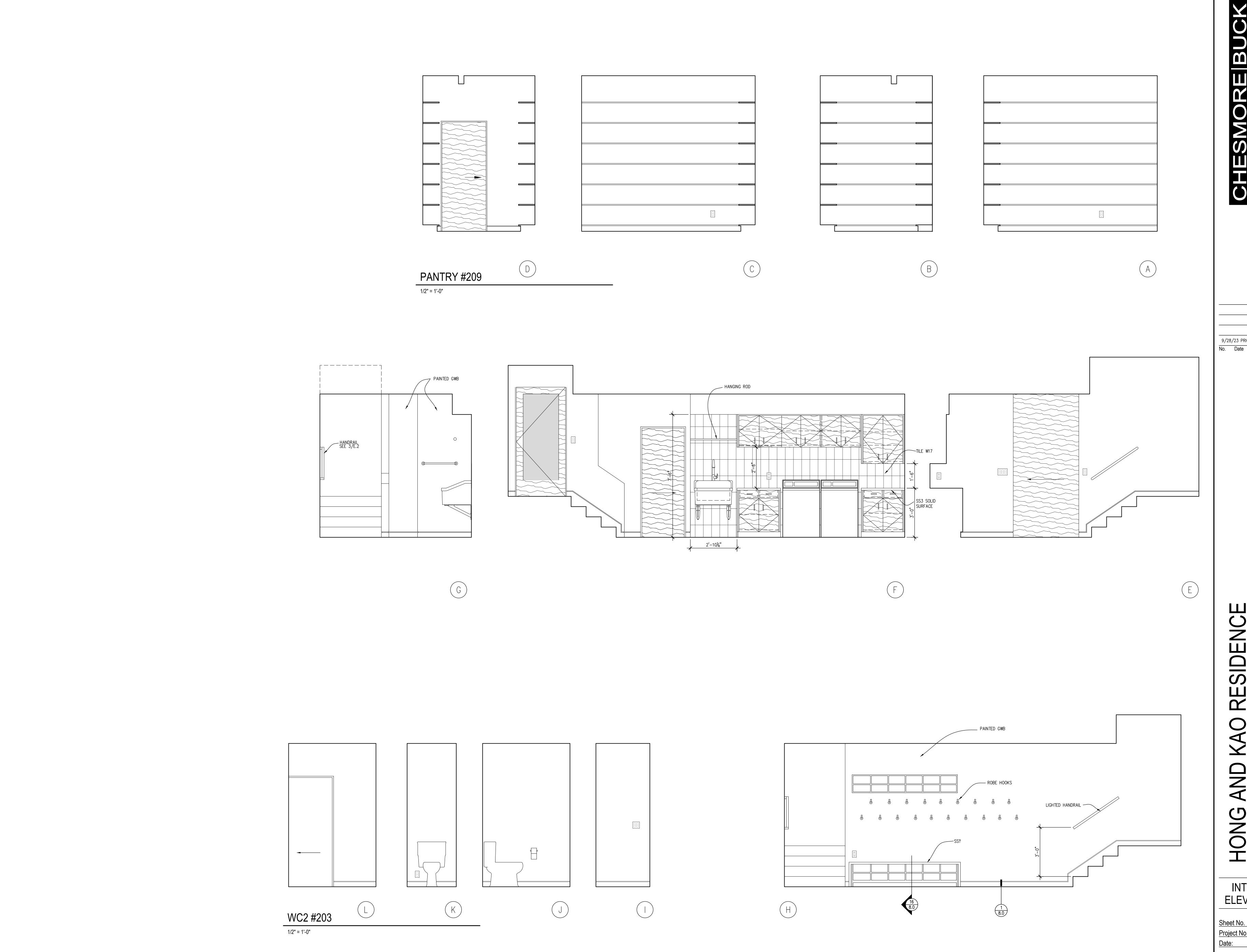


RESIDENCE

INTERIOR ELEVATIONS

7.3 2222 9/8/23



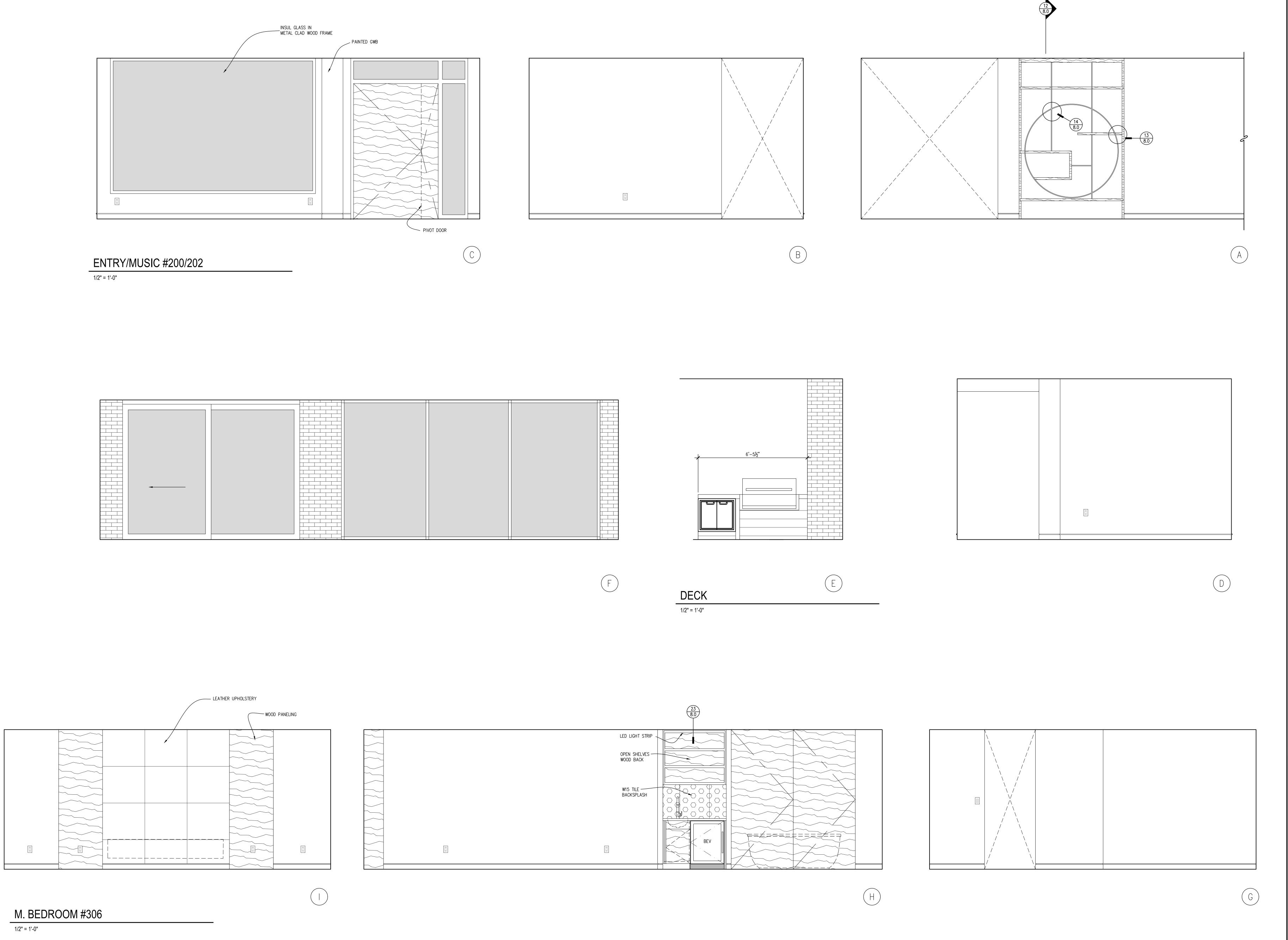


9/28/23 PRICING SET

No. Date

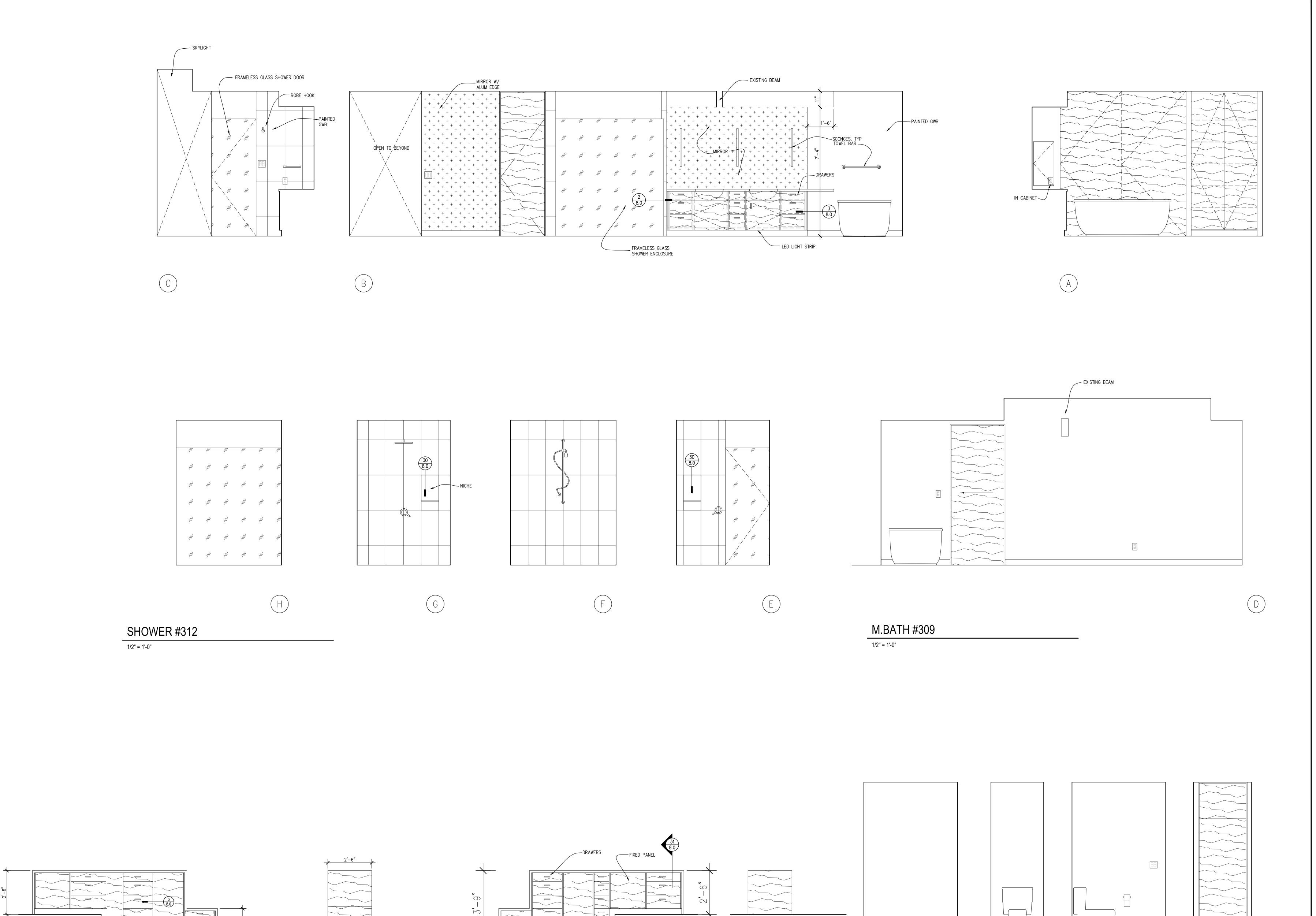
INTERIOR ELEVATIONS

7.5 2222 9/8/23



INTERIOR ELEVATIONS

7.6 2222 9/8/23



M

WC3 #310

1/2" = 1'-0"

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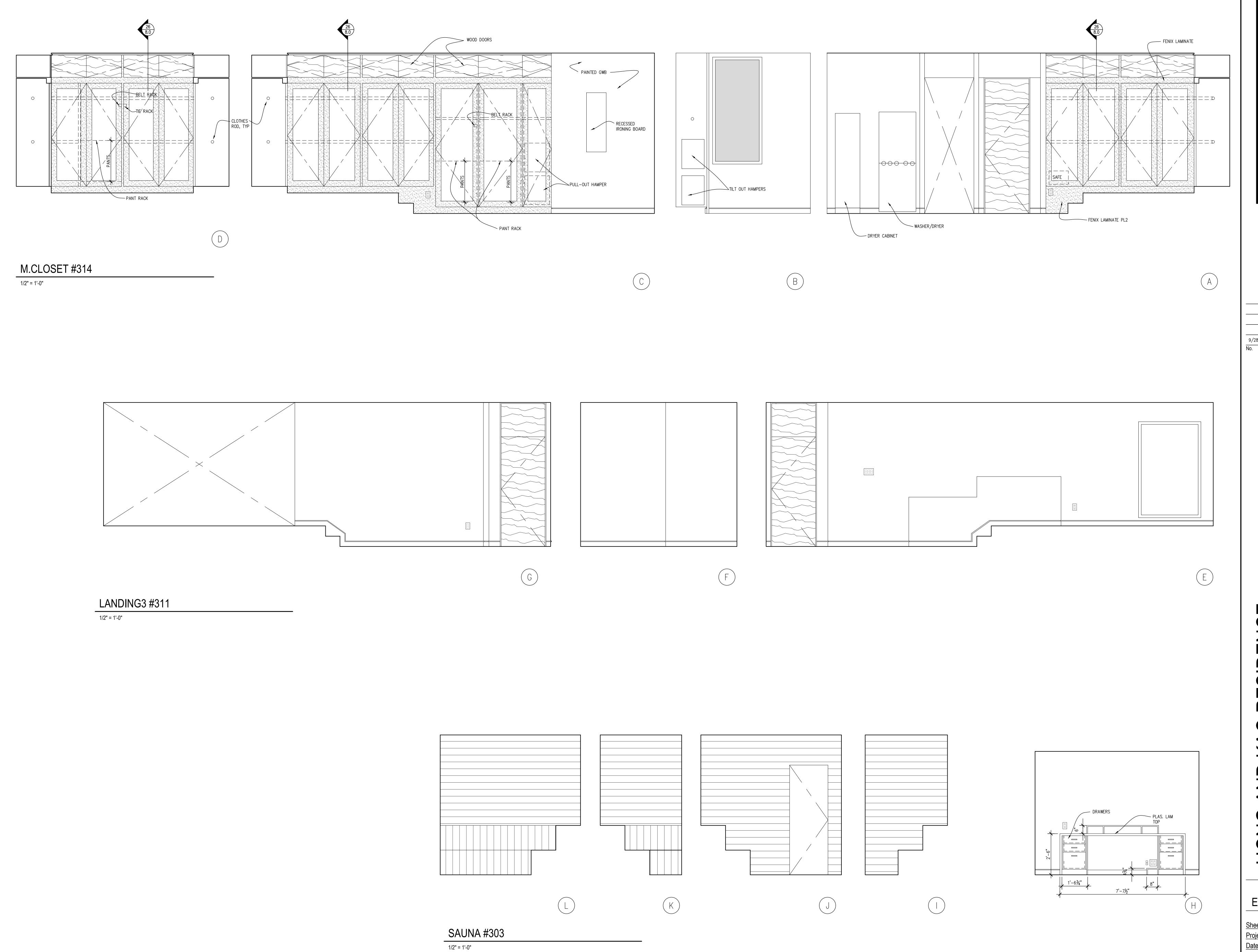
M.CLOSET ISLAND #314

1/2" = 1'-0"

9/28/23 PRICING SET

INTERIOR ELEVATIONS

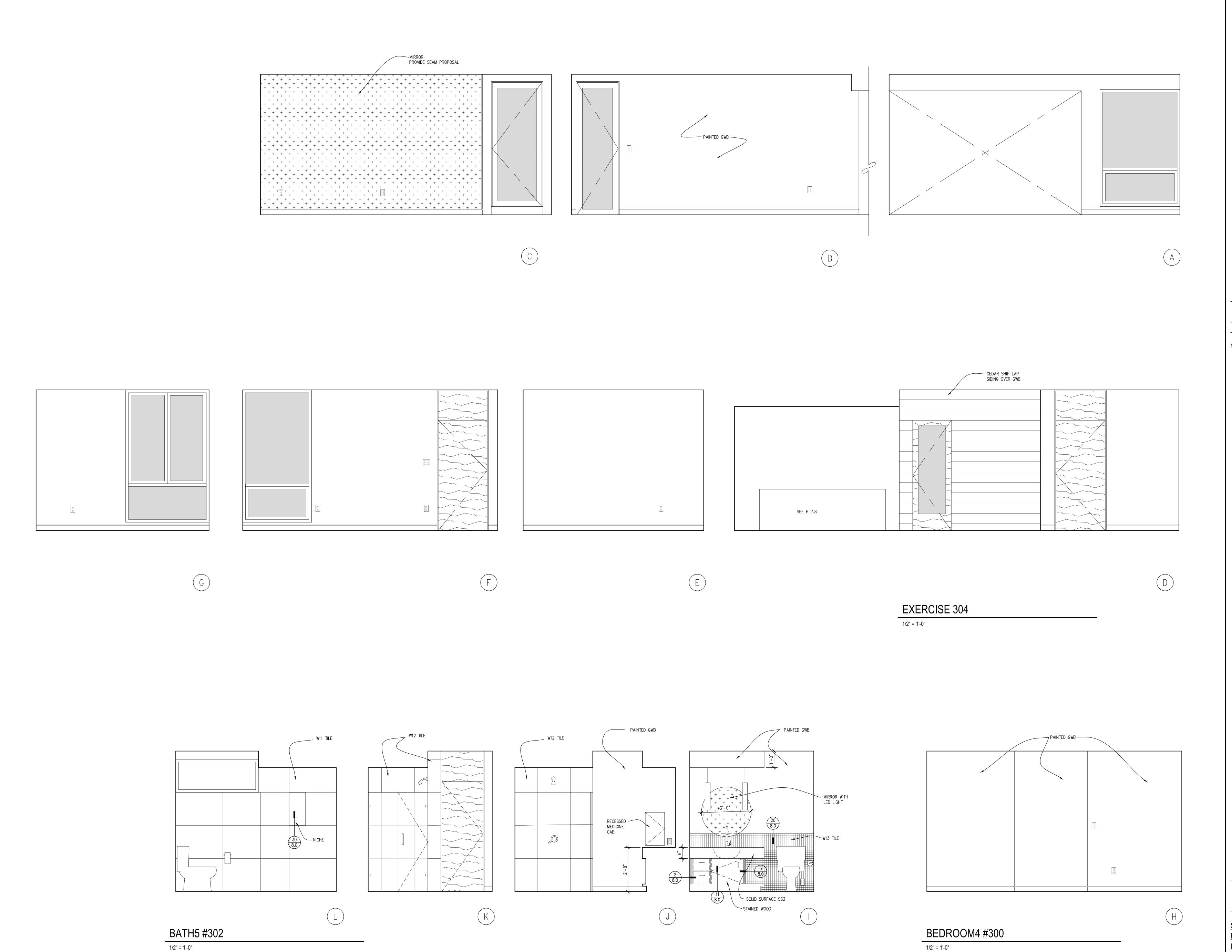
2222 9/8/23



9/28/23 PRICING SET

INTERIOR ELEVATIONS

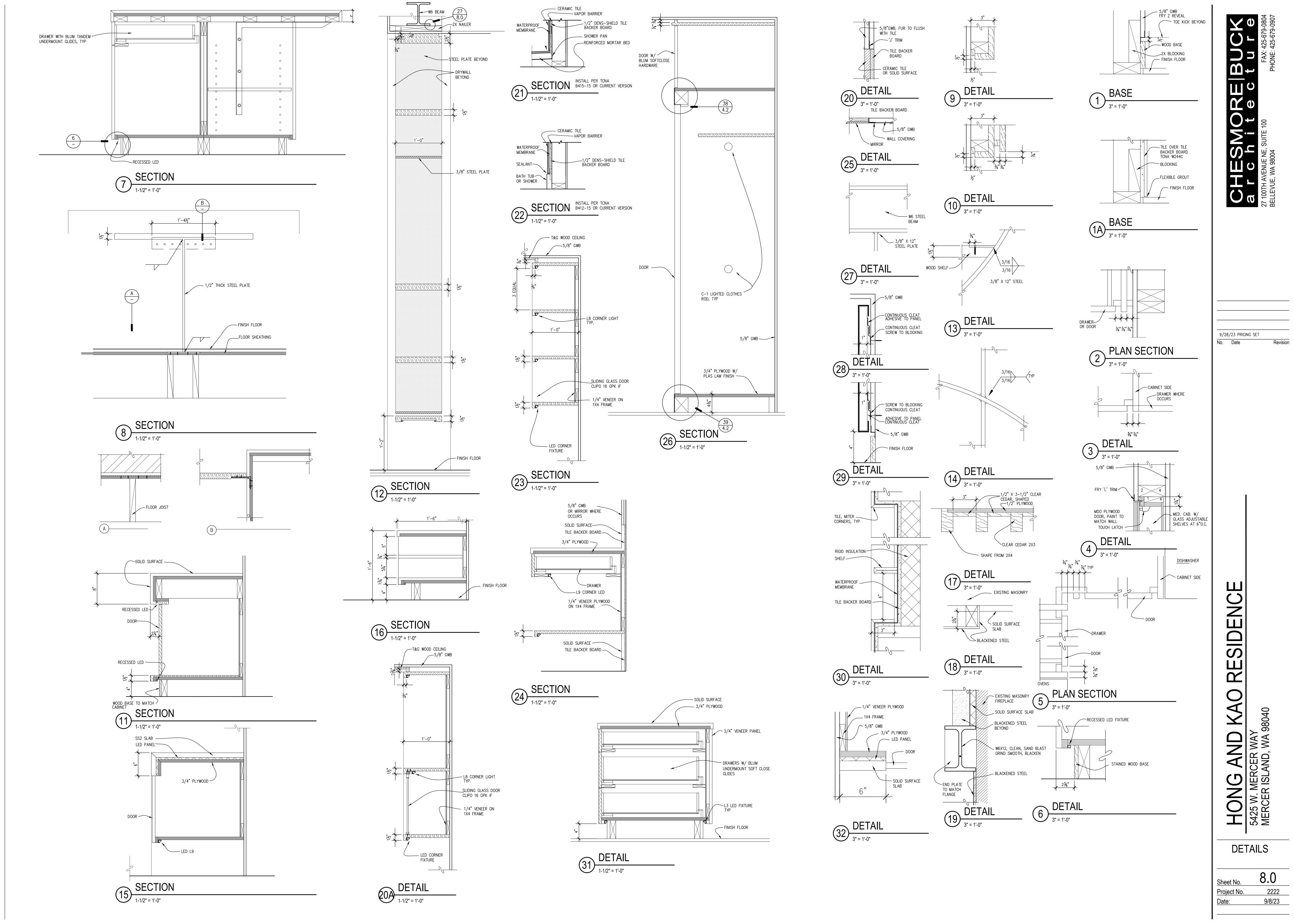
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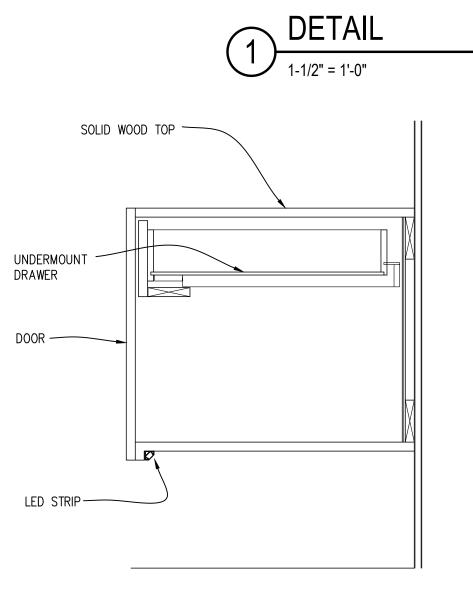
9/28/23 PRICING SET

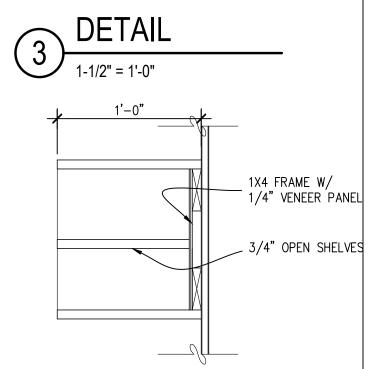
INTERIOR ELEVATIONS

2222 9/8/23









DETAIL

1-1/2" = 1'-0"

 $\frac{9/28/23}{\text{No.}}$ PRICING SET

HONG AND KAO RESIDENCE 5425 W. MERCER WAY MERCER ISLAND, WA 98040

DETAILS

8.1 2222 9/8/23

B. Extend vapor retarder to extremities of areas to be protected from vapor transmission. Secure in place with adhesives or other anchorage.

Locate seams at framing members, overlap, and seal with tape.

END OF SECTION 07210

UNIT MASONRY ASSEMBLIES 04810 - 1 SECTION 04810 - UNIT MASONRY ASSEMBLIES PART 1 - GENERAL 1.1 SECTION REQUIREMENTS A. Submittals: Samples for face brick and colored mortar B. Comply with ACI 530.1/ASCE 6/TMS 602. C. Mockups: Construct a sample wall panel approximately 48 inches long by 48 inches high to demonstrate aesthetic effects and set quality standards for materials and execution. PART 2 - PRODUCTS 2.1 MASONRY UNITS A. Face Brick: Grade SW, Type FBX. Products: a. Mutual Materials (Jackson Valencia 425-452-2430) Size: Standard match existing. 3. Solid brick with exposed surfaces finished for ends of sills and caps. 4. Special shapes for applications where shapes produced by sawing would result in sawed surfaces being exposed to view. 2.2 MORTAR AND GROUT A. Mortar: Ready-mixed mortar, ASTM C 1142, may be used at Contractor's option. Do not use calcium chloride in mortar. 2. For masonry below grade or in contact with earth, use Type M.

For exterior, above-grade, load-bearing and non-load-bearing walls and parapet walls; for interior load-bearing walls; for interior non-load-bearing partitions, and for other applications where another type is not indicated, use Type N. 2.3 REINFORCEMENT, TIES, AND ANCHORS

A. Veneer Anchors: Two-piece adjustable masonry veneer anchors that allow vertical or horizontal adjustment but resist tension and compression forces perpendicular to plane of wall, for attachment over sheathing to studs, and acceptable to authorities having jurisdiction. Products:

2.4 EMBEDDED FLASHING MATERIALS

A. Sheet Metal Flashing: Stainless steel, 0.0156 inch thick or Copper, 10-oz./sq. ft. weight or 0.0135 inch thick for fully concealed flashing, 16-oz./sq. ft. weight or 0.0216 inch thick elsewhere.

2.5 MISCELLANEOUS MASONRY ACCESSORIES

a. see detail 9 on sheet s4.4

A. Compressible Filler: Premolded strips complying with ASTM D 1056, Grade 2A1.

B. Preformed Control-Joint Gaskets: Designed to fit standard sash block and to maintain lateral stability in masonry wall; made from styrene-butadiene rubber or PVC. C. Weep Holes: [Round polyethylene tubing, 3/8-inch OD] [Cotton or polyester rope, 1/4 to 3/8 inch in diameter, 24 inches

PART 3 - EXECUTION

3.1 INSTALLATION, GENERAL

A. Cut masonry units with saw. Install with cut surfaces and, where possible, cut edges concealed.

B. Mix units for exposed unit masonry from several pallets or cubes as they are placed to produce uniform blend of colors and

Matching Existing Masonry: Match coursing, bonding, color, and texture of existing masonry.

C. Stopping and Resuming Work: Rack back units; do not tooth.

D. Build non-load-bearing interior partitions full height and install compressible filler in joint between top of partition and underside

E. Tool exposed joints slightly concave when thumbprint hard, unless otherwise indicated.

F. Keep cavities clean of mortar droppings and other materials during construction. Strike joints facing cavities flush.

3.2 LINTELS A. Install steel lintels where indicated.

3.3 FLASHING AND WEEP HOLES

A. Install embedded flashing and weep holes in masonry at shelf angles, lintels, ledges, other obstructions to the downward flow of water in the wall, and where indicated.

B. Place through-wall flashing on sloping bed of mortar and cover with mortar. Seal penetrations in flashing before covering with

1. Extend flashing 4 inches into masonry at each end and turn up 2 inches to form a pan.

C. Trim wicking material used in weep holes flush with outside face of wall after mortar has set.

3.4 CLEANING

A. Clean masonry as work progresses. Remove mortar fins and smears before tooling joints.

B. Final Cleaning: After mortar is thoroughly cured, remove large mortar particles, scrub, and rinse unit masonry.

Wet wall surfaces with water before applying acidic cleaner, then remove cleaner promptly by rinsing thoroughly with clear water.

END OF SECTION 04810

EXECUTION AND CLOSEOUT REQUIREMENTS

SECTION 01701 - EXECUTION AND CLOSEOUT REQUIREMENTS

1.1 CLOSEOUT SUBMITTALS

A. Record Drawings: Maintain a set of the Contract Drawings as Record Drawings. Mark to show installation that varies from the Work originally shown. Operation and Maintenance Data: Organize data into three-ring binders with identification on front and spine of each binder and pocket folders for folded sheet information. . Include the following:

Manufacturer's operation and maintenance brochures.

Emergency instructions

Spare parts list. Wiring diagrams.

Copies of warranties.

PART 2 - PRODUCTS (Not Applicable) PART 3 -EXECUTION

3.1 EXAMINATION AND PREPARATION

A. Examine substrates and conditions for compliance with manufacturer's written requirements including, but not limited to, surfaces that are sound, level, plumb, smooth, clean, and free of deleterious substances; substrates within installation tolerances; and application conditions within environmental limits. Proceed

with installation only after unsatisfactory conditions have been corrected.

measurement before fabricating and, when possible, allow for fitting and trimming during installation.

B. Verify layout information shown on Drawings, in relation to property survey and existing benchmarks, before laying out the Work. C. Prepare substrates and adjoining surfaces according to manufacturer's written instructions, including, but not limited to, filler and primer application.

D. Take field measurements as required to fit the Work properly. Where fabricated products are to be fitted to other construction, verify dimensions by field

3.2 CUTTING AND PATCHING

A. Do not cut structural members [or operational elements] without prior written approval of Architect.

B. For patching, provide materials whose installed performance will equal or surpass that of existing materials. For exposed surfaces, provide or finish materials to visually match existing adjacent surfaces to the fullest extent possible.

3.3 INSTALLATION

A. Comply with manufacturer's written instructions for installation. Anchor each product securely in place, accurately located and aligned. Clean exposed surfaces and protect from damage. If applicable, prepare surfaces for field finishing.

B. Clean Project site and work areas daily, including common areas.

Remove labels that are not permanent.

3.4 FINAL CLEANING

A. Clean each surface or item as follows before requesting inspection for certification of Substantial Completion:

2. Clean transparent materials, including mirrors. Remove excess glazing compounds. Replace chipped or broken glass.

3. Clean exposed finishes to a dust-free condition, free of stains, films, and foreign substances. Leave concrete floors broom clean. 4. Vacuum carpeted surfaces and wax resilient flooring.

5. Wipe surfaces of mechanical and electrical equipment. Remove excess lubrication. Clean plumbing fixtures. Clean light fixtures and lamps.

6. Clean the site. Sweep paved areas; remove stains, spills, and foreign deposits. Rake grounds to a smooth, even-textured surface.

3.5 CLOSEOUT PROCEDURES

A. Substantial Completion: Before requesting Substantial Completion inspection, complete the following:

2. Submit specific warranties, maintenance agreements, and similar documents.

1. Advise Owner of pending insurance changeover requirements.

3. Obtain and submit releases permitting Owner unrestricted use of the Work and access to services and utilities. Include occupancy permits, operating certificates, and similar releases.

4. Submit Record Drawings[and Specifications], operation and maintenance manuals,[property surveys,] and similar final record information.

5. Deliver tools, spare parts, extra materials, and similar items.

6. Changeover locks and transmit keys to Owner.

7. Complete startup testing of systems and instruction of operation and maintenance personnel.

8. Remove temporary facilities and controls.

9. Advise Owner of changeover information related to Owner's occupancy, operation, and maintenance.

10. Complete final cleaning requirements, including touchup painting.

11. Touch up and otherwise repair and restore marred exposed finishes to eliminate visual defects.

B. On receipt of a request for inspection, Architect will proceed with inspection or advise Contractor of unfulfilled requirements. Architect will prepare the Certificate of Substantial Completion after inspection or advise Contractor of items that must be completed or corrected before the certificate will be issued.

C. Request inspection for certification of Final Completion, once the following are complete:

1. Submit a copy of Substantial Completion inspection list stating that each item has been completed or otherwise resolved for acceptance.

2. Instruct Owner's personnel in operation, adjustment, and maintenance of products, equipment, and systems.

D. Architect will reinspect the Work on receipt of notice that the Work has been completed.

1. On completion of reinspection, Architect will prepare a final Certificate for Payment. If the Work is incomplete, Architect will advise Contractor of the Work that is incomplete or obligations that have not yet been fulfilled.

3.6 DEMONSTRATION AND TRAINING

A. Provide experienced instructors for each piece of equipment that requires operation and maintenance to provide instruction to Owner's personnel. Include a

1. Include instruction for system design and operational philosophy, review of documentation, operations, adjustments, troubleshooting, maintenance, and

END OF SECTION 01700

SECTION 01732 - SELECTIVE DEMOLITION

PART 1 - GENERAL

1.1 SECTION REQUIREMENTS

A. Unless otherwise indicated, demolished materials become Contractor's property. Remove from Project site.

B. Items indicated to be removed and salvaged remain Owner's property. Remove, clean, and deliver to Owner's designated storage area.

C. Comply with EPA regulations and disposal regulations of authorities having jurisdiction.

D. Conduct demolition without disrupting Owner's use of the building.

E. It is not expected that hazardous materials will be encountered in the Work. If materials suspected of containing hazardous materials are encountered, do not disturb; immediately notify Architect and Owner. Hazardous materials will be removed by Owner.

PART 2 -PRODUCTS (Not Applicable) PART 3 -EXECUTION

3.1 DEMOLITION

A. Maintain and protect existing utilities to remain in service before proceeding with demolition.

B. Locate, identify, shut off, disconnect, and cap off utility services to be demolished. C. Conduct demolition operations and remove debris to prevent injury to people and damage to adjacent buildings and site improvements.

D. Provide and maintain shoring, bracing, or structural support to preserve building stability and prevent movement, settlement, or collapse.

E. Protect building structure and interior from weather and water leakage and damage.

F. Protect walls, ceilings, floors, and exposed finishes that are to remain.

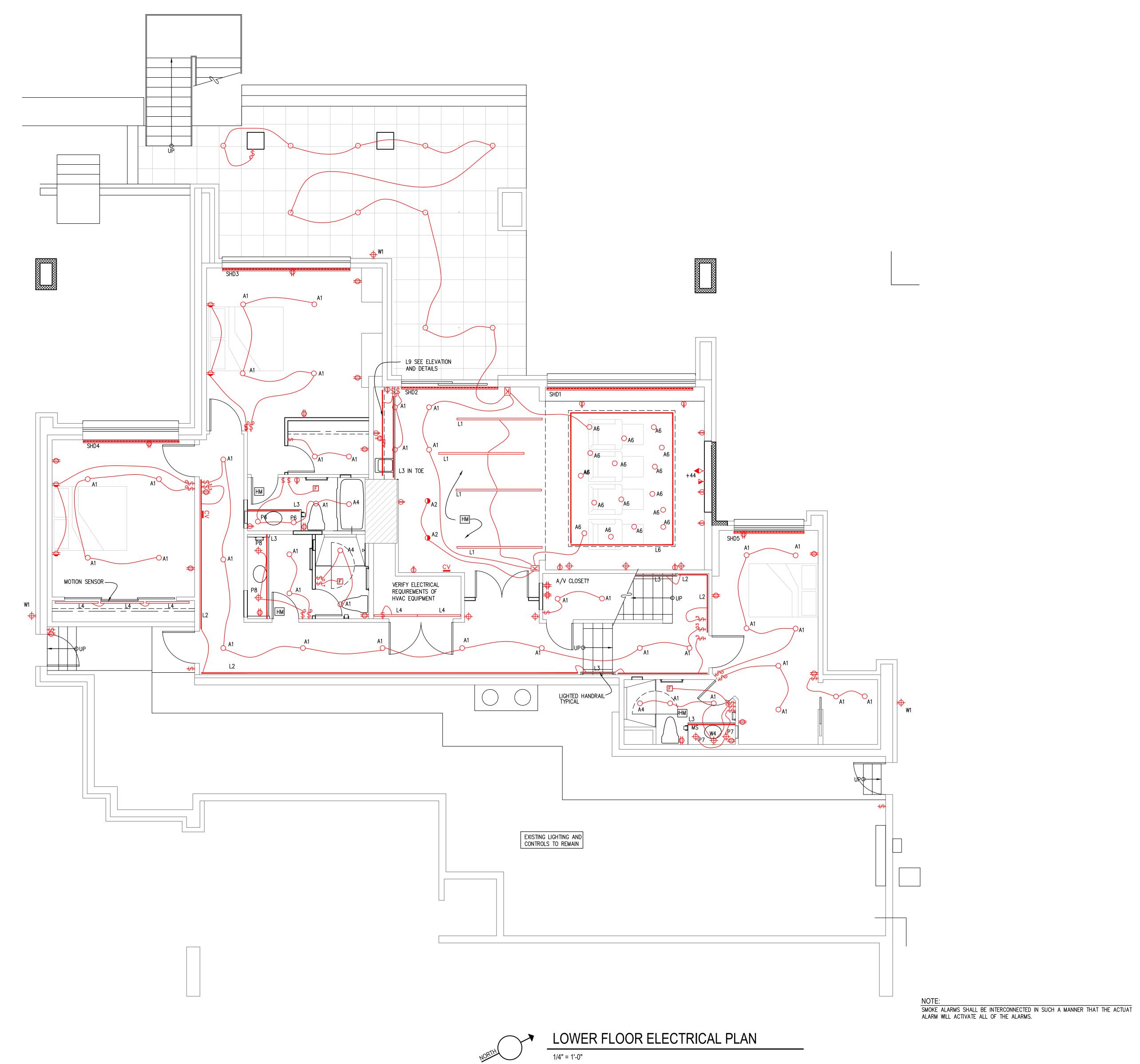
G. Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining

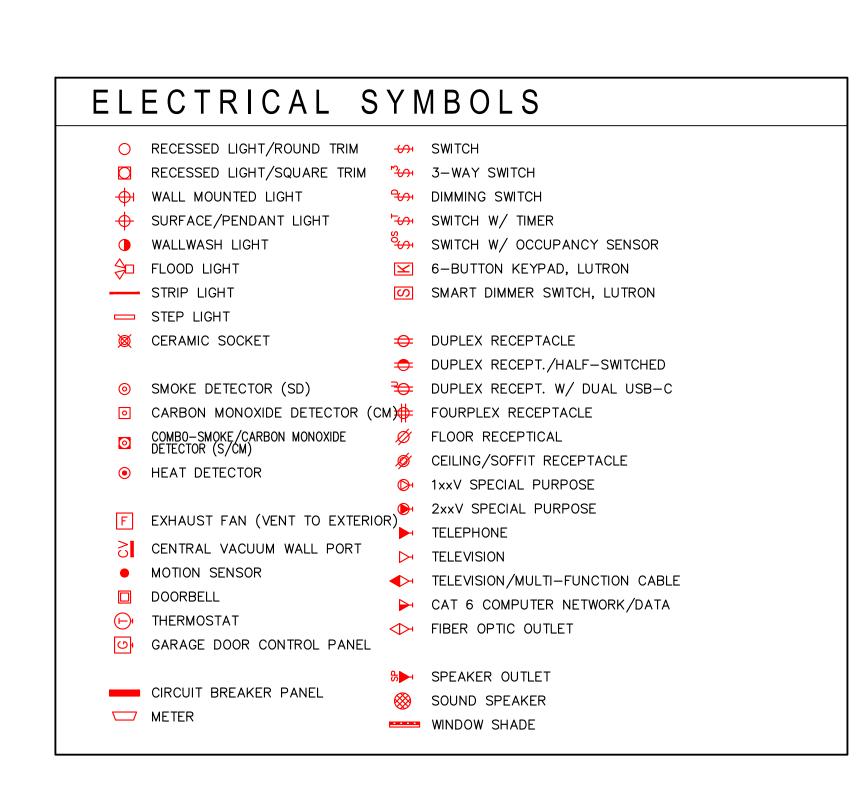
H. Promptly patch and repair holes and damaged surfaces of building caused by demolition. Restore exposed finishes of patched areas and extend finish restoration

into remaining adjoining construction. I. Promptly remove demolished materials from Owner's property and legally dispose of them.

END OF SECTION 01732

9/28/23 PRICING SET





ND KAO RESIDEN

5 W. MERCER WAY

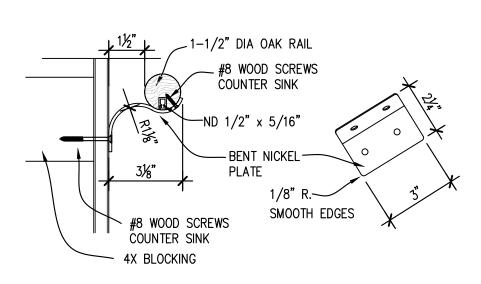
LOWER FLOOR ELECTRICAL

E.1
Project No. 2222
Pate: 9/8/23

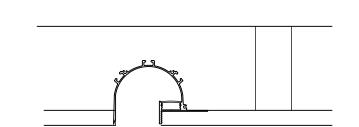
1) DETAIL

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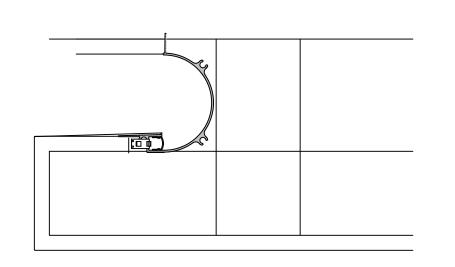
2 DETAIL
3" = 1'-0"



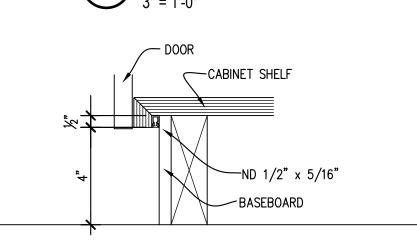
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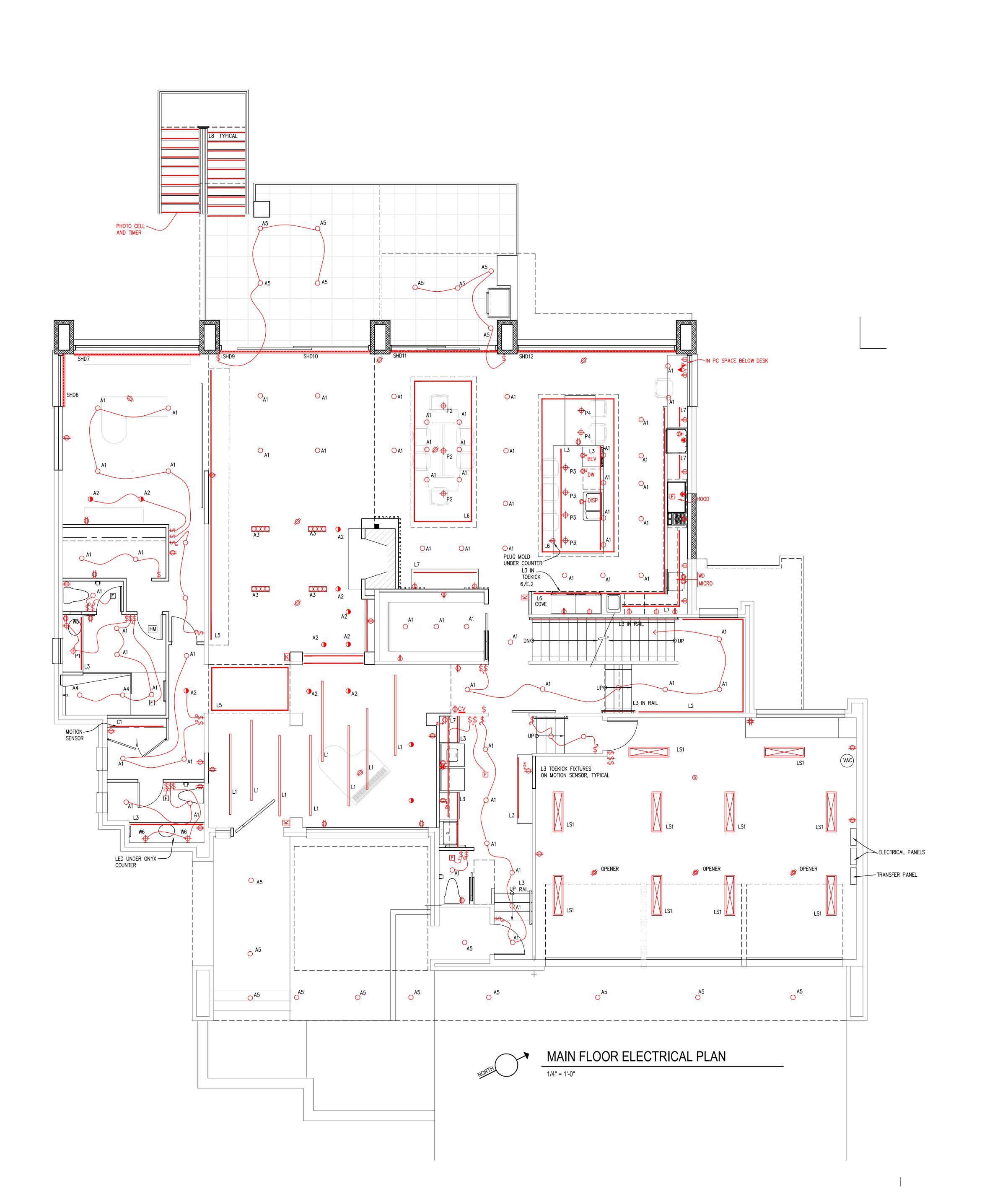
4 DETAIL
3" = 1'-0"



5 DETAIL
3" = 1'-0"



6 DETAIL



CHESMORE BUCK
a r c h i t e c t u r e

27 100TH AVENUE NE, SUITE 100
BELLEVUE, WA 98004
PHONE: 425-679-0907

9/28/23 PRICING SET

No. Date R

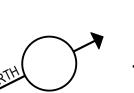
9/28/23 PRICING SET

No. Date

ND KAO RESIDENCE

MAIN FLOOR ELECTRICAL PLAN

E.2
neet No.
oject No.
2222
ete: 9/8/23



UPPER FLOOR ELECTRICAL PLAN

1/4" = 1'-0"

UPPER FLOOR ELECTRICAL

MARK ELE SHD1 SHD2 SHD3	V. LOC.	OPERATION MOTOR MOTOR	TYPE A	QTY 2	WIDTH	HEIGHT	SQ. FT.	FABRIC	HEMBAR	HOUSING	REMARKS
SHD2			• •		6'-10"	8'-9"					DUAL 95% AND BLACKOUT
			Α	1	9'-0"	9'-3"					DUAL 95% AND BLACKOUT
		MOTOR	A	1	12'-1"	7'-10"					DUAL 95% AND BLACKOUT
SHD4		MOTOR	A	1	9'-0"	6'-3"					DUAL 95% AND BLACKOUT
SHD5		MOTOR	Α	1	6'-6"	5'-8"					DUAL 95% AND BLACKOUT
SHD6		MOTOR	A	1	5'-4"	7'-9"					DUAL 95% AND BLACKOUT
SHD7		MOTOR	A	1	12'-6"	7'-9"					DUAL 95% AND BLACKOUT
SHD9			A	1	7'-6"						95%
SHD10			A	1							95%
			A	1							95%
			A .	1							95%
				1							DUAL 95% AND BLACKOUT
			+ :	1							DUAL 95% AND BLACKOUT
			+ :	1							DUAL 95% AND BLACKOUT
SHD10		MOTOR	A	1	4-3	7 = 0					DUAL 95% AND BLACKOUT
	SHD5 SHD6 SHD7 SHD9	SHD5 SHD6 SHD7 SHD9 SHD10 SHD11 SHD12 SHD13 SHD14 SHD15	SHD5 MOTOR SHD6 MOTOR SHD7 MOTOR SHD9 MOTOR SHD10 MOTOR SHD11 MOTOR SHD12 MOTOR SHD13 MOTOR SHD14 MOTOR SHD15 MOTOR	SHD5 MOTOR A SHD6 MOTOR A SHD7 MOTOR A SHD9 MOTOR A SHD10 MOTOR A SHD11 MOTOR A SHD12 MOTOR A SHD13 MOTOR A SHD14 MOTOR A SHD15 MOTOR A	SHD5 MOTOR A 1 SHD6 MOTOR A 1 SHD7 MOTOR A 1 SHD9 MOTOR A 1 SHD10 MOTOR A 1 SHD11 MOTOR A 1 SHD12 MOTOR A 1 SHD13 MOTOR A 1 SHD14 MOTOR A 1 SHD15 MOTOR A 1	SHD5 MOTOR A 1 6'-6" SHD6 MOTOR A 1 5'-4" SHD7 MOTOR A 1 12'-6" SHD9 MOTOR A 1 7'-6" SHD10 MOTOR A 1 7'-6" SHD11 MOTOR A 1 10'-8" SHD12 MOTOR A 1 15'-10" SHD13 MOTOR A 1 10'-8" SHD14 MOTOR A 1 15'-3" SHD15 MOTOR A 1 5'-3"	SHD5 MOTOR A 1 6'-6" 5'-8" SHD6 MOTOR A 1 5'-4" 7'-9" SHD7 MOTOR A 1 12'-6" 7'-9" SHD9 MOTOR A 1 7'-6" 15'-6" SHD10 MOTOR A 1 7'-6" 15'-6" SHD11 MOTOR A 1 10'-8" 9'-6" SHD12 MOTOR A 1 15'-10" 9'-6" SHD13 MOTOR A 1 10'-8" 8'-2" SHD14 MOTOR A 1 15'-3" 8'-2" SHD15 MOTOR A 1 5'-3" 7'-0"	SHD5 MOTOR A 1 6'-6" 5'-8" SHD6 MOTOR A 1 5'-4" 7'-9" SHD7 MOTOR A 1 12'-6" 7'-9" SHD9 MOTOR A 1 7'-6" 15'-6" SHD10 MOTOR A 1 7'-6" 15'-6" SHD11 MOTOR A 1 10'-8" 9'-6" SHD12 MOTOR A 1 15'-10" 9'-6" SHD13 MOTOR A 1 10'-8" 8'-2" SHD14 MOTOR A 1 15'-3" 8'-2" SHD15 MOTOR A 1 5'-3" 7'-0"	SHD5 MOTOR A 1 6'-6" 5'-8" SHD6 MOTOR A 1 5'-4" 7'-9" SHD7 MOTOR A 1 12'-6" 7'-9" SHD9 MOTOR A 1 7'-6" 15'-6" SHD10 MOTOR A 1 7'-6" 15'-6" SHD11 MOTOR A 1 10'-8" 9'-6" SHD12 MOTOR A 1 15'-10" 9'-6" SHD13 MOTOR A 1 10'-8" 8'-2" SHD14 MOTOR A 1 15'-3" 8'-2" SHD15 MOTOR A 1 5'-3" 7'-0"	SHD5 MOTOR A 1 6'-6" 5'-8" SHD6 MOTOR A 1 5'-4" 7'-9" Control SHD7 MOTOR A 1 12'-6" 7'-9" Control SHD9 MOTOR A 1 7'-6" 15'-6" Control SHD10 MOTOR A 1 7'-6" 15'-6" Control Control SHD11 MOTOR A 1 10'-8" 9'-6" Control Control <t< th=""><th>SHD5 MOTOR A 1 6'-6" 5'-8" SHD6 SHD6 MOTOR A 1 5'-4" 7'-9" SHD6 MOTOR A 1 12'-6" 7'-9" SHD6 MOTOR A 1 12'-6" 7'-9" SHD6 SHD7 MOTOR A 1 12'-6" 7'-9" SHD6 SHD7 MOTOR A 1 7'-6" 15'-6" SHD6 SHD7 MOTOR A 1 7'-6" 15'-6" SHD7 SHD14 MOTOR A 1 10'-8" 9'-6" SHD7 SHD14 MOTOR A 1 15'-10" 9'-6" SHD7 SHD14 MOTOR A 1 10'-8" 8'-2" SHD14 MOTOR A 1 15'-3" 7'-0" SHD15 MOTOR A 1 15'-3" 7'-0" SHD15 SHD15 MOTOR A 1 15'-3" 7'-0" SHD15 SHD15 MOTOR A 1 15'-3" 7'-0" <</th></t<>	SHD5 MOTOR A 1 6'-6" 5'-8" SHD6 SHD6 MOTOR A 1 5'-4" 7'-9" SHD6 MOTOR A 1 12'-6" 7'-9" SHD6 MOTOR A 1 12'-6" 7'-9" SHD6 SHD7 MOTOR A 1 12'-6" 7'-9" SHD6 SHD7 MOTOR A 1 7'-6" 15'-6" SHD6 SHD7 MOTOR A 1 7'-6" 15'-6" SHD7 SHD14 MOTOR A 1 10'-8" 9'-6" SHD7 SHD14 MOTOR A 1 15'-10" 9'-6" SHD7 SHD14 MOTOR A 1 10'-8" 8'-2" SHD14 MOTOR A 1 15'-3" 7'-0" SHD15 MOTOR A 1 15'-3" 7'-0" SHD15 SHD15 MOTOR A 1 15'-3" 7'-0" SHD15 SHD15 MOTOR A 1 15'-3" 7'-0" <

ATION	MARK	DESCRIPTION	REMARKS	FIXTURE QTY	LOCATION	MARK	DESCRIPTION	REMARKS	FIXTURE QTY	LOCATION	MARK	DESCRIPTION	REMARKS	FIXTUF QTY
														+

1		CAL FIX					LAMP			
ARK	DESCRIPTION	SIZE	TYPE	MANUF.	MODEL NO.	FINISH / TRIM	WATTS	LUMENS	TEMP.	REMARKS
	RECESSED LINEAR RECESSED COVE			NWLED NWLED	LINH-080 LINF12-023-S0-30K-VARIES					DETAIL 2/E.2
	RAIL LIGHT			NWLED	LINF12-ND-S0-30K-VARIES					DETAIL 3/E.2
	CLOSET LIGHT			NORA	NLSTR-4L1334W	WHITE				
	SKYLIGHT			NWLED NWLED	LINF12-018-WD-30K- LINF12NI-F-SO-30K	LENGTH VARIES	24W			
	COVE LIGHT UNDERCABINET			NWLED	LINF12NI-F-50-30K LINF12-NT-F-MB-30K		2411	1		
	NOSING			NWLED	LINF12/24-S-F-S-30K					
	CORNER			NWLED	LINF12/24-C-o-MB-30K					
	SURFACE			NORA	NLSTR-4L1334W					
	DOWNLIGHT			NORA	NHSIC-485LE3LT	NLCBS-4W51-85-30-MPW		_		
	WALL WASH MULTIHEAD			NORA COOPER	NHRIOIC-48 LAM4B4-08-R25-97-30	NIO-4RC-30X-MPW MATTE BLACK	14W _			
	SHOWER LIGHT			NORA	NSEIC-407AT/20	NL-427W-	20W/LED			
	EXTERIOR DOWNLIGHT			NORA	NHSIC-485LE3LT	NLCBS-4W52-85-30-BB				
	PINHOLE DOWNLIGHT			NORA	NIOB-1RPH-CDX-MPW	NHIOICD-16LE3				
	WALL LIGHT SCONCE	TO BE SELECTED		BEGA	33817-K3	BLACK				
	NOT USED	TO BE SELECTED						1		
	MIRROR	MIRROR LIGHT								
	SCONCE SCONCE	TO BE SELECTED						_		
	SCONCE	TO BE SELECTED TO BE SELECTED								
	PENDANT	TO BE SELECTED								
	PENDANT	TO BE SELECTED								
	PENDANT	TO BE SELECTED								
	PENDANT	TO BE SELECTED								
	PENDANT PENDANT	TO BE SELECTED		HUBBERTONFORGE	UME 2-LIGHT					
	PENDANT	TO BE SELECTED		TIOBBERTONI OROL	OWL Z LIGHT					
	PENDANT	TO BE SELECTED								
	HEAT MATT			SCHLUTER	DITRAHEAT					
<u>LEC</u>	TRICAL SYMBOLS									
0	RECESSED LIGHT/R		SWITCH				· · · · · · · · · · · · · · · · · · ·		RICAL NOTE	
	RECESSED LIGHT/S WALL MOUNTED LIG		3-WAY SWITCH DIMMING SWITCH				I			O PROVIDE LUTRON 'HOMEWORKS QS' HOME CONTROL SYSTEM S, AND ACCESSORIES (CABLE, PHONE, ETC) BY LUTRON, UNO ON TOUCH.
Ф	SURFACE/PENDANT		SWITCH W/ TIM							ÓN TOUCH. RON 'ARCHITECTURAL' STYLE, WHITE, UNO.
	WALLWASH LIGHT	8	SWITCH W/ OC	CCUPANCY SENSOR	2					S IN STAINED CABINETRY TO BE BLACK, UNO.
₽			6-BUTTON KEY							S IN TILE - COLOR TO BE DETERMINED BY ARCHITECT/OWNER IN FIE
	STRIP LIGHT STEP LIGHT	S S	SMART DIMMER	R SWITCH, LUTRON						ER CONTROL, UNO.
<u> </u>	CERAMIC SOCKET	+	DUPLEX RECEP	PTACLE						ALLY DESIGNED FOR LOW VOLTAGE TRANSFORMERS, WHERE OCCURS S TO BE LUTRON 'MAESTRO' W/ DIMMER, WHITE, UNO.
		=	DUPLEX RECEP	T./HALF-SWITCHE	D					HOME RUN TO LIGHTING CONTROL PANEL AND BE ASSIGNABLE BY O
<u></u>	SMOKE DETECTOR (PT. W/ DUAL USB-	-C		6. SWI	ITCH AND OU	TLET HEIGHTS	NOTED IN PLAN ARE FROM FINISH FLOOR TO CENTER OF FIXTURE
0		DETECTOR (CM)	FLOOR RECEPTION							SPECIFIC SWITCH AND OUTLET LOCATIONS W/ INTERIOR ELEVATIONS
o	COMBO-SMOKE/CARBON DETECTOR (S/CM)	Ø	CEILING/SOFFIT							KEL-PLATED BRASS COVERS, W/ THREADED PLUGS, TYP. DOR CONSTRUCTION, USE ARLINGTON FLBC101NL, UNO.
•	HEAT DETECTOR	O +	110V SPECIAL I	PURPOSE						CONSTRUCTION, USE ARLINGTON FLB5321NL, UNO.
F	EXHAUST FAN (VEN	NT TO EXTERIOR)	240V SPECIAL	PURPOSE			8	.3. WHERE DE	ENOTED AS 'SI	NGL', USE CARLON E971FADIB-2 SINGLE GANG OUTLET
_ ان	CENTRAL VACUUM	WALL PORT	TELEPHONE TELEVISION							TIC FLOOR OUTLET LOCATIONS TO BE VERIFIED WITH ARCHITECT
•	MOTION SENSOR	✓		JLTI-FUNCTION CA	BLE					OF OUTLETS ('WP') TO BE INSTALLED IN ARLINGTON DBHM1W HOUSING BE PAINTED BLACK, ALL FACES, PRIOR TO INSTALLATION
	DOORBELL		CAT-6 COMPU	TER NETWORK/DA						BE CENTERED IN WOOD SIDING COURSE, WHERE OCCURS
	THERMOSTAT GARAGE DOOR CON	-	FIBER OPTIC O	UTLET			9	.3. OUTLET T	O BE BLACK \	N/ BLACK PLATE
		8	SPEAKER OUTL	_ET						EQ'D BY CODE, LOCATIONS TO BE FIELD VERIFIED WITH ARCHITECT ORMERS ARE REQUIRED, LOCATIONS TO BE APPROVED BY ARCHITECT
	CIRCUIT BREAKER I METER	₩	SOUND SPEAKE							ALL APPLIANCES AS REQUIRED (MAY NOT BE SHOWN FOR CLARITY)
	···- (-1)		WINDOW SHADE	Ξ			13. VE	ERIFY/PROVID	E ELEC. FOR A	ALL MECHANICAL EQUIPMENT AS REQUIRED
			MOTION SENSOR	D				•		

HM HEAT MAT

13.1. REFER TO MECH. DRAWINGS FOR EQUIP. LOCATIONS AND SPECIFICATIONS

UPPER FLOOR ELECTRICAL

Xref C:\Users\Eric\Desktop\X-GRID.dwg

CHESMORE BUC a r c h i t e c t u r 27 100TH AVENUE NE, SUITE 100 BELLEVUE, WA 98004
PHONE: 425-679

9/28/23 PRICING SET

No. Date Rev

No. Date

ID KAO RESIDENCE

LOWER FLOOR HVAC

 Sheet No.
 M.1

 Project No.
 2222

 Date:
 9/8/23

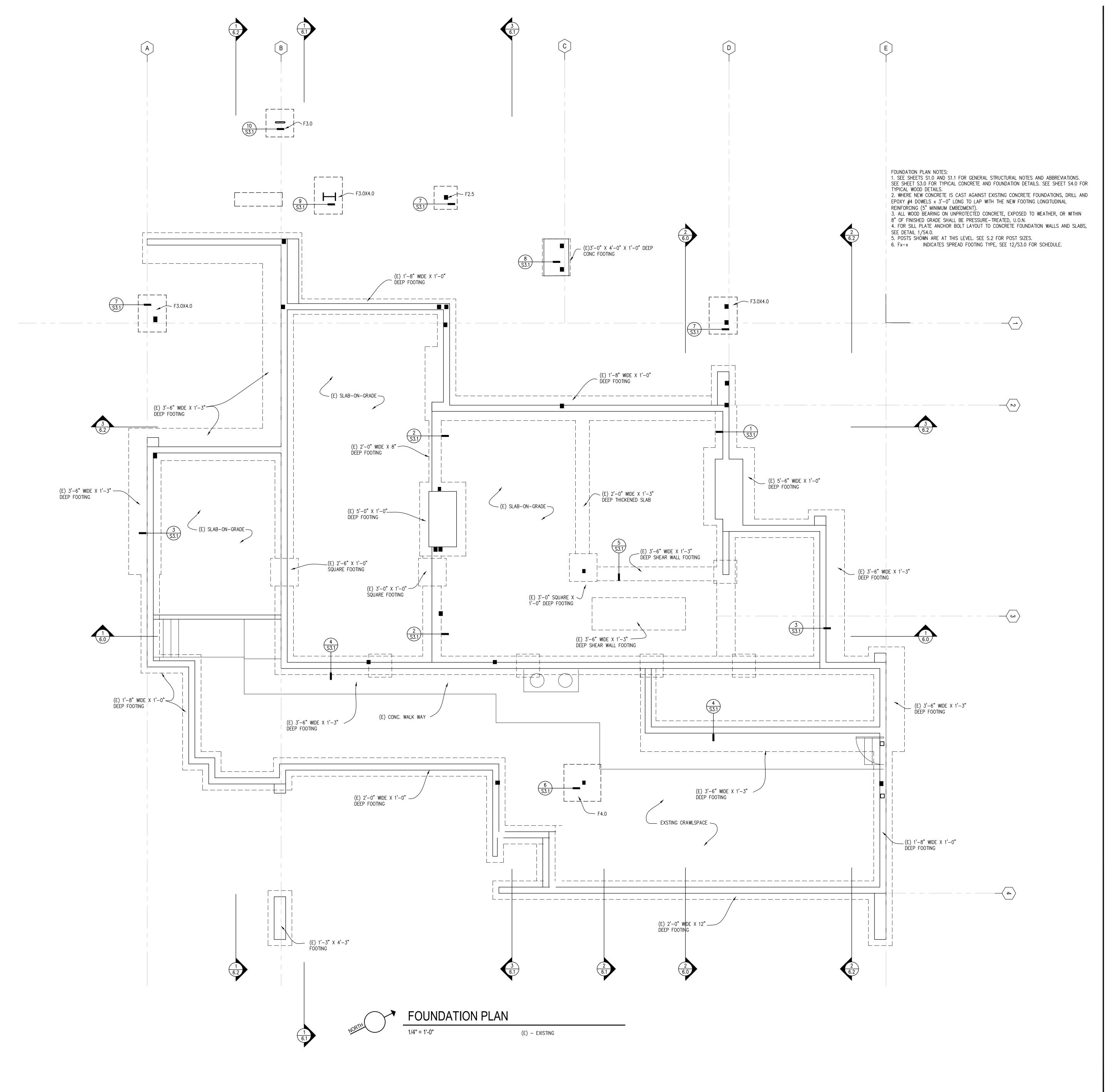
MAIN FLOOR HVAC

9/8/23

UPPER FLOOR HVAC

M.3 2222 9/8/23

Xref C: \Users\Eric\Desktop\X-GRID.dwg

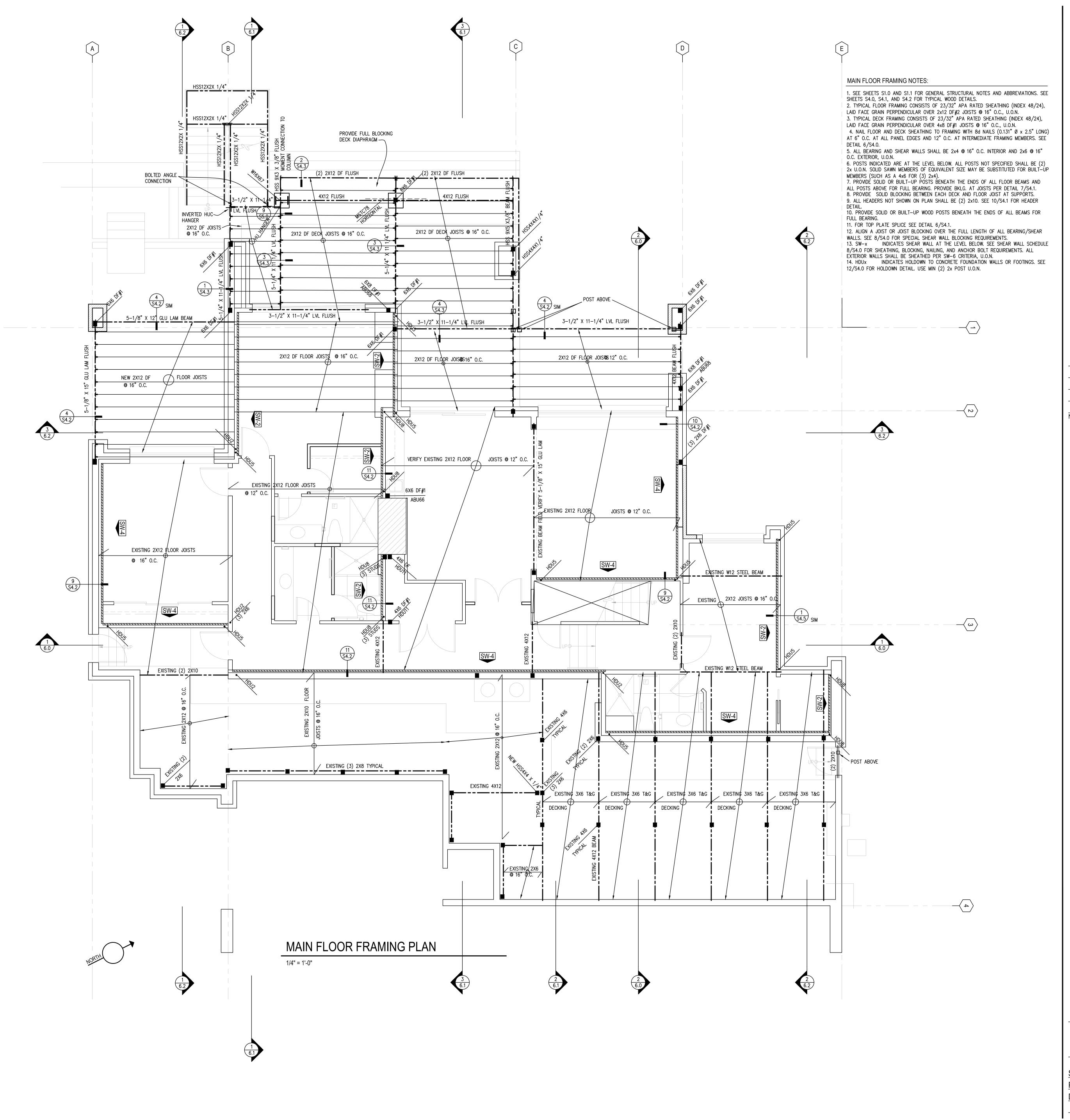








FOUNDATION





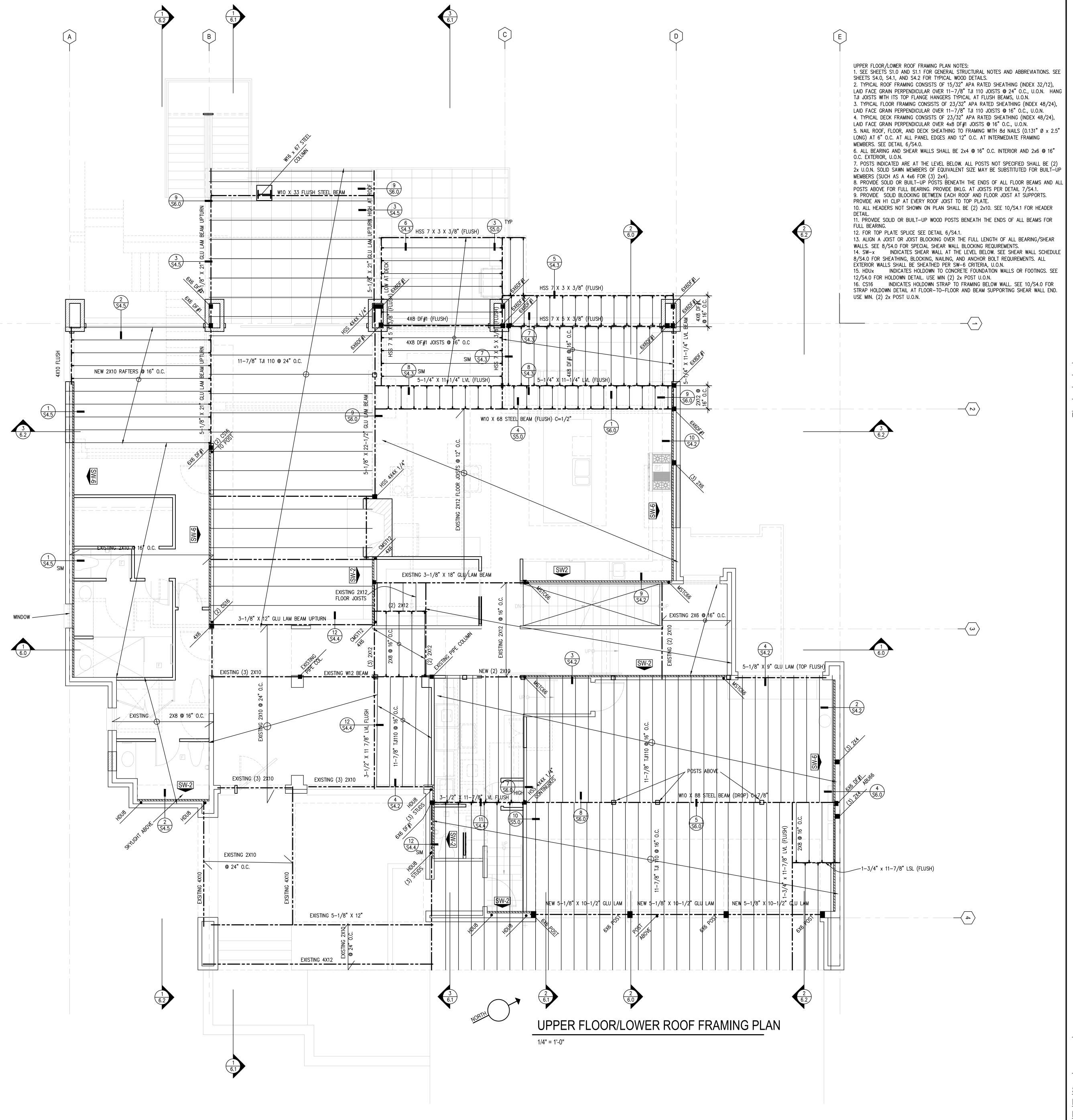




MAIN FLOOR

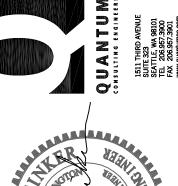
FRAMING PLAN

2222 6/7/23









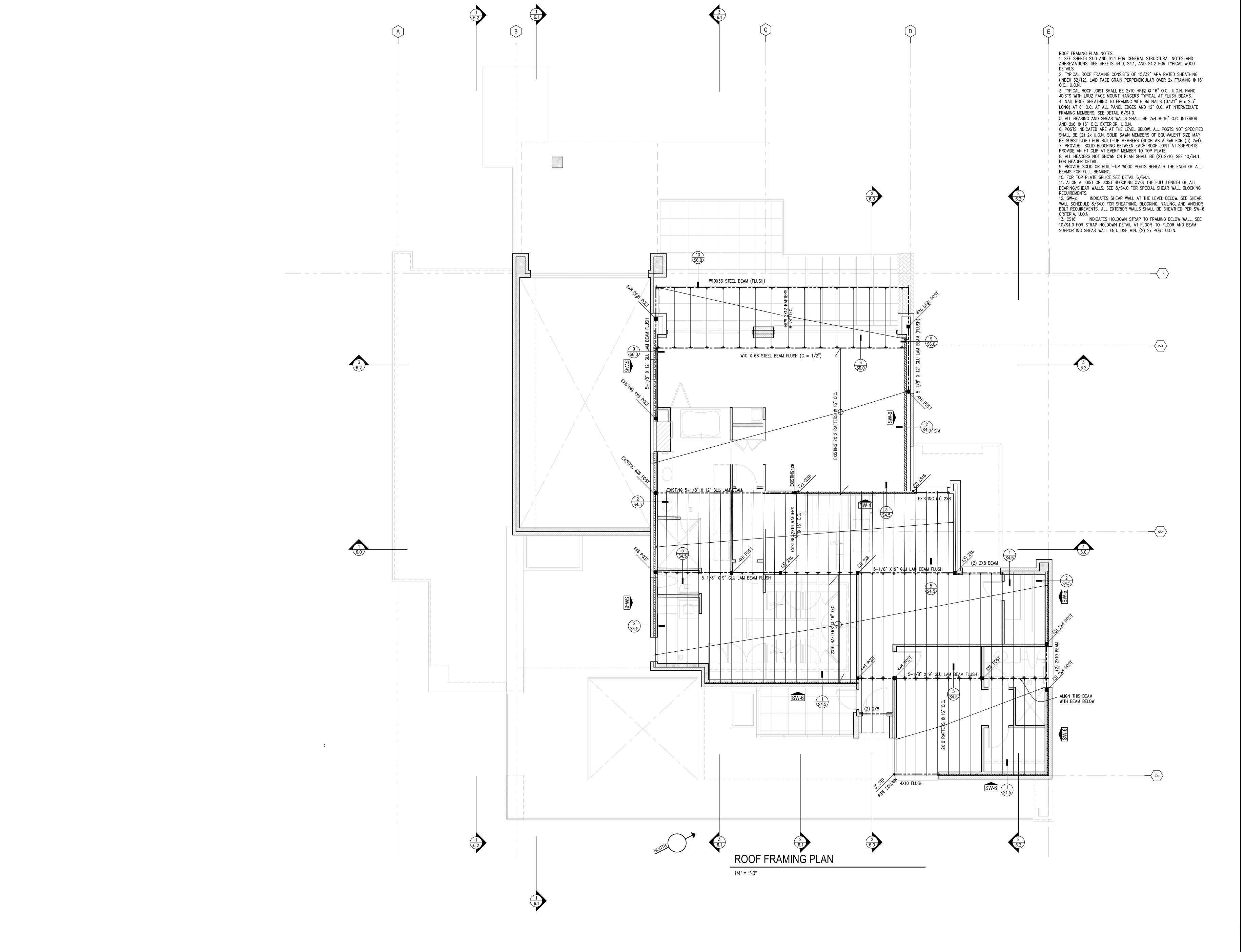


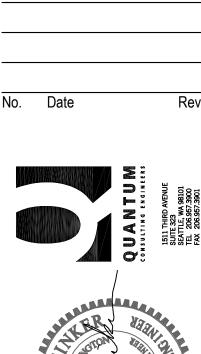
AND KAO RESIDENCE

5425 W. MERCER WAY MERCER ISLAND, WA 98

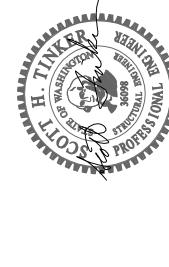
UPPER FLOOR FRAMING PLAN

> S.3 ct No. 222









ROOF FRAMING PLAN

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

<u>CRITERIA</u>

ALL MATERIALS, MORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC).

2. <u>DESIGN LOADING CRITERIA</u>

ROOF SNOW LOAD	25 PSF
ROOF RAIN ON SNOW LOAD	5 PSF
ROOF DEAD LOAD ALLOWANCE FOR PV PANELS	5 PSF
FLOOR LIVE LOAD	40 PSF
FLOOR LIVE LOAD (EXTERIOR DECKS AND BALCONIES)	60 PSF
FLOOR LIVE LOAD (PARKING GARAGE)	50 PSF
GUARDRAILS/BALCONY RAILS	200 LBS

<u>WIND</u>: ANALYSIS PROCEDURE: ASCE 7-16 CHAPTER 27 "PART I - BUILDINGS OF ALL HEIGHTS"
RISK CATEGORY II

97 MPH

EXPOSURE "C"

TOPOGRAPHIC FACTOR Kzt = 1.0

MAIN HOUSE WIND BASE SHEAR, NORTH/SOUTH $\forall w$ = 32.6 K MAIN HOUSE WIND BASE SHEAR, EAST/WEST $\forall w$ = 38.9 K DADU WIND BASE SHEAR, NORTH/SOUTH $\forall w$ = 11.6 K

DADU WIND BASE SHEAR, EAST/WEST VW = 10.9 K

EARTHQUAKE: ANALYSIS PROCEDURE: IBC "EQUIVALENT LATERAL FORCE PROCEDURE"

SEISMIC DESIGN CATEGORY (SDC) = D RISK CATEGORY = II

SEISMIC SITE CLASS = D

IMPORTANCE FACTOR le = 1.0 MAPPED MCE Ss = 1.45; S₁ = 0.51

DESIGN ACCELERATION Sds = 0.97; Sd₁ = 0.61

SEISMIC RESISTING SYSTEM: WOOD PANEL BEARING SHEAR WALL, R = 6.5

SEISMIC RESPONSE COEFFICIENT: Cs = 0.149
MAIN HOUSE SEISMIC BASE SHEAR Vs = 67.7 K

DADU SEISMIC BASE SHEAR Vs = 10.8 K

- 3. <u>LATERAL LOADS</u> ARE TRANSFERRED BY THE ROOF AND FLOOR DIAPHRAGMS TO THE SHEAR WALLS. FORCES ARE BASED ON THE TRIBUTARY AREA FOR EACH SHEAR WALL AND ARE CARRIED BY THE SHEAR WALLS TO THE FOUNDATION.
- 4. <u>STRUCTURAL</u> <u>DRAWINGS</u> SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 5. <u>CONTRACTOR</u> SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.
- 6. <u>CONTRACTOR</u> SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
- 7. <u>CONTRACTOR</u> SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THEIR WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES OF THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 8. <u>CONTRACTOR-INITIATED</u> CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 9. <u>DRAWINGS</u> INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. WHERE INFORMATION ON THE DRAWINGS IS IN CONFLICT WITH THE SPECIFICATIONS, THE MORE STRINGENT SHALL APPLY, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. DO NOT SCALE THE DRAWINGS.
- IO. <u>ALL STRUCTURAL SYSTEMS</u> WHICH ARE COMPOSED OF FIELD ERECTED COMPONENTS SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- II. <u>SHOP DRAWINGS</u> STRUCTURAL STEEL AND GLUED LAMINATED MEMBERS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.
- 12. <u>SHOP DRAWING REVIEW</u>: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, AND THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. A MINIMUM OF TWO WEEKS SHALL BE ALLOWED FOR REVIEW.
- 13. SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.
- 14. <u>DEFERRED SUBMITTALS OF DESIGN BUILD COMPONENTS</u> SHALL BEAR THE STAMP AND SIGNATURE OF A STATE OF WASHINGTON REGISTERED PROFESSIONAL ENGINEER AND SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO CURSORY REVIEW BY THE ENGINEER OF RECORD FOR LOADS IMPOSED ON THE BASIC STRUCTURE. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE AND ALL NECESSARY CONNECTIONS NOT SPECIFICALLY CALLED OUT ON ARCHITECTURAL OR STRUCTURAL DRAWINGS. DEFERRED SUBMITTALS SHALL INDICATE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON BASIC STRUCTURE AND SHALL INCLUDE DESIGN CALCULATIONS WITH THE ENGINEER'S STAMP.

THE FOLLOWING COMPONENTS SHALL BE DEFERRED SUBMITTALS FOR THIS PROJECT: STAIRS, RAILINGS.

15. <u>SPECIAL INSPECTION</u>: STRUCTURAL STEEL FABRICATION AND ERECTION (INCLUDING FIELD WELDING AND HIGH-STRENGTH FIELD BOLTING), EXPANSION BOLTS AND THREADED EXPANSION INSERTS, SCREW ANCHORS, EPOXY GROUTED INSTALLATIONS, AND DRIVEN PILE INSTALLATION SHALL BE SUPERVISED IN ACCORDANCE WITH IBC SECTIONS 1704 & 1705 AND THE PROJECT SPECIFICATIONS BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE OWNER. THE TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR AND BUILDING OFFICIAL. ANY MATERIALS WHICH FAIL TO MEET PROJECT SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

<u>GEOTECHNICAL</u>

16. FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH) AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND GEOTECHNICAL ENGINEER. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED UNDER COLUMNS OR WALLS ABOVE.

BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE GEOTECHNICAL REPORT.

THE STRUCTURAL DESIGN IS BASED ON THE FOLLOWING VALUES FROM THE REFERENCED GEOTECHNICAL REPORT:

ALLOWABLE SOIL BEARING PRESSURE

LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED)

SEISMIC SURCHARGE PRESSURE (RESTRAINED/UNRESTRAINED)

PASSIVE SOIL PRESSURE

SOIL COEFFICIENT OF FRICTION

O.35

PILE CAPACITY (3 INCH)

2,000 PSF
2,000 PSF
35 PCF/35 PCF
35 PCF/35 PCF
350 PCF
350 PCF
312 KIPS

GEOTECHNICAL REPORT REFERENCE: #G-5881 BY GEO GROUP NORTHWEST, INC. DATED MAY 20, 2023.

- 17. <u>PIPE PILES</u> SHALL BE GALVANIZED SCHEDULE-40 (STD) ASTM A53 (TYPE E OR S, GRADE A OR B) 3 INCH NOMINAL PIPE DRIVEN TO REFUSAL PER THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER. THE ALLOWABLE AXIAL COMPRESSION CAPACITY SHALL BE 12 KIPS. SECTIONS OF PIPE SHALL BE CONNECTED TOGETHER WITH COMPRESSION FITTED SLEEVE COUPLERS.
- 18. <u>PIPE PILING INSPECTION</u> SHALL BE CONTINUOUSLY PERFORMED BY THE GEOTECHNICAL ENGINEER DURING PLACEMENT TO CONFIRM THAT THE PILES ARE INSTALLED IN ACCORDANCE WITH THE PLANS AND GEOTECHNICAL REPORT. AT LEAST 3% OF THE 3 INCH PILES SHALL BE LOAD TESTED IN ACCORDANCE WITH ASTM DI143. MAXIMUM PILE MIS-LOCATION SHALL BE 2" LATERALLY. ACTUAL PILE LENGTH SHALL BE DETERMINED IN THE FIELD BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO DRIVING PILES.

RENOVATION

- 19. <u>DEMOLITION</u>: VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
- 20. <u>ALL EXTERIOR WALLS</u> SHALL BE INSPECTED AND REPAIRED AS FOLLOWS:

 SCRAPE ALL LOOSE AND WEAKENED MORTAR OUT TO FULL DEPTH OF THE DETERIORATION; REMOVE AND REPLACE ANY LOOSE MASONRY UNITS; CHECK FOR LOOSE FACING BRICK VENEERS; TUCK POINT ALL JOINTS SOLID. ALL MASONRY RESTORATION AND REPAIR SHALL BE PERFORMED IN SUCH A MANNER THAT THE EXISTING STRUCTURE IS NOT WEAKENED OR LEFT UNSUPPORTED DURING THE PROCESS OF THE WORK. ALL EXTERIOR APPENDAGES SUCH AS FIRE ESCAPES, CORNICES AND EYEBROWS SHALL BE INSPECTED FOR STRUCTURAL INTEGRITY AND THE CONDITION OF THE CONNECTIONS TO THE STRUCTURE. NOTIFY THE STRUCTURAL ENGINEER AS TO THE FINDINGS OF THIS INSPECTION.
- 21. <u>CHECK FOR DRYROT</u> AT ALL EXTERIOR WALLS, EXISTING TOILET ROOM FLOORS AND WALLS, AREAS SHOWING WATER STAINS, AND ALL WOOD MEMBERS IN BASEMENT AND CRAWL SPACES. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

CONCRETE

22. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301. CONSTRUCTION TOLERANCES SHALL NOT EXCEED THOSE LISTED IN ACI 117. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF I'C = 2,500 PSI. ALL CONCRETE EXPOSED TO THE WEATHER AND ALL GARAGE SLABS-ON-GRADE SHALL ATTAIN A 28-DAY STRENGTH I'C OF 3,000 PSI IN ACCORDANCE WITH IBC SECTION 1904.1. AND ACI 318 TABLE 19.3.2.1 THIS INCREASE IN REQUIRED STRENGTH IS FOR DURABILITY ONLY (SPECIAL INSPECTION IS NOT REQUIRED). MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS (BEFORE THE ADDITION OF ADMIXTURES). THE WATER/CEMENT RATIO SHALL NOT EXCEED 0.55 FOR FOOTINGS AND 0.45 FOR ALL SLABS AND EXPOSED CONCRETE UNLESS OTHERWISE NOTED. EXCEPT FOR FOOTINGS AND SLAB ON GRADE, AGGREGATE SIZE SHALL NOT EXCEED 3/4".

THE MINIMUM AMOUNT OF CEMENT AND THE MAXIMUM SLUMP MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. (THE W/C RATIO LIMITS STILL APPLY). THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, CEMENTITIOUS MATERIAL, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH ACI 301. CHEMICAL ADMIXTURES AND FLY ASH SHALL CONFORM TO ASTM C494 AND C618 RESPECTIVELY. FLY ASH PERCENTAGE OF TOTAL CEMENTITIOUS MATERIAL SHALL NOT EXCEED 20%. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY TO CONTRACT DOCUMENTS. CONTRACTOR MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.

ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14 TABLE 19.3.3.1. ALL CONCRETE TO RECEIVE A STEEL TROWELED FINISH SHALL NOT BE AIR-ENTRAINED.

23. <u>REINFORCING STEEL</u> SHALL CONSIST OF #4 BARS CONFORMING TO ASTM A615, GRADE 40, fy = 40,000 PSI AND SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315 AND 318. LAP ALL CONTINUOUS REINFORCEMENT 48 BAR DIAMETERS, 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS, LAP 2'-0" MINIMUM. PROVIDE (2) #4 MIN. U.N.O. TRIM BARS AROUND ALL OPENINGS IN CONCRETE WALLS OR SLABS EXTENDING 2'-0" PAST CORNERS, TYPICAL.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A1064. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER. NO REINFORCING BARS SHALL BE "WET-SET" INTO THE CONCRETE. PROVIDE A 20' LONG REBAR GROUND (UFER GROUND) PER ELECTRICIAN.

24. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST EARTH

FORMED SURFACES EXPOSED TO EARTH (i.e. WALLS BELOW GROUND) OR WEATHER

SLABS AND WALLS (INTERIOR FACE)

CONCRETE WALL REINFORCING - PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:

 WALL THICKNESS
 VERTICAL BARS
 HORIZONTAL BARS

 6" WALLS
 #4 @ I8" (I CURTAIN)
 #4 @ I2" (I CURTAIN)

 8" WALLS
 #4 @ I6" (I CURTAIN)
 #4 @ IO" (I CURTAIN)

 IO" WALLS
 #4 @ I8" (2 CURTAIN)
 #4 @ I6" (2 CURTAIN)

25. NON-SHRINK GROUT SHALL BE NON-METALLIC CONFORMING TO ASTM CIIOT AND BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (5000 PSI MINIMUM).

<u>ANCHORAGE</u>

- 26. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2 WEDGE ANCHOR", AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS. INSTALL IN STRICT ACCORDANCE WITH I.C.C. REPORT NO. ESR-3037 INCLUDING STANDARD EMBEDMENT REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR IAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION IS REQUIRED FOR ALL EXPANSION BOLT INSTALLATION.
- 27. <u>SCREW_ANCHORS</u> INTO CONCRETE SHALL BE "TITEN HD", AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS. INSTALL IN STRICT ACCORDANCE WITH I.C.C. REPORT NO. ESR-2713 INCLUDING STANDARD EMBEDMENT REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR IAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION IS REQUIRED FOR ALL SCREW ANCHOR INSTALLATION.
- 28. <u>DRIVE PINS, SHOT PINS</u> AND OTHER POWDER-ACTUATED FASTENERS SHALL BE LOW VELOCITY TYPE FASTENERS AS MANUFACTURED BY HILTI CORPORATION. WHEN CALLED FOR IN THE DRAWINGS, PROVIDE THE APPROPRIATE FASTENER AS NOTED IN THE TABLE BELOW FOR EACH GIVEN APPLICATION. INSTALL IN STRICT ACCORDANCE WITH I.C.C. REPORTS NO. ESR-2269 FOR THE X-U FASTENERS AND ESR-2379 FOR THE X-CP FASTENERS. MINIMUM EMBEDMENT IN CONCRETE SHALL BE I" UNLESS OTHERWISE NOTED. MAINTAIN AT LEAST 3" TO NEAREST CONCRETE EDGE AND 4" CENTER TO CENTER SPACING. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR JAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES.

ALLOWABLE APPLICATION	ALLOWABLE FASTENER TYPE	SHEAR CAPACITY (LBS) TE	NSION CAPACITY (LBS)	
2X TREATED LUMBER TO CONCRETE (2000 PSI MIN.)	X-CP 72 P8 S23 w/ 1.33" EMBED	250	175	
2X LUMBER TO STRUCTURAL STEEL (3/16" MIN., 36 OR 50 KSI)	X-U 52 MX PLUS R-23 WASHERS	250	175	

29. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) INTO CONCRETE SHALL BE INSTALLED USING "SET-36" ADHESIVE ANCHOR AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS. INSTALL IN STRICT ACCORDANCE WITH I.C.C. REPORT NO. ESR-4057, INCLUDING STANDARD EMBEDMENT REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR IAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED.

MASONRY

30. MASONRY VENEER SHALL HAVE WI.7 (9 GAUGE) WIRE JOINT REINFORCEMENT SPACED AT 16" O.C. VERTICALLY AND SHALL BE ANCHORED TO BACKING WALLS PER IBC SECTION 1404.6 WITH SHEET METAL ANCHORS, WIRE ANCHORS OR ADJUSTABLE ANCHORS. MECHANICALLY CONNECT THE ANCHORS TO THE JOINT REINFORCEMENT WITH CLIPS OR HOOKS THAT WILL ENGAGE OR ENCLOSE THE WIRE. THE WIRE SHALL BE CONTINUOUS WITH BUTT SPLICES BETWEEN ANCHORS PERMITTED.

SHEET METAL ANCHORS (NON-CORRUGATED) SHALL BE AT LEAST 1/8" WIDE, 0.03" THICK, COMPLY WITH TMS 402/602 REQUIREMENTS AND BE SPACED AT 16" O.C. VERTICALLY AND A MAX. OF 24" O.C. HORIZONTALLY.

THE MAXIMUM HEIGHT OF CONTINUOUS BRICK VENEER FROM A CONCRETE FOUNDATION SHALL BE 30 FEET. PROVIDE VERTICAL EXPANSION JOINTS IN CONTINUOUS VENEER @ 25' O.C. MAX. TYPICAL U.O.N. LINTEL ANGLES OVER OPENINGS 6'-O" WIDE OR LESS SHALL BE L4" X 4" X 1/4" HOT DIP GALVANIZED, U.N.O. AND SHALL BEAR ON A MINIMUM OF 4" OF MASONRY EACH END.



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APPROVAL:

PERMIT SET 6/7/23 DESCRIPTION DATE BY REVISIONS: / ISSUES: (SHT P.E. MKS DRAWN BY: TA SCALE: AS SHOWN DATE: 6/7/23 JOB NO. 23127.01

GENERAL STRUCTURAL NOTES

SHEET NO.

SHEET TITLE:

S1.0

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

STEEL

31. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON THE LATEST EDITIONS OF THE A.I.S.C. SPECIFICATIONS AND CODES:

A. AISC - STEEL CONSTRUCTION MANUAL, 15TH EDITION

B. AISC 303-16 - CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.

C. 2014 RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS.

- 32. <u>STRUCTURAL STEEL</u>, WIDE FLANGE (W AND WT) SHAPES SHALL CONFORM TO ASTM A992, Fy = 50 KSI; ALL OTHER ROLLED SHAPES SHALL CONFORM TO ASTM A36, Fy = 36 KSI. STEEL PLATE SHALL CONFORM TO ASTM A36, Fy = 36 KSI. STEEL PIPE SHALL CONFORM TO ASTM A53, TYPE E OR S, GRADE B, Fy = 35 KSI. STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE C, Fy = 50 KSI. CONNECTION BOLTS SHALL CONFORM TO ASTM A307. ANCHOR BOLTS SHALL CONFORM TO ASTM FI554 GRADE 36, Fy = 36 KSI.
- 33. <u>ARCHITECTURALLY EXPOSED STRUCTURAL STEEL</u> SHALL CONFORM TO SECTION IO OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
- 34. <u>ALL A325 CONNECTION BOLTS</u> SHALL BE INSTALLED TO THE SNUG-TIGHT CONDITION PER RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. ALL NUTS SHALL CONFORM TO ASTM A563. ALL WASHERS SHALL CONFORM TO ASTM F436 OR ASTM F959 TYPE 325. ALL BOLT HOLES SHALL BE STANDARD SIZE UNLESS OTHERWISE NOTED.
- 35. <u>ALL A307 CONNECTION BOLTS</u> SHALL BE PROVIDED WITH LOCK WASHERS UNDER NUTS OR SELF-LOCKING NUTS. ALL BOLT HOLES SHALL BE STANDARD SIZE UNLESS OTHERWISE NOTED.
- 36. ALL WELDING SHALL BE IN CONFORMANCE WITH A.I.S.C. AND A.W.S. STANDARDS AND SHALL BE PERFORMED BY W.A.B.O. CERTIFIED WELDERS USING ETO XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY A.W.S.) SHALL BE USED. WELDING OF GRADE 60 REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING LOW HYDROGEN ELECTRODES. WELDING OF GRADE 40 REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING ETOXX ELECTRODES. WELDING WITHIN 4" OF COLD BENDS IN REINFORCING STEEL IS NOT PERMITTED. SEE REINFORCING NOTE FOR MATERIAL REQUIREMENTS OF WELDED BARS. ALL WELDING SHALL BE PERFORMED BY WELDERS WITH AWS / W.A.B.O. CERTIFICATION WITH THE MATERIAL AND METHOD REQUIRED.

SHOP DRAWINGS SHALL SHOW ALL WELDING WITH AWS A2.4 SYMBOLS. WELDS SHOWN ON DRAWINGS ARE MINIMUM SIZES. INCREASE WELD SIZE TO AWS MINIMUM SIZES BASED ON PLATE THICKNESS. MINIMUM WELDING SHALL BE 3/16-INCH. THE WELDS SHOWN ARE FOR THE FINAL CONNECTIONS. FIELD WELD ARROWS ARE SHOWN WHERE A FIELD WELD IS REQUIRED BY THE STRUCTURAL DESIGN; THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF A WELD SHOULD BE SHOP OR FIELD WELDED IN ORDER TO FACILITATE THE STRUCTURAL STEEL DELIVERY AND ERECTION.

37. <u>MELDING OF LATERAL FORCE RESISTING MEMBERS</u> SHALL BE PERFORMED IN ACCORDANCE WITH A WELDING PROCEDURE SPECIFICATION (WPS) AS REQUIRED IN AWS DI.I AND APPROVED BY THE STRUCTURAL ENGINEER BEFORE WORK BEGINS. THE WPS VARIABLES SHALL BE WITHIN THE PARAMETERS ESTABLISHED BY THE FILLER METAL MANUFACTURER. WELDING ELECTRODES SHALL BE ETOTG-K2 OR ETOT6 WITH A MINIMUM SPECIFIED CHARPY V-NOTCH (CVN) OF 20 ft-lbs AT -20 DEGREES FAHRENHEIT AND 40 ft-lbs AT 70 DEGREES FAHRENHEIT. REMOVE BOTTOM FLANGE WELD TAB AT MOMENT FRAME CONNECTIONS AND REINFORCE WITH 5/16" FILLET WELD IN CONFORMANCE WITH FEMA-353 RECOMMENDATIONS. WELD ACCESS HOLE DETAILING AT MOMENT FRAME CONNECTIONS SHALL CONFORM WITH FEMA-350 AND FEMA-353 RECOMMENDATIONS.

MOOD

38. <u>FRAMING LUMBER:</u> SHALL BE KILN DRIED OR MC-19 (MOISTURE CONTENT LESS THAN 19%), AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.I.B. STANDARD NO. 17 GRADING RULES FOR WEST COAST LUMBER. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS (2X, 3X, AND 4X MEMBERS)

DOUGLAS FIR OR HEM-FIR NO. 2

BEAMS AND STRINGERS (INCLUDING 6 X AND LARGER MEMBERS) DOUGLAS FIR NO. I

POSTS AND TIMBERS

DOUGLAS FIR NO. 1

STUDS, PLATES & MISCELLANEOUS LIGHT FRAMING
(AS NOTED ON PLANS / DETAILS)

DOUGLAS FIR OR HEM-FIR NO. 2

- 39. <u>GLUED LAMINATED MEMBERS</u> SHALL BE FABRICATED IN CONFORMANCE WITH ASTM D3737 AND ANSI AI9O.I STANDARDS. EACH MEMBER SHALL BEAR AN A.I.T.C. IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN A.I.T.C. CERTIFICATE OF CONFORMANCE. CERTIFICATES OF CONFORMANCE MUST BE MADE AVAILABLE TO BUILDING INSPECTORS. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 240 PSI, E = 1,800 KSI. ALL CANTILEVERED OR CONTINUOUS BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2,400 PSI, Fv = 240 PSI, E = 1,800 KSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS TO 5,000' RADIUS UNLESS SHOWN OTHERWISE ON THE PLANS. ALL GLUE LAMINATED COLUMNS SHALL BE DOUGLAS FIR COMBINATION 2, Fc = 1,900 PSI, Fby = 1,800 PSI, Fbx = 1,700 PSI, E = 1,700 KSI (4 LAMS MINIMUM DEPTH). CONTRACTOR SHALL VERIFY AVAILABILITY OF THE GL MEMBER SIZES SHOWN ON THE DRAWINGS AND ADJUST THE CONNECTOR SIZES IF NEEDED FOR LARGER MEMBER SIZES.
- 40. LAMINATED VENEER LUMBER (LVL) SHALL BE DESIGNED AND MANUFACTURED PER ASTM D5456. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, AND THE INDEPENDENT INSPECTION AGENCY'S LOGO. ALL LAMINATED VENEER LUMBER SHALL BE MANUFACTURED USING DOUGLAS FIR VENEER GLUED WITH A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER. MINIMUM STRUCTURAL PROPERTIES ARE AS FOLLOWS:

Fb = 2600 PSI, E = 2.0×10^6 PSI, Fy = 285 PSI

DESIGN SHOWN ON PLANS IS BASED ON MATERIALS MANUFACTURED BY THE WEYERHAEUSER CORPORATION. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER.

41. LAMINATED STRAND LUMBER (LSL) SHALL BE DESIGNED AND MANUFACTURED PER ASTM D5456. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, AND THE INDEPENDENT INSPECTION AGENCY'S LOGO. ALL LAMINATED STRAND LUMBER SHALL BE MANUFACTURED USING A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559. MINIMUM STRUCTURAL PROPERTIES ARE AS FOLLOWS:

RIM JOISTS AND BLOCKING (1-1/4" MINIMUM THICKNESS AT NON-SHEAR WALLS; SEE SCHEDULE FOR MINIMUM THICKNESS AT SHEAR WALLS):

Fb = 1700 PSI, E = 1.3×10^6 PSI, Fv = 400 PSI

BEAMS AND HEADERS:

Fb = 2325 PSI, E = 1.55 \times 10⁶ PSI, Fv = 310 PSI

DESIGN SHOWN ON PLANS IS BASED ON MATERIALS MANUFACTURED BY THE WEYERHAEUSER CORPORATION.

ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER.

- 42. MOOD I-JOIST DESIGN SHOWN ON PLANS IS BASED ON JOISTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION. ALTERNATE I-JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE I.C.C. OR IAPMO UES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH WOOD JOIST PROVIDED. GLUE FLOOR JOISTS TO SHEATHING AS REQUIRED BY THE JOIST MANUFACTURER.
- 43. <u>MOOD SHEATHING</u> SHALL BE APA RATED, EXTERIOR GLUE; EXPOSURE I, IN CONFORMANCE WITH THE REQUIREMENTS FOR THEIR TYPE IN DOC PS-I OR PS-2. SEE PLANS FOR THICKNESS, PANEL IDENTIFICATION INDEX AND NAILING REQUIREMENTS.

UNLESS OTHERWISE NOTED ON THE PLANS, ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH (2) IOd-F NAILS AT EACH END, UNLESS OTHERWISE NOTED. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PANEL EDGES AND NAIL WITH EDGE NAILING SPACED PER PLANS. WHERE NOT NOTED OTHERWISE, NAIL PANEL EDGES WITH 8d NAILS @ 6" O.C. EDGES, I2" O.C. IN THE FIELD.

- 44. <u>ALL MOOD</u> EXPOSED TO WEATHER, OR BEARING ON UNPROTECTED CONCRETE BELOW GRADE, OR BEARING ON UNPROTECTED CONCRETE LESS THAN 8" FROM EXPOSED EARTH SHALL BE PRESSURE-TREATED, U.O.N. PRESSURE TREATMENT SHALL BE WITH AN APPROVED PRESERVATIVE CONFORMING TO AMERICAN MOOD PRESERVERS ASSOCIATION UI AND M4 AND SHALL BE BRANDED WITH A QUALITY CONTROL AGENCY MARK BY THE AWPA OR EQUAL. ALL METAL HARDWARE IN CONTACT WITH TREATED WOOD SHALL BE PROTECTED WITH A GI85 GALVANIZED COATING (ZMAX) OR BETTER. ALL NAILS IN TREATED WOOD SHALL BE HOT-DIP GALVANIZED OR BETTER. PROVIDE 2 LAYERS OF 30# ASPHALT IMPREGNATED BUILDING PAPER BETWEEN NON-PRESSURE-TREATED LEDGERS, BLOCKING, ETC., AND CONCRETE.
- 45. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NO. C-C-202I. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE I.C.C. OR IAPMO UES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. CONNECTORS SHALL BE SIZED TO MATCH THE SIZE OF THE FRAMING MEMBERS BEING CONNECTED. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE COMMON. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED. ALL BOLTS TIGHTENED TO SNUG TIGHT.
- 46. WOOD FASTENERS:

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

DRAWING ID	NAIL NAME	NAIL DIAMETER	NAIL LENGTH
"6d"	6d Common	0.113"	2"
"8d Box"	8d Box	0.113"	2-1/2"
"8d"	8d Common	0.131"	2-1/2"
"l0d-F"	10d Framer	0.131"	3"
"l0d"	10d Shear	0.148"	2-1/4"
"16d"	16d Sinker	0.148"	3-1/4"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

- B. <u>NAILS</u> SHEATHING FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.
- C. <u>SCREMS</u> SHALL BE WOOD SCREMS OF THE DIAMETER AND LENGTH NOTED ON THE DRAWINGS. SDS FASTENERS ARE SIMPSON STRONG DRIVE SCREWS.
- D. <u>HOT_DIPPED_GALVANIZED_NAILS, BOLTS_AND_METAL_PLATES</u> ALL_NAILS, BOLTS_AND_METAL_PLATES_IN_CONTACT_WITH PRESSURE TREATED_LUMBER_SHALL_BE_HOT_DIPPED_GALVANIZED.
- 47. MOOD FRAMING NOTES: THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
 - A. <u>ALL WOOD FRAMING DETAILS</u> NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE IBC. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.IO.I. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. TIGHTEN BOLTS AND LAG SCREWS SNUGLY AGAINST WOOD FRAMING AFTER WOOD HAS REACHED SPECIFIED MOISTURE CONTENT.
 - B. <u>MALL FRAMING</u>: ALL BEARING AND SHEAR WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2×4 STUDS @ 16" O.C. AT INTERIOR WALLS AND 2×6 @ 16" O.C. AT EXTERIOR WALLS. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL BEARING AND SHEAR WALLS AND AT EACH SIDE OF ALL OPENINGS. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW.

- ALL BEARING STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16d NAILS AT 8" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS WITH 3"x3"x1/4" PLATE WASHERS @ 4'-O" O.C., UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH 10d-F NAILS @ 8" O.C. STAGGERED. REFER TO THE PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING. WHEN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES ATTACHED TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING WITH SCREWS AT 8" O.C. USE 1-1/4 " W #6 SCREWS FOR 1/2" GWB AND 5/8" GWB WHERE OCCURS. VERIFY THE FIRE ASSEMBLY REQUIREMENTS WHERE APPLICABLE WITH THE ARCHITECT.
- C. <u>FLOOR AND ROOF FRAMING</u>: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH IOd-F NAILS @ 8" O.C. STAGGERED UNLESS OTHERWISE NOTED.
- D. <u>POSITIVE</u> <u>CONNECTIONS</u>: PROVIDE THE FOLLOWING SIMPSON CONNECTORS AT TYPICAL FRAMING UNLESS OTHERWISE NOTED ON PLAN OR DETAIL. PROVIDE CCQ/ECCQ CAPS AND PBS BASES AT POSTS. PROVIDE BC BASE WHERE POST BEARS ON WOOD FRAMING BELOW. PROVIDE LUS SERIES HANGERS FOR 2X FLOOR AND ROOF JOISTS. CONNECTORS SHALL BE SIZED TO MATCH THE SIZE OF THE FRAMING MEMBERS BEING CONNECTED.



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APPROVAL:

PERMIT SET

NO. DESCRIPTION

ISSUES:

P.M. SHT

P.E. MKS

DRAWN BY:

TA

SCALE:

AS SHOWN

GENERAL STRUCTURAL NOTES

SHEET NO.

DATE:

JOB NO.

SHEET TITLE:

S1.1

6/7/23

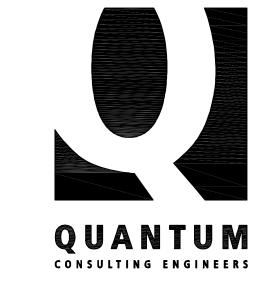
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GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

ABBREVIATIONS											
@	At	L	Angle								
d o	Penny (Nails) Diameter	LB. LL	Pound Live Load								
0	Degrees	LLH	Long Leg Horizontal								
# #	Pounds Number	LLV	Long Leg Vertical								
"····	Nonibel	LONGIT. LT. WT.	Longitudinal Lightweight								
(A)	Above		-								
A.B. ADD'L	Anchor Bolt Additional	MAX. MECH.	Maximum Mechanical								
ALT.	Alternate	MEZZ.	Mezzanine								
APPROX		MF MFR.	Moment Frame								
A.S.D.	Architect Allowable Stress Design	MIN.	Manufacturer Minimum								
(-)	•	MISC.	Miscellaneous								
(B) B/	Below Bottom of	MK.	Mark								
BF	Braced Frame	(N)	New								
BLKG. BLDG.	Blocking Building	N. N.S.	North Near Side								
BM.	Beam	NOM.	Nominal								
BOT.	Bottom	NTS	Not to Scale								
BRG. BTWN.	Bearing Between	O.C.	On Center								
		O.D.	Outside Diameter								
CL or Q	<u>z</u> Centerline Camber	0.F. 0.H.	Outside Face Overhang								
CIP	Cast In Place	OPNG.	Opening Opening								
C.J.	Construction Joint or Control Joint	OPP.	Opposite								
CJP CLG.	Complete Joint Penetration Ceiling	PAF	Powder Actuated Fastener								
CLR.	Clear	PC	Precast								
CMU	Concrete Masonry Unit	PERM.	Permanent								
COL. CONC.	Column Concrete	PERP. PJP	Perpendicular Partial Joint Penetration								
CONN.	Connections	PL or PL	Plate								
CONST.	Construction Continuous	PLF PLYWD	Pounds per linear Foot Plywood								
CSK.	Countersink	PREFAB.	Prefabricated								
DD A	Defermed Bay Angles	PSF BC	Pounds per Square Foot								
DBA DBL.	Deformed Bar Anchor Double	PSI P.T. or PT	Pounds per Square Inch Post-Tensioning								
DEG.	Degree	P/T	Pressure-Treated								
DF DIA.	Doug Fir-Larch Diameter	RAD.	Radius								
DIAG.	Diagonal	REF.	Reference								
DIAPH.	Diaphragm Dimonsion	REINF.	Reinforce or Reinforcement								
DIM. DN.	Dimension Down	REQD. REV.	Required Revise								
DO	Ditto	R.O.	Rough Opening								
DTL. DTP	Detail Double Top Plate	S.	South								
DWG.	Drawing	SCH. or SCH									
(E)	Evictina	SECT. SHT.	Section Sheet								
E.	Existing East	SIM.	Similar								
EA.	Each Each Each	50G	Slab On Grade								
E.F. EL.	Each Face Elevation	SPEC. SQ.	Specification Square								
ELEV.	Elevator	SQ. FT.	Square Feet								
EMBED. ENGR.	Embedment Length Engineer	SQ. IN. SPF	Square Inch(es) Spruce-Pine-Fir								
EQ.	Equal	5.5.	Stainless Steel								
E.W.	Each May	STD.	Standard								
EXP. EXT.	Expansion Exterior	STIFF. STL.	Stiffener Steel								
		STR.	Structural								
FDN. FIN.	Foundation Finish	SUB. SYM.	Substitute Symmetrical								
FLR.	Floor	3 11	ogninosi ioan								
FRP F.S.	Fiber Reinforced Polymer Far Side	T/ T&B	Top of								
FT.	Far Side Foot or Feet	T\$6	Top and Bottom Tongue \$ Groove								
FTG.	Footing	TEMP.	Temporary								
GA.	Gauge	THRU T.O.C.	Through Top of Concrete								
GALV.	Galvanized	T.O.S.	Top of Steel								
GL GNB	Glue Laminated	T.O.W. TRANS.	Top of Wall								
OND	Gypsum Wall Board	TS	Transverse Tube Steel								
HDG	Hot Dipped Galvanized	TYP.	Typical								
HDR. HF	Header Hem Fir	U.O.N.	Unless Otherwise Noted								
HGR.	Hanger										
HORIZ. HSS	Horizontal Hollow Structural Section	VERT. VIF	Vertical Verify in Field								
HT.	Height		-								
I.D.	Inside Diameter	M. M/ or m/	West With								
I.F.	Inside Diameter Inside Face	M/ <i>o</i> r w/ M.H.S.	Melded Headed Stud								
IN.	Inch	W/O	Mithout								
INFO. INT.	Information Interior	W.P. W.T.S.	Work Point Welded Threaded Stud								
		MMF	Welded Wire Fabric								
JT.	Joint	X SECT.	Cross Section								
K	Kips	X-STR	Extra Strong								
KSF KSI	Kips per Square Foot Kips per Square Inch	XX-STR	Double Extra Strong								
1											



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SEAL:



PROJECT:

HONG AND KAO RESIDENCE

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APPROVAL:

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AS SHOWN

6/7/23 23127.01

GENERAL STRUCTURAL NOTES

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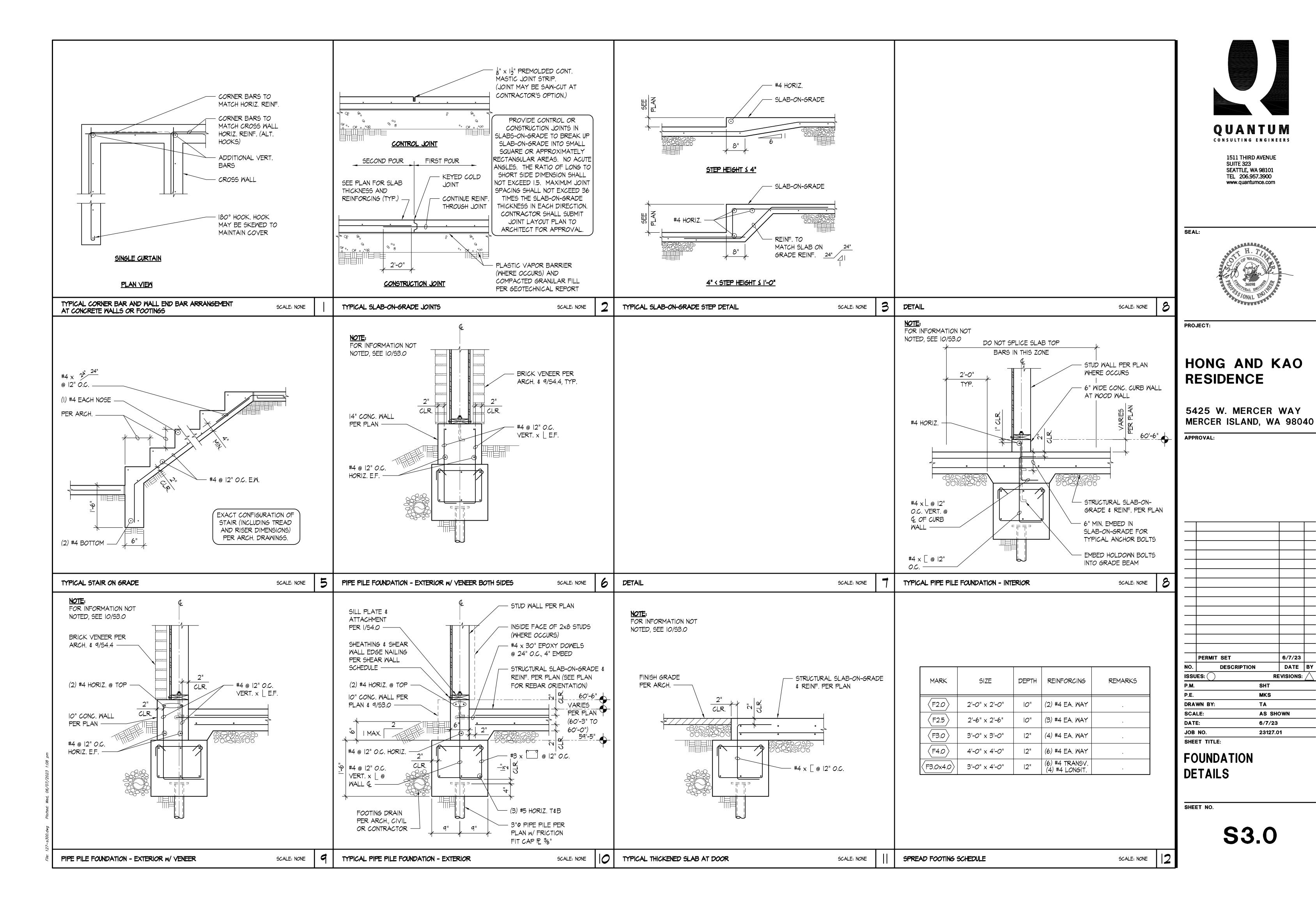
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REVISIONS: /

SHT

MKS

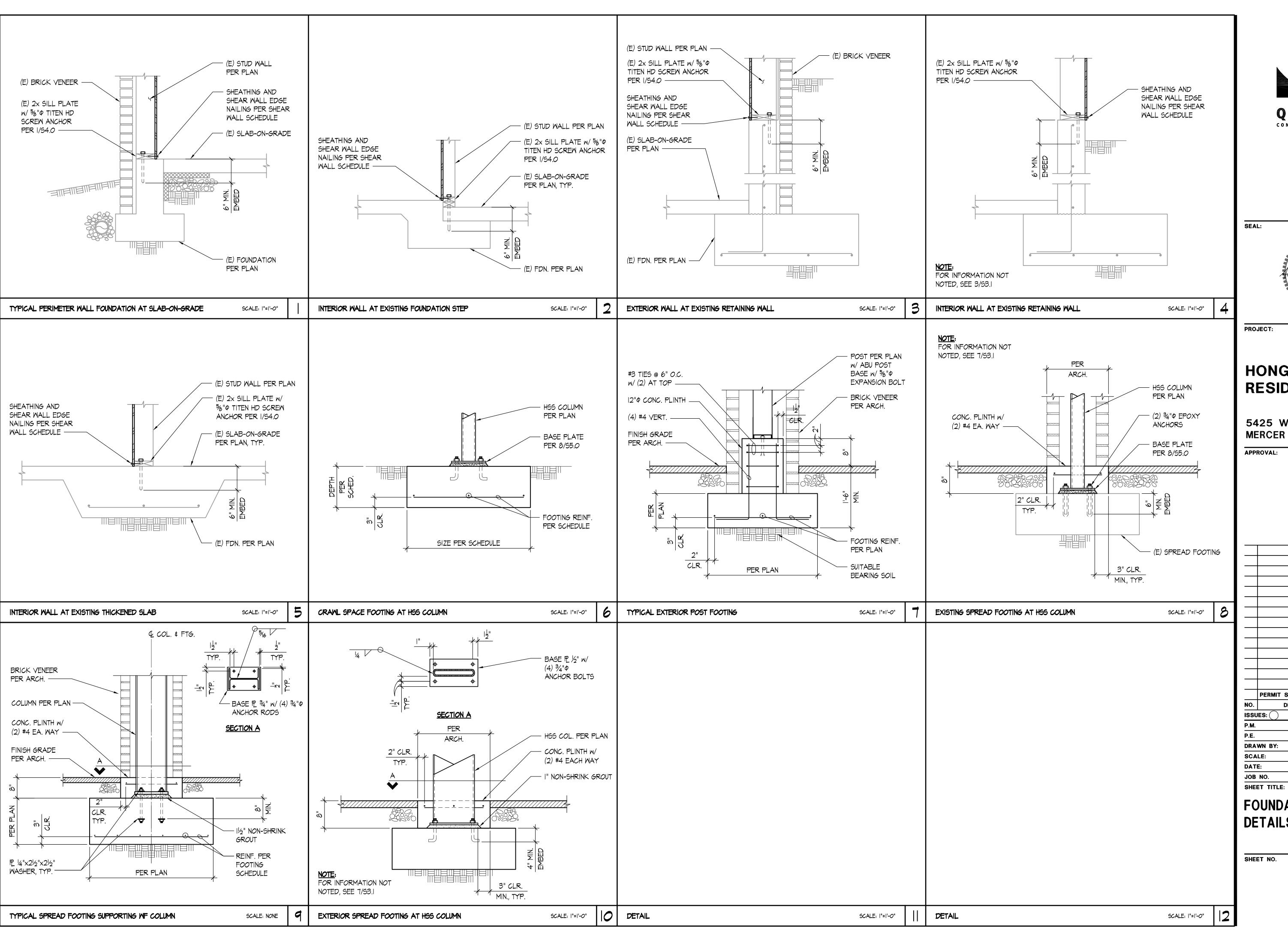
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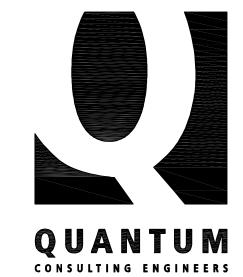
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DATE BY





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PROJECT:

HONG AND KAO RESIDENCE

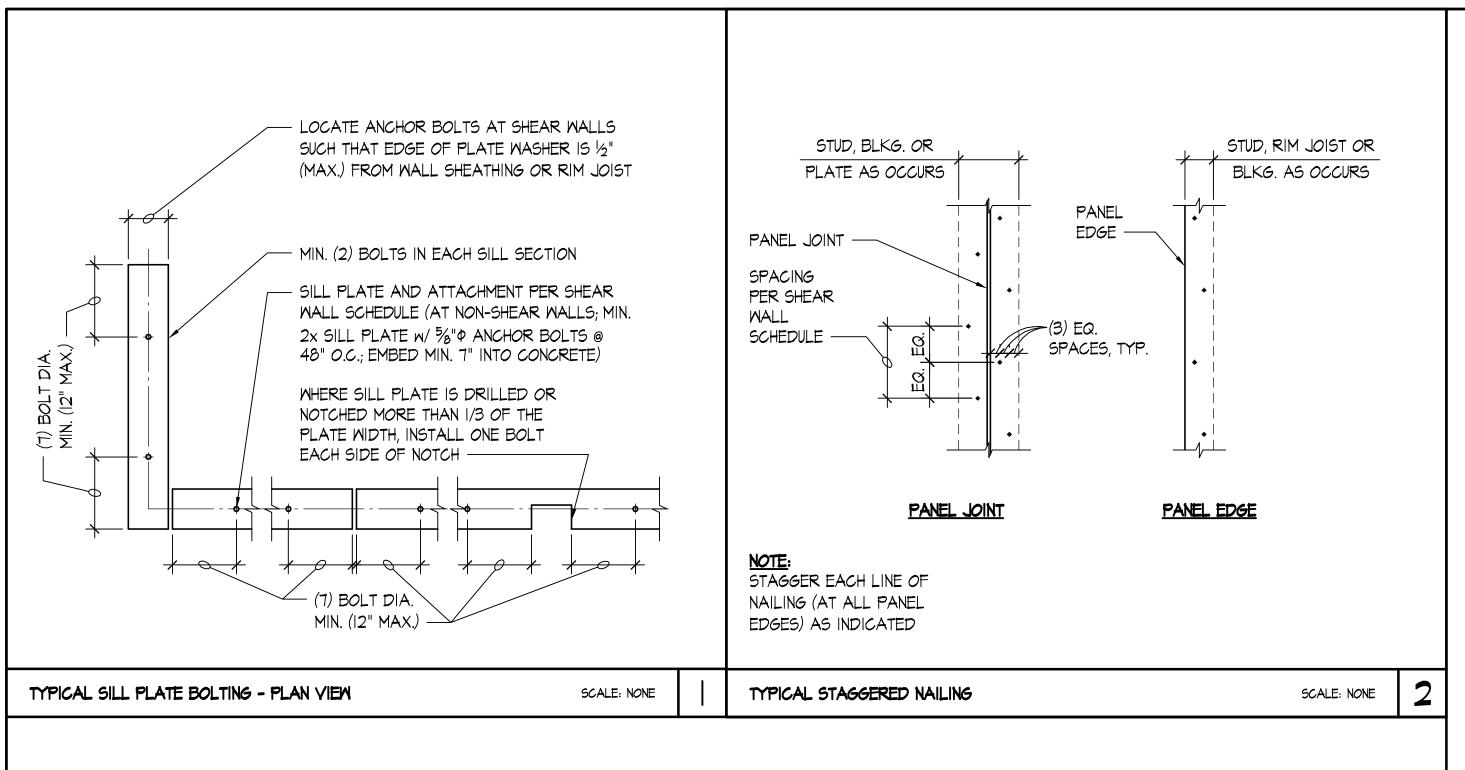
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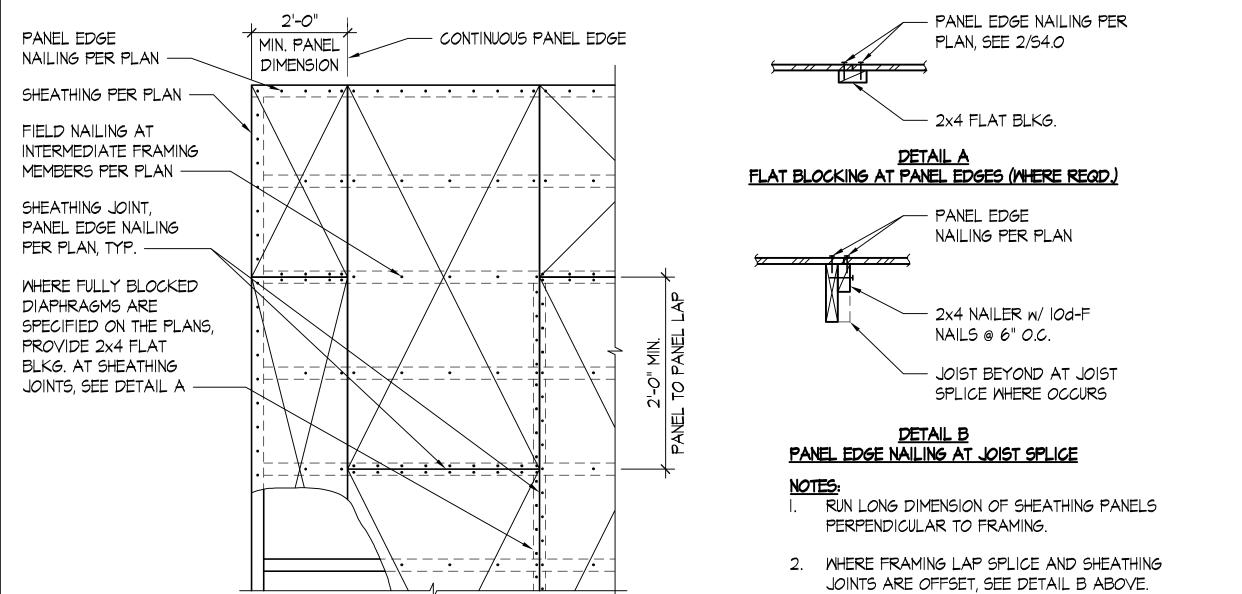
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FOUNDATION DETAILS

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S3.1





TYPICAL ROOF AND FLOOR DIAPHRAGM SHEATHING

TYPICAL FLOOR TO FLOOR HOLDOWN STRAP & FLOOR TO HEADER HOLDOWN STRAP

				SHEAR WALL S	CHEDULE			
	SHEAR WALL SHEATHING			BOTTOM PLATE AT	TACHMENT		TOP PLATE ATTACHMENT	
SHEAR WALL TYPE		PANEL EDGE FRAMING	PANEL EDGE NAILING (3)	2× BOTTOM PLATE CONNECTION TO RIM JOIST OR BLOCKING	ANCHOR BOLTING OF SILL PLATE TO CONCRETE BELOW 45		RIM JOIST OR BLOCKING CONNECTION TO TOP PLATE	
		27		BELOW	3x PLATE	2x PLATE	INTERIOR WALL	EXTERIOR WALL
SM-6	7/16" APA ONE-SIDE SHTG.	2x	O.148"Φ×2½" @ 6" O.C.	O.148"Φx31/4" @ 6" O.C.	5%"Ф @ 48" O.C.	5%"Ф @ 48" O.C.	A35 @ 16" O.C.	LTP4 @ 16" O.C.
SM-4	7/16" APA ONE-SIDE SHTG.	3x OR (2) 2x	O.148"Φx2½" @ 4" O.C. 8	O.148"ФхЗ1/4" @ 4" O.C.	%"Ф @ 32" <i>O.</i> C.	%"中 @ 24" O.C.	A35 @ 2" O.C.	LTP4 @ 12" O.C.
SM-3	7/16" APA ONE-SIDE SHTG.	3x OR (2) 2x	O.148"Φx2½" @ 3" O.C.	O.148"ФхЗ¼" @ 3" O.C.	%"Φ @ 32" <i>O.</i> C.	%"中 @ 24" O.C.	A35 @ 8" O.C.	LTP4 @ 8" O.C.
SM-2	7/16" APA ONE-SIDE SHTG.	3x OR (2) 2x	O.148"Φx21/4" @ 2" O.C. 8	(2) ROWS O.148"Фx314" @ 4" O.C.	ラ%"Φ @ 24" <i>O.</i> C.	5%"Ф @ 16" O.C.	A35 @ 6" O.C.	LTP4 @ 8" O.C.

SHEAR WALL SCHEDULE - IOD NAILS

SHEATHING AND SHEAR WALL EDGE

SCALE: NONE

SCALE: NONE

- (I) INSTALL PANEL SHEATHING EITHER HORIZONTALLY OR VERTICALLY FOR THE ENTIRE LENGTH OF THE WALL PER PLAN. WALL STUD SPACING SHALL BE 16" O.C. MAXIMUM.
- ALL INTERMEDIATE WALL STUDS SHALL BE PER PLAN. PROVIDE BACKING FRAMING AT ALL PANEL EDGES INCLUDING HORIZONTAL BLOCKING PER THE SCHEDULE.
- (3) PROVIDE NAILING TO ALL PANEL EDGES, TOP & BOTTOM PLATES AND HORIZONTAL BLOCKING. PROVIDE THE SAME NAILING PATTERN TO EACH MULTIPLE STUD OF THE BUILT-UP HOLD DOWN POST. NAIL PANEL TO INTERMEDIATE FRAMING MEMBERS W/ 0.148" \$\phi \times 2-1/4" @ 12" O.C.
- (4) EMBED CAST-IN-PLACE 5/8" ANCHOR BOLTS 7" MIN. (OR EMBED ADHESIVE ANCHOR BOLTS 5 1/2" IN (E) CONCRETE; SEE STRUCTURAL NOTES). PROVIDE PLATE WASHER 3" x 3" x 1/4" AT EACH ANCHOR BOLT. SILL PLATES SHALL BE TREATED PER GENERAL NOTES, AND SHALL BE 2x OR 3x PER THE SCHEDULE. SEE DETAIL I/S4.0 FOR OTHER REQUIREMENTS.
- (5) PROVIDE HOT DIPPED GALVANIZED NAILS, BOLTS, OR METAL PLATES FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED MEMBERS.
- (6) PROVIDE O.131" × 1-1/2" LONG NAILS FOR CLIPS DIRECTLY ATTACHED TO FRAMING MEMBERS; PROVIDE O.131" × 2-1/2" LONG NAILS FOR CLIPS INSTALLED OVER FLOOR OR WALL SHEATHING ON FRAMING MEMBERS. SEE 6/54.1 FOR TOP PLATE SPLICE.

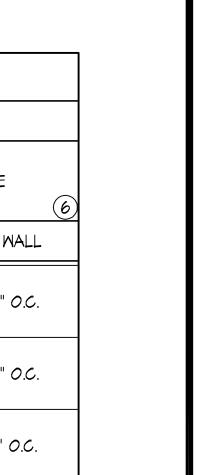
HOLDOWN STUDS OR POST

- ALTERNATIVE TO 3x STUDS IS (2) 2x STUDS NAILED TOGETHER WITH 0.148" \$\phi \times 3" LONG NAILS WITH THE SAME SPACING AS THE PANEL EDGE NAILING PER THE SCHEDULE (STAGGER).
- 8) STAGGER THE PANEL EDGE NAILS PER 2/54.0.
- (9) RIM JOIST/BLOCKING MINIMUM WIDTH OF 134". STAGGER NAILS PER 2/54.0 WHERE SPACING IS LESS THAN 6" O.C.
- (IO) RIM JOIST/BLOCKING MINIMUM WIDTH OF 13/4" AT EXTERIOR WALLS, 31/2" AT INTERIOR WALLS. STAGGER NAILS SIMILAR TO 2/54.0.

	SHEAR WALL SCHEDULE										
				BOTTOM PLATE AT	TACHMENT		TOP PLATE ATTACHMENT				
SHEAR WALL TYPE	WALL SHEATHING		PANEL EDGE NAILING	2x BOTTOM PLATE CONNECTION TO RIM JOIST OR BLOCKING BELOW	ANCHOR BOLTING OF SILL PLATE TO CONCRETE BELOW 45		RIM JOIST OR BLOCKING CONNECTION TO TOP PLATE				
		2(7)		BELON	3x PLATE	2x PLATE	INTERIOR WALL	EXTERIOR WALL			
SM-6	7/16" APA ONE-SIDE SHTG.	2x	O.148"Φx2½" @ 6" O.C.	O.148"\$x314" @ 6" O.C.	%"中 @ 48" O.C.	5%"Ф @ 48" O.C.	A35 @ 16" O.C.	LTP4 @ 16" O.C.			
SM-4	7/16" APA ONE-SIDE SHTG.	3x OR (2) 2x	O.148"Φx2¼" @ 4" O.C.	0.148"Фх3¼" @ 4" О.С.	%"中 @ 32" <i>O.</i> C.	%"Φ @ 24" O.C.	A35 @ I2" <i>O.</i> C.	LTP4 @ 12" O.C.			
SW-3	7/16" APA ONE-SIDE SHTG.	3x OR (2) 2x	O.148"Φx2¼" @ 3" O.C.	0.148"Фх3¼" @ 3" О.С.	%"中 @ 32" <i>O.</i> C.	%"Φ @ 24" O.C.	A35 @ 8" O.C.	LTP4 @ 8" O.C.			
SW-2	7/16" APA ONE-SIDE SHTG.	3x OR (2) 2x	O.148"Φ×2¼" @ 2" O.C.	(2) ROWS 0.148"\$x314" @ 4" O.C.	5⁄8"Ф @ 24" <i>O.</i> C.	5%"Ф @ 16" O.C.	A35 @ 6" O.C.	LTP4 @ 8" O.C.			

HOLDOWN	ANCHOR BOLT Ø	ANCHOR BOLT IN CONCRETE EMBED LENGTH	CONNECTORS TO HOLDOWN STUDS
HDU2	5⁄8"Ф	13"	(6) ¼"×2½" SDS
HDU4	5⁄8"Ф	13"	(10) ¼"x2½" SDS
HDU5	%"Φ	13"	(14) ¼"x2½" SDS
HDU8	%"Φ	18"	(20) ¼"x2½" SDS
HDUII	Ι"Φ	20"	(30) ¼"x2½" SDS

PROVIDE HOT DIPPED GALVANIZED NAILS, BOLTS, OR METAL PLATES FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED MEMBERS.



SCALE: NONE

SCALE: NONE

SEAL:



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SUITE 323

PROJECT:

HONG AND KAO RESIDENCE

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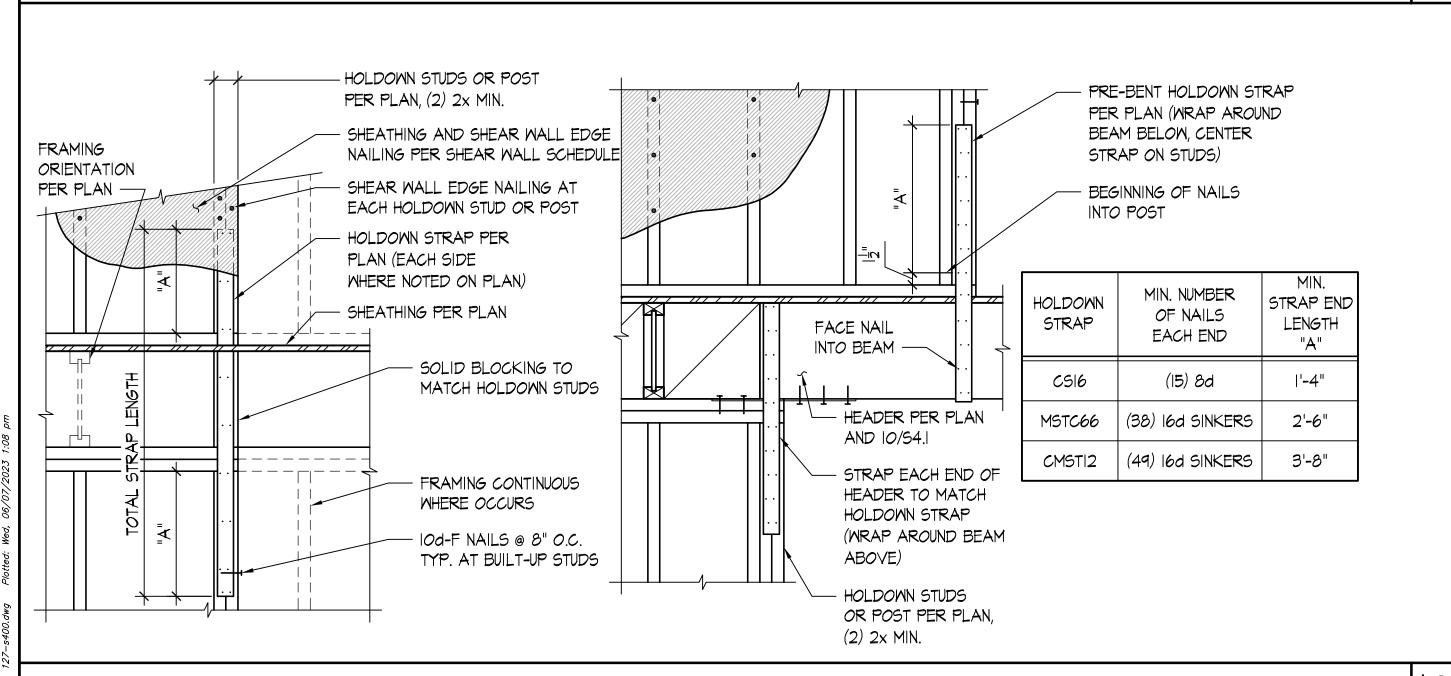
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TYPICAL WOOD DETAILS

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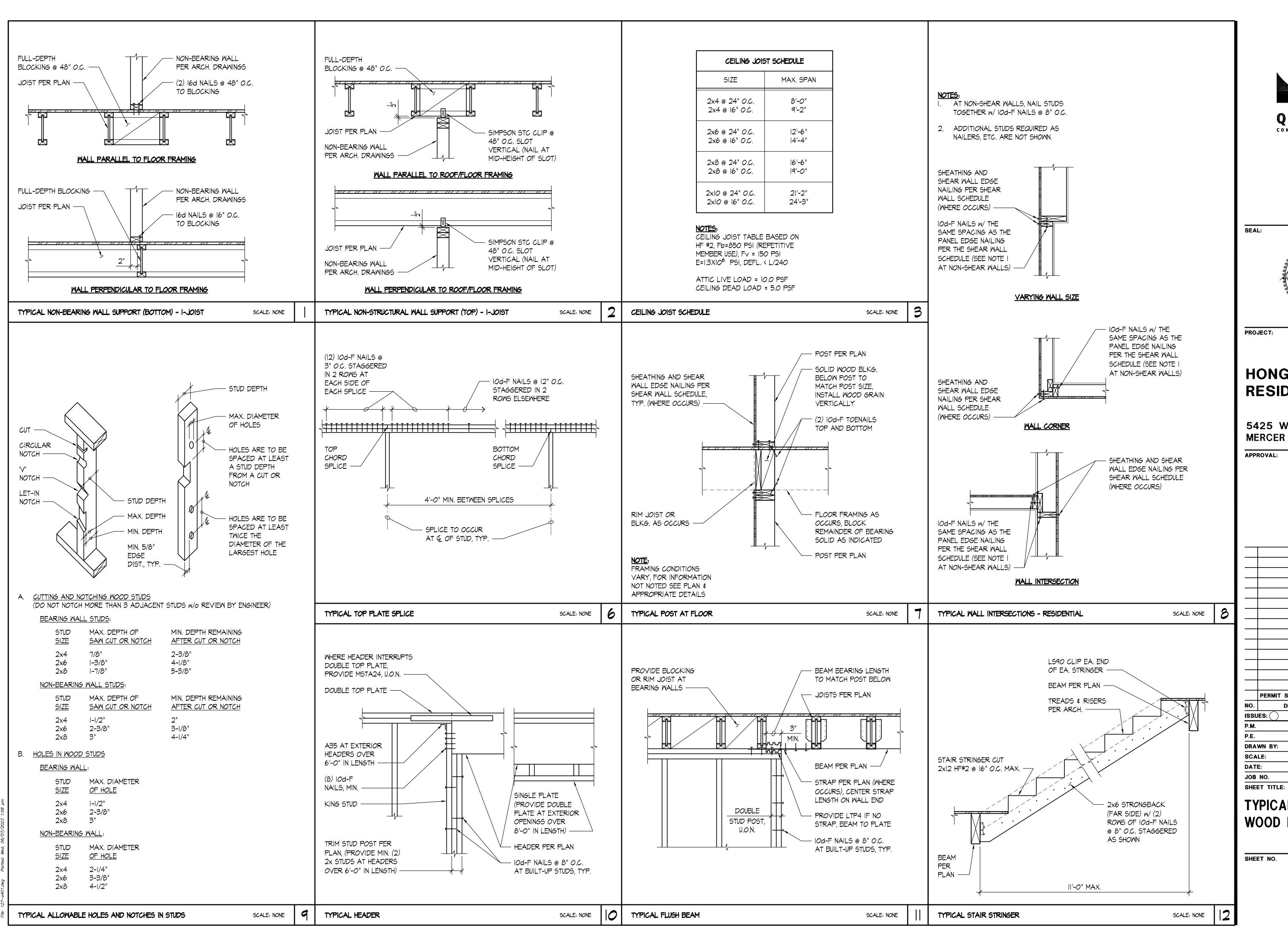
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NAILING PER SHEAR WALL SCHEDULE -PER PLAN (2) 2x MIN. UP TO ½" OF FLAT SHIM MAY SHEAR WALL EDGE NAILING AT BE PLACED HERE TO AID IN EACH HOLDOWN STUD OR POST INSTALLATION OF HOLDOWN -CONNECTORS TO HOLDOWN STUD AS REQUIRED BY MFR. SEE SCHEDULE HOLDOWN PER PLAN — 10d-F NAILS @ 8" O.C. TYP. AT BUILT-UP STUDS FRAMING CONTINUOUS WHERE OCCURS SQUASH BLOCKS TOP OF CONC. PER PLAN - CONCRETE REINFORCING CAST-IN-PLACE HEADED ANCHOR BOLT AND STD. WASHER, OR ALL-THREAD WITH DOUBLE HEAVY HEX NUTS AND STD. RIM JOIST WASHER. (USE THREADED ADHESIVE ANCHOR ROD AT EXISTING FOUNDATION EMBEDMENT LENGTH - DRILL AND EPOXY, TYP. SEE GENERAL PER SCHEDULE STRUCTURAL NOTES)

TYPICAL HOLDOWN TO CONCRETE AT RIM JOIST





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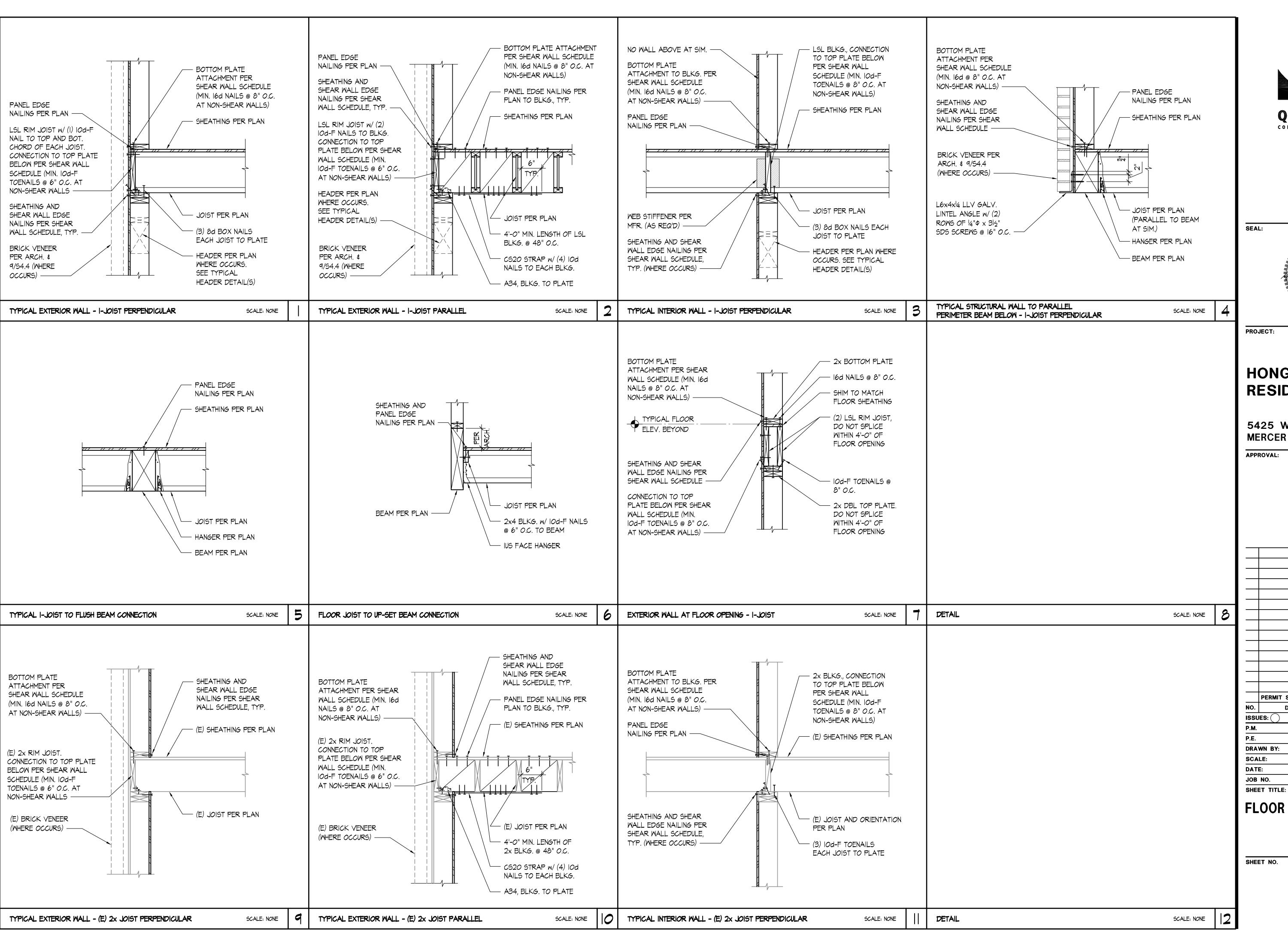
TYPICAL WOOD DETAILS

SHEET NO.

S4.1

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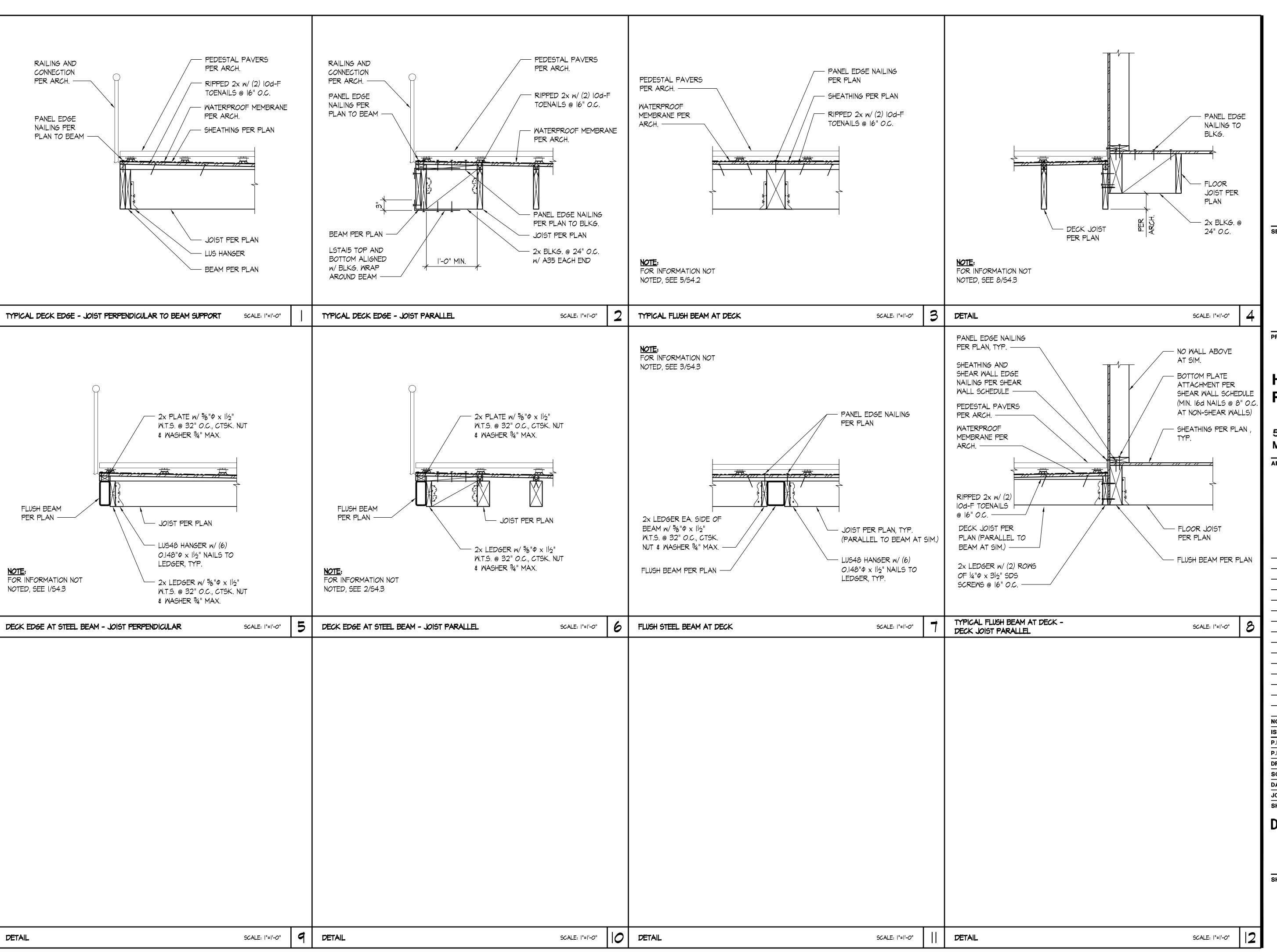
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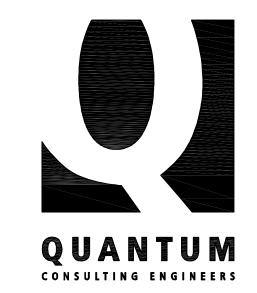
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FLOOR DETAILS

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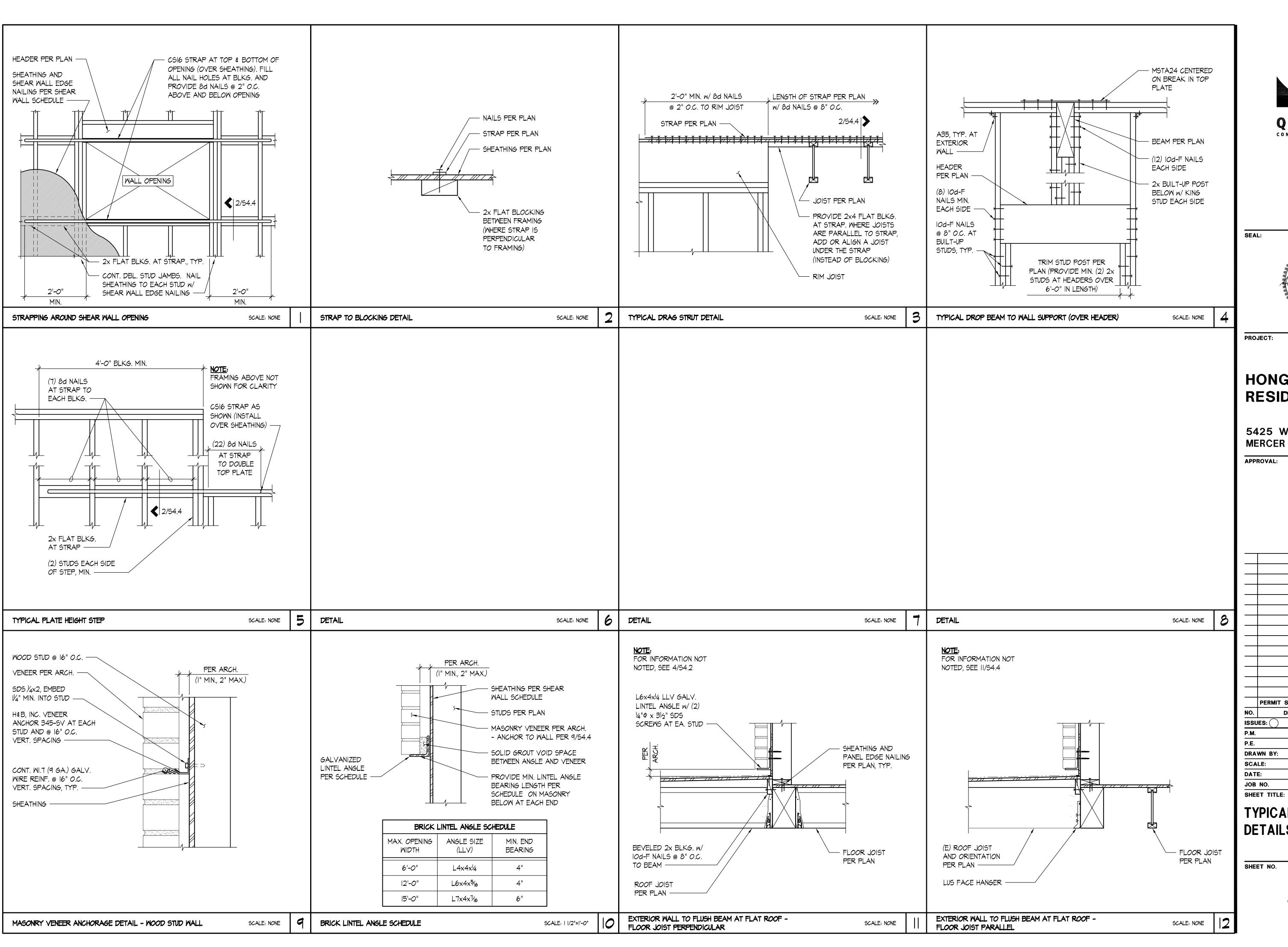
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DECK DETAILS

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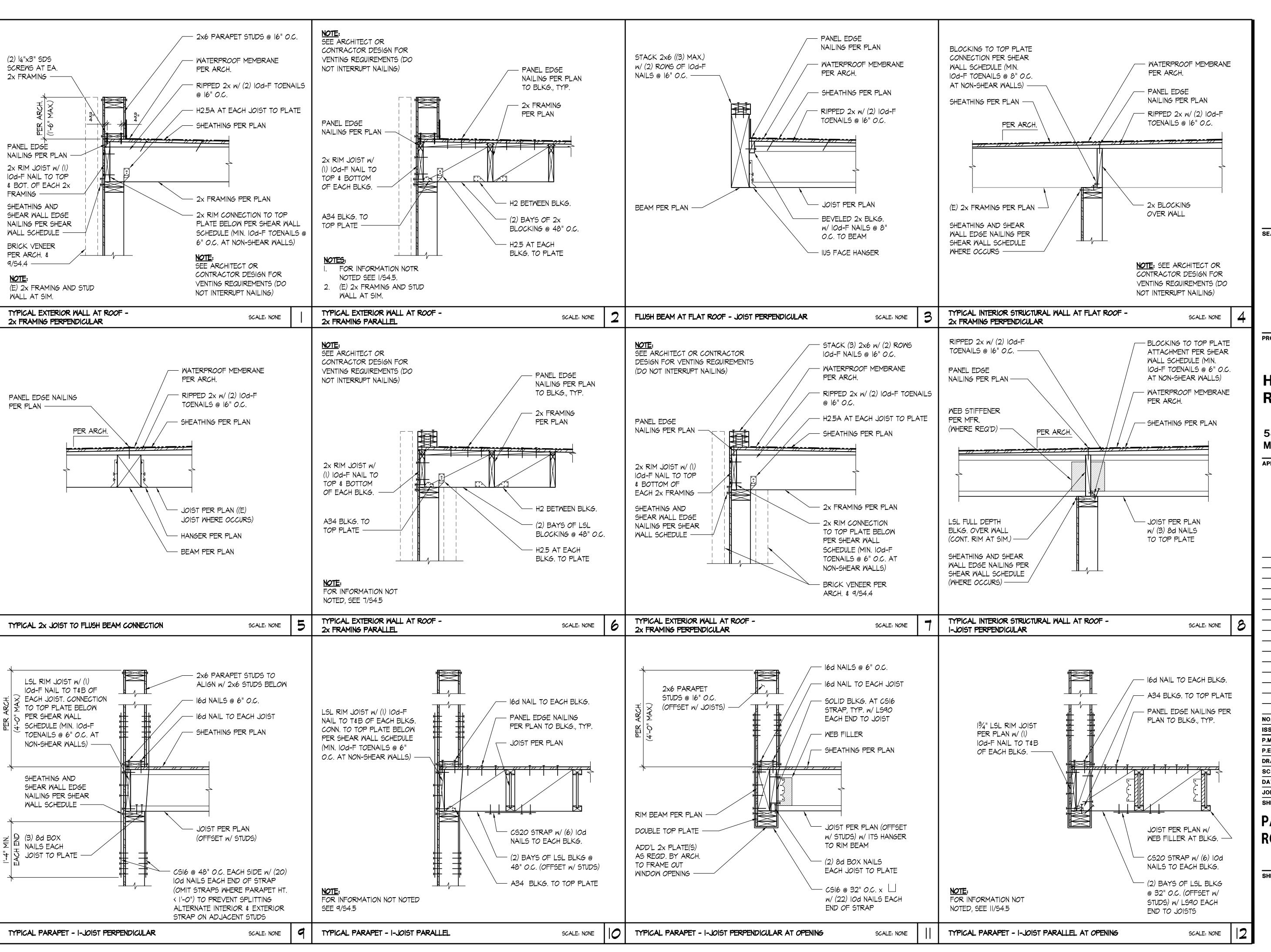
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TYPICAL WOOD **DETAILS**

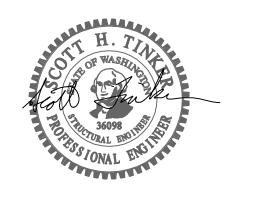
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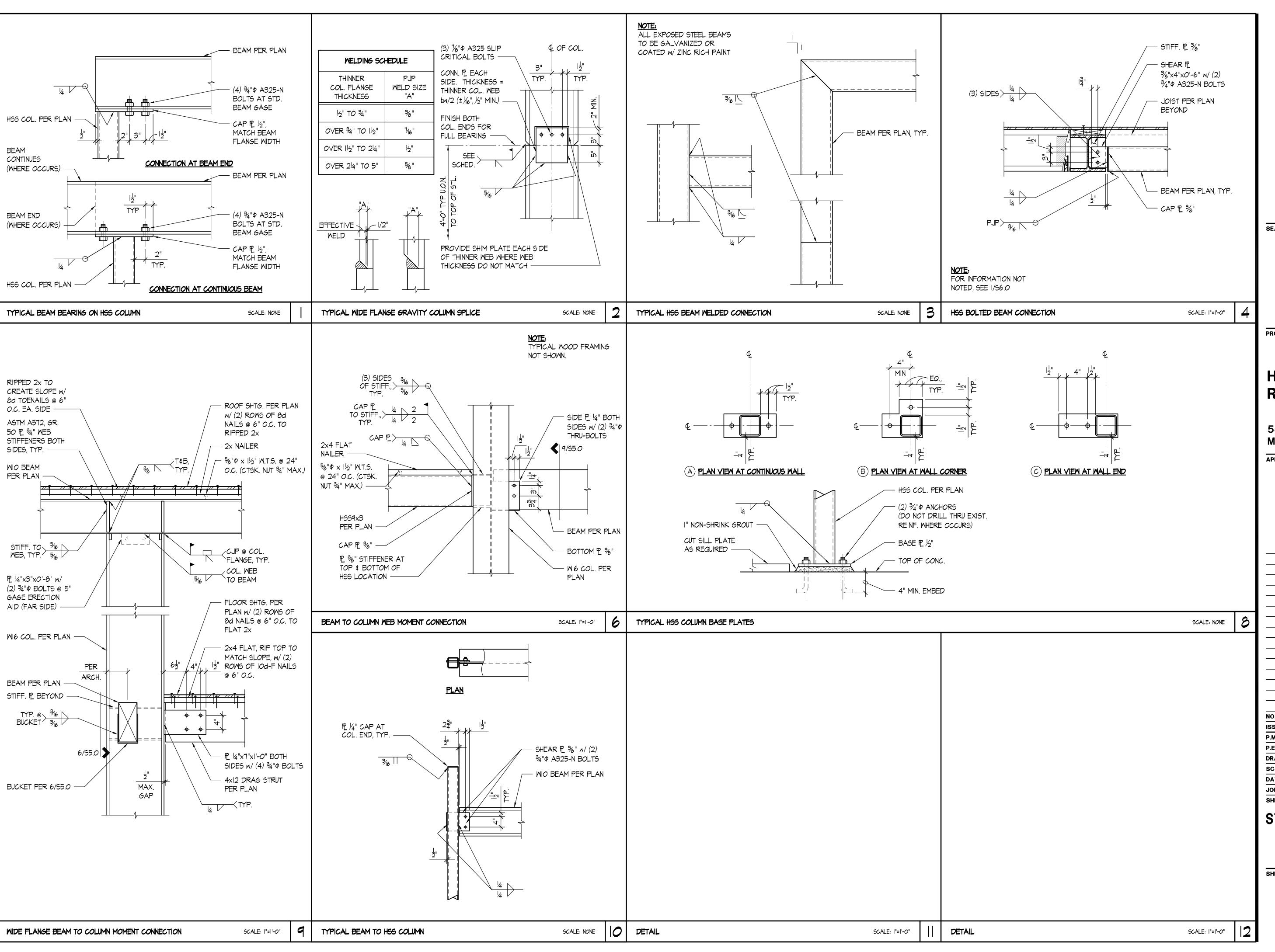
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PARAPET & FLAT ROOF DETAILS

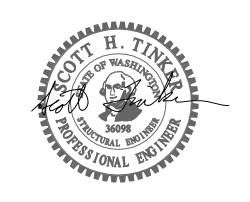
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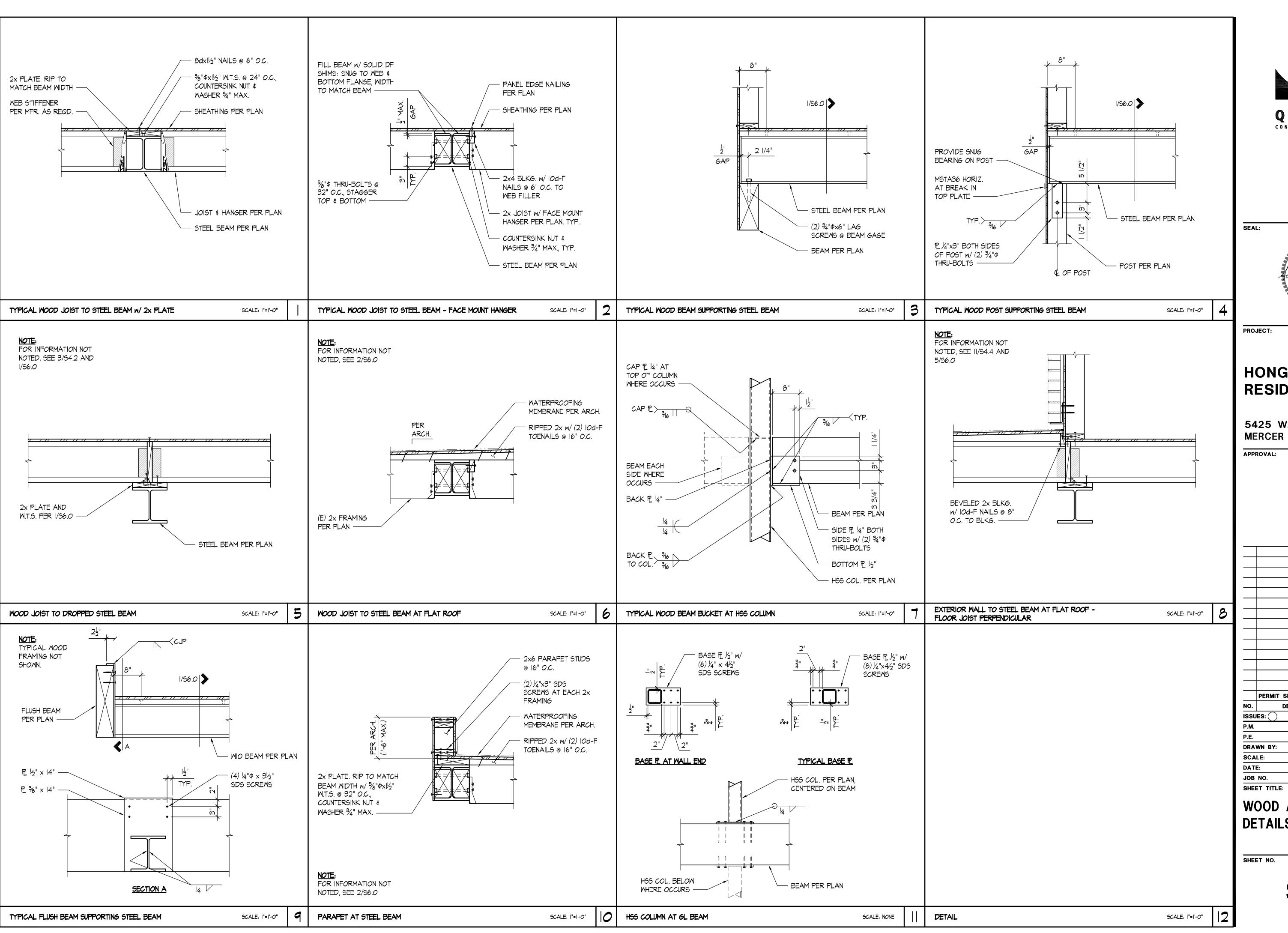
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STEEL DETAILS

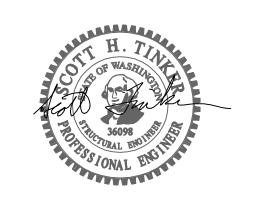
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5425 W. MERCER WAY MERCER ISLAND, WA 98040

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WOOD AND STEEL **DETAILS**

SHEET NO.

S6.0